

SITE PLAN.dwg

SITE PLAN



PRELIMINARY

FOR INTERIM REVIEW ONLY

THESE DOCUMENTS ARE FOR INTERIM REVIEW AND ARE NOT INTENDED FOR REGULATORY APPROVAL PERMIT, BIDDING OR CONSTRUCTION PURPOSES, THEY WERE PREPARED BY, OR UNDER THE SUPERVISION OF:

*K. Nares*

NAVEEN KHAMMAMPATI 123697  
NAME P.E. NO.  
DATE 10/31/2023  
TBPE FIRM #F22283

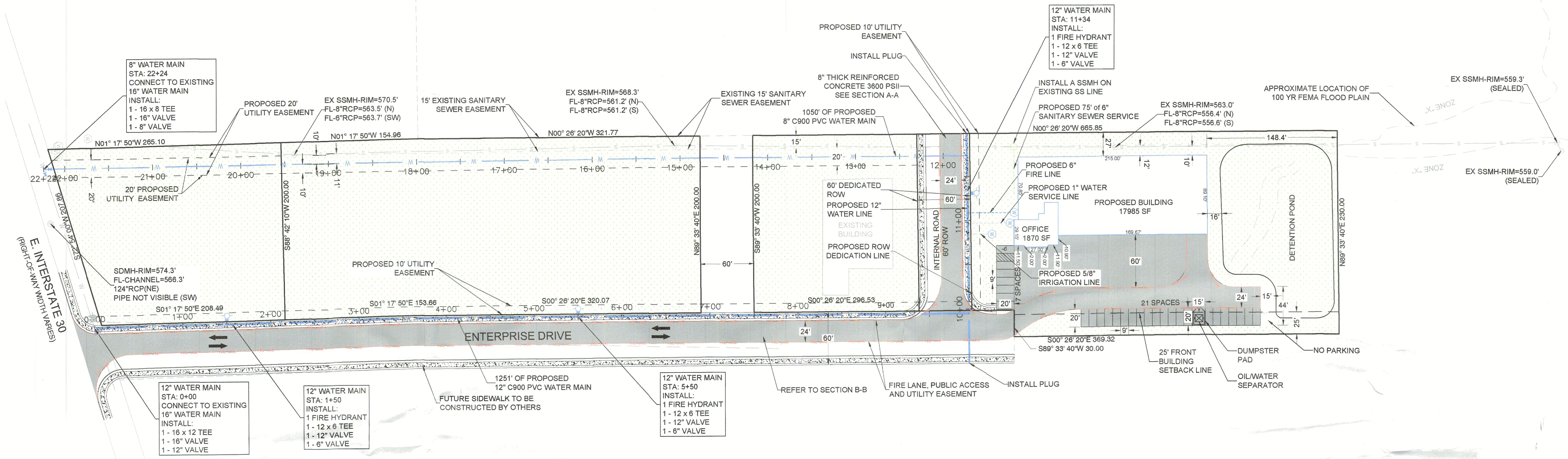
NOT FOR CONSTRUCTION

No.	Revision/Issue	Date

Firm Name and Address  
**TURNKEY TRACT**  
2770 MAIN ST #171  
FRISCO, TX 75033  
F-22283  
nkcivilengineer4@gmail.com  
214-483-1599

Project Name and Address  
1601 E INTERSTATE 30  
ROCKWALL, TEXAS 75087  
**SP2023-037**

Project	Sheet
Date 10/31/2023	01
Scale	01



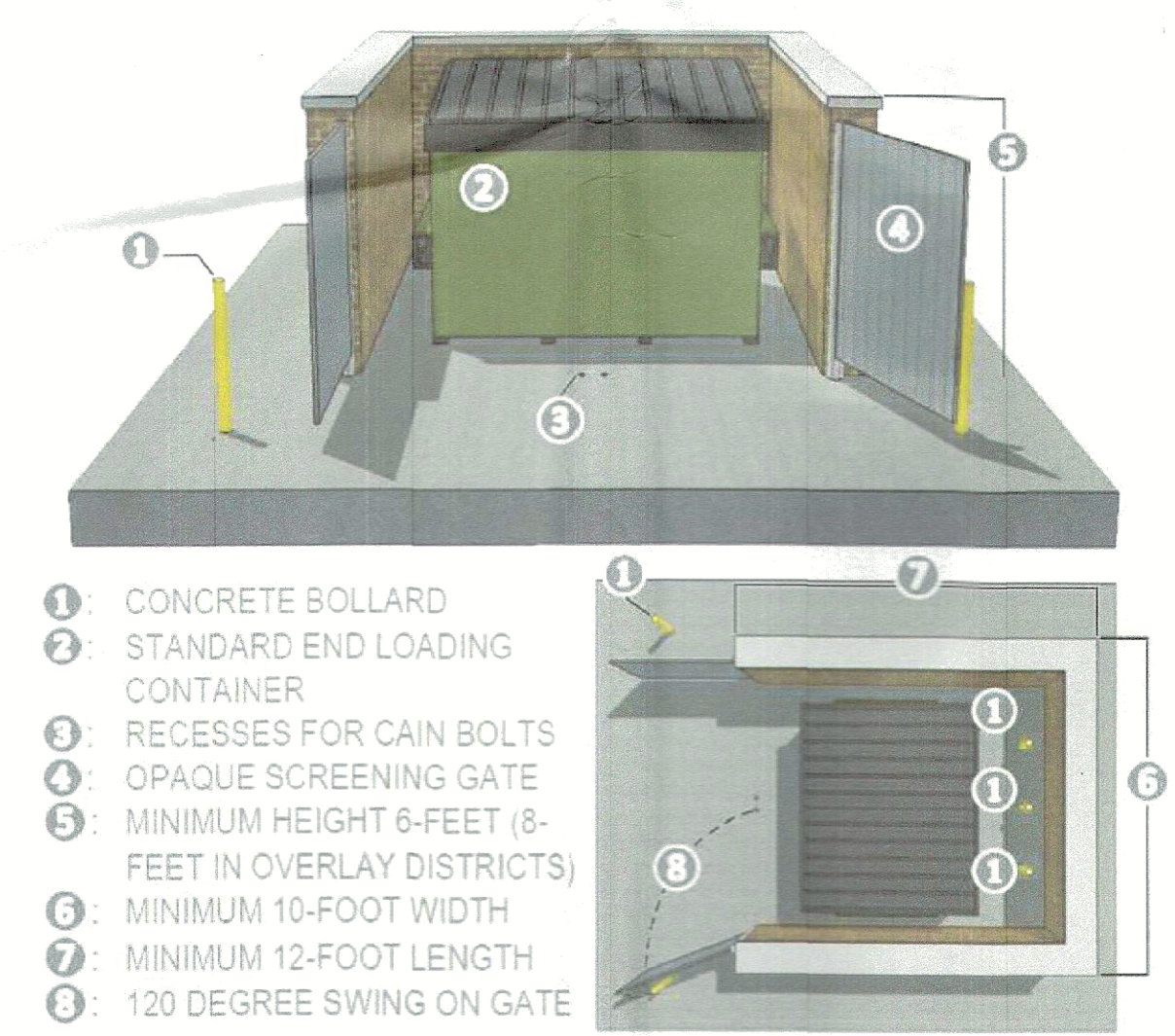
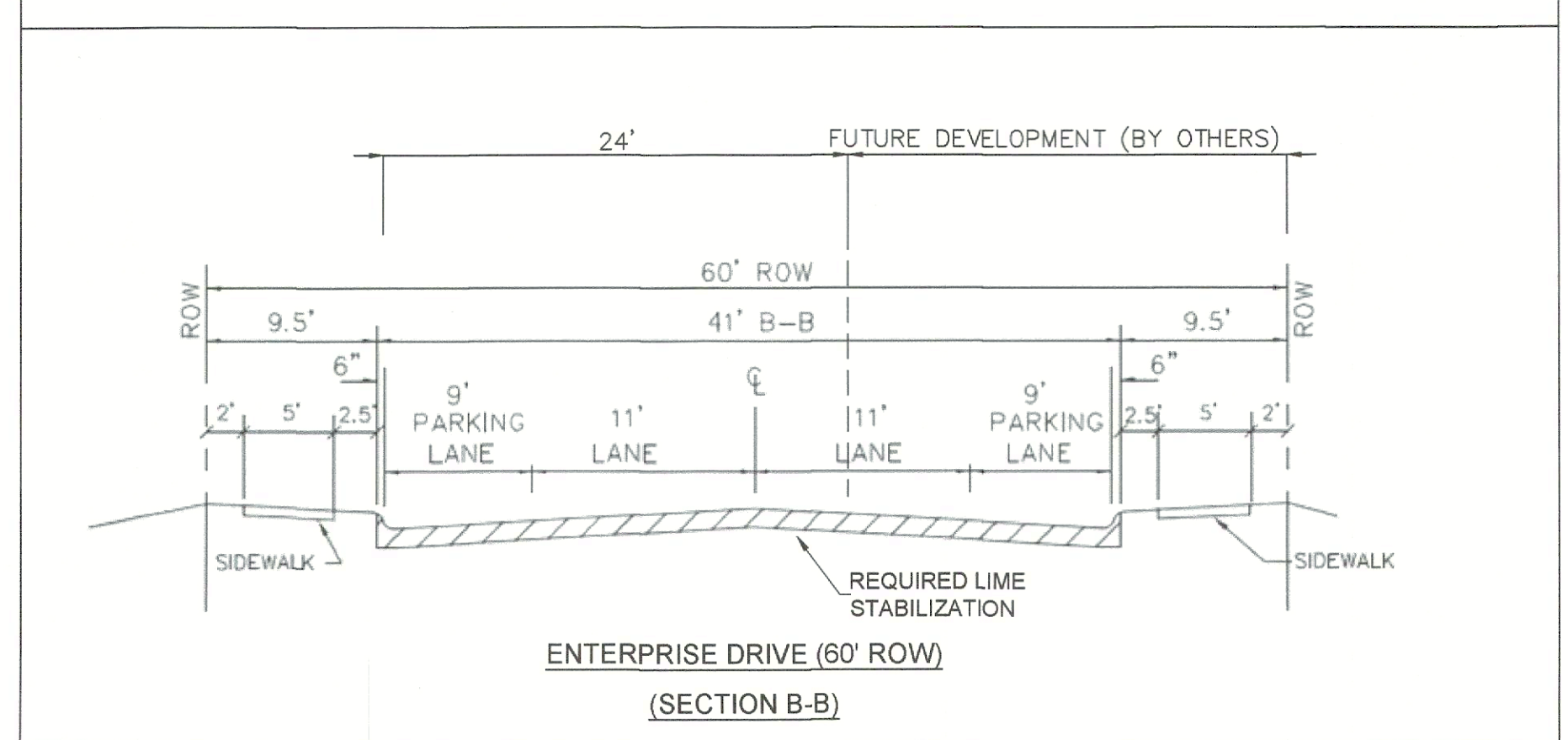
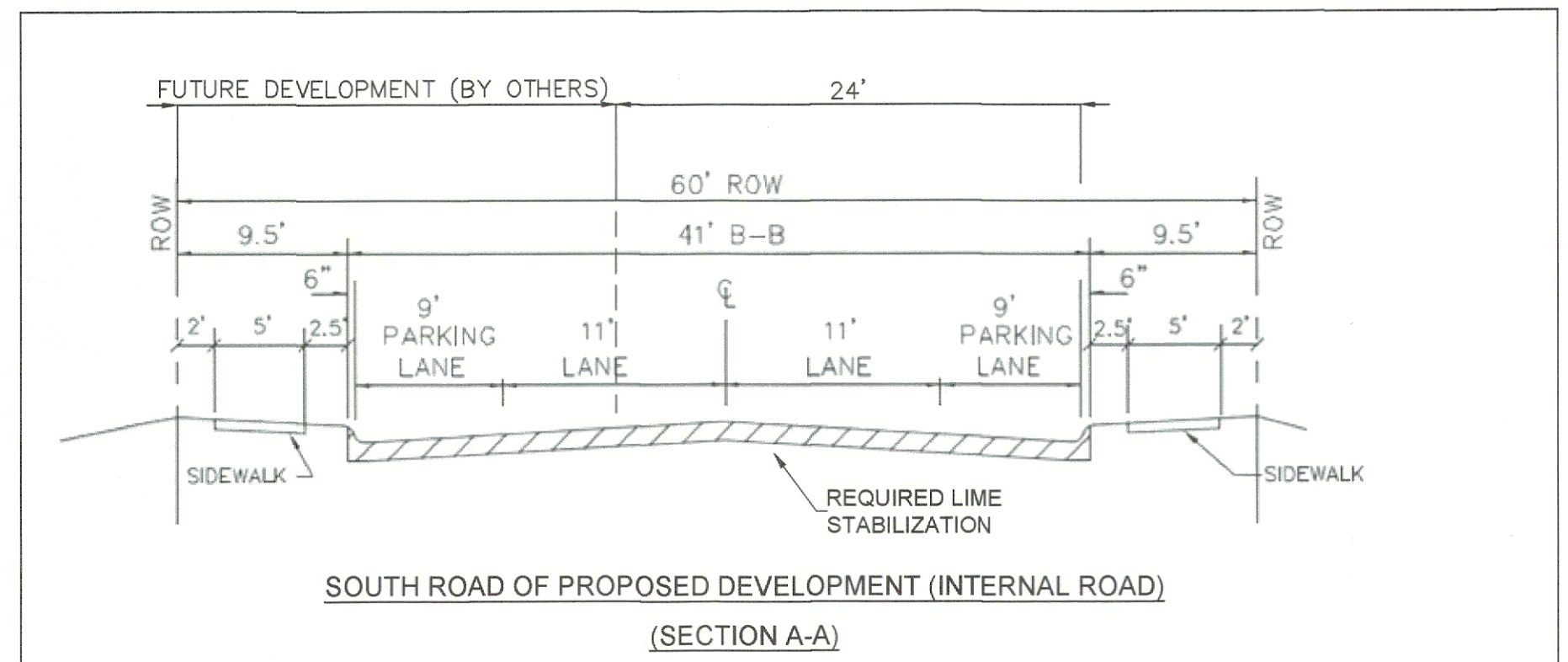
**PRIVATE UTILITY NOTE:**  
"ALL WASTEWATER WORK DESIGNATED AS "PRIVATE" IN THIS SET OF PLANS SHALL BE INSTALLED IN ACCORDANCE WITH THE INTERNATIONAL PLUMBING CODE, PERMITTED AND INSPECTED BY THE CITY BUILDING INSPECTION DEPARTMENT AND INSTALLED BY A LICENSED PLUMBER."

**SITE DATA:**  
TOTAL SITE AREA = 6.58 AC/ 2,86,656 SF  
TOTAL GREEN SPACE / LANDSCAPE AREA = 5.14 AC  
NO. OF PROPOSED BUILDINGS = 1  
PARKING DIMENSIONS = 9' X 20'

- NOTES:**
- CONTRACTOR SHALL FIELD LOCATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
  - ONLY VISUALLY APPARENT UTILITIES SHOWN ON THE PLANS. CONTRACTOR IS RESPONSIBLE TO COORDINATE WITH ANY UNDERGROUND UTILITY PROVIDERS THAT EXISTS IN THE AREA.
  - WATER AND SANITARY SEWER LINES SHALL MAINTAIN A MINIMUM OF 10' SEPARATION.
  - CONTRACTOR TO COORDINATE WITH THE PROPERTY OWNER WHEN REPLACING THE CONCRETE DRIVE TO NOT TO INTERRUPT TRAFFIC FLOW TO/FROM THE LOT.
  - NO STRUCTURES MAY BE PLACED WITHIN THE 15' SANITARY SEWER EASEMENT.
  - THERE SHALL NOT BE ANY OUTSIDE STORAGE. AS OUTSIDE STORAGE IS NOT PERMITTED WITHIN THE IH-30 OVERLAY DISTRICT.
  - ALL NEW PAVING TO BE REINFORCED CONCRETE.
  - PAVING THICKNESS SHOWN IN PLANS IS FOR INFORMATION PURPOSE ONLY. THE OWNER IS RESPONSIBLE FOR CONTACTING A GEOTECH ENGINEER FOR ALL SOIL RELATED WORKS SUCH AS PAVING, FOUNDATION, EARTHWORK, AND RETAINING WALLS.

WAREHOUSE AND OFFICE PARKING CALCULATIONS					
No. OF BUILDING	TOTAL FLOOR AREA (SF)	BUILDING TYPE	PARKING CRITERIA	PARKING REQUIRED	PARKING PROVIDED
1	17985	WAREHOUSE WITH INSIDE STORAGE	1/1000 SF	18	20
1	1870	OFFICES	1/300 SF	6	7
HANDICAPPED PARKING SPACES			1/25 SPACES		1
TOTAL PARKING SPACES				24	28

LEGEND	
	8" WATER MAIN
	12" WATER MAIN
	WATER SERVICE
	FIRE SERVICE
	24" FIRE LANE
	CONCRETE PAVING
	CONCRETE SIDEWALK
	GREEN SPACE



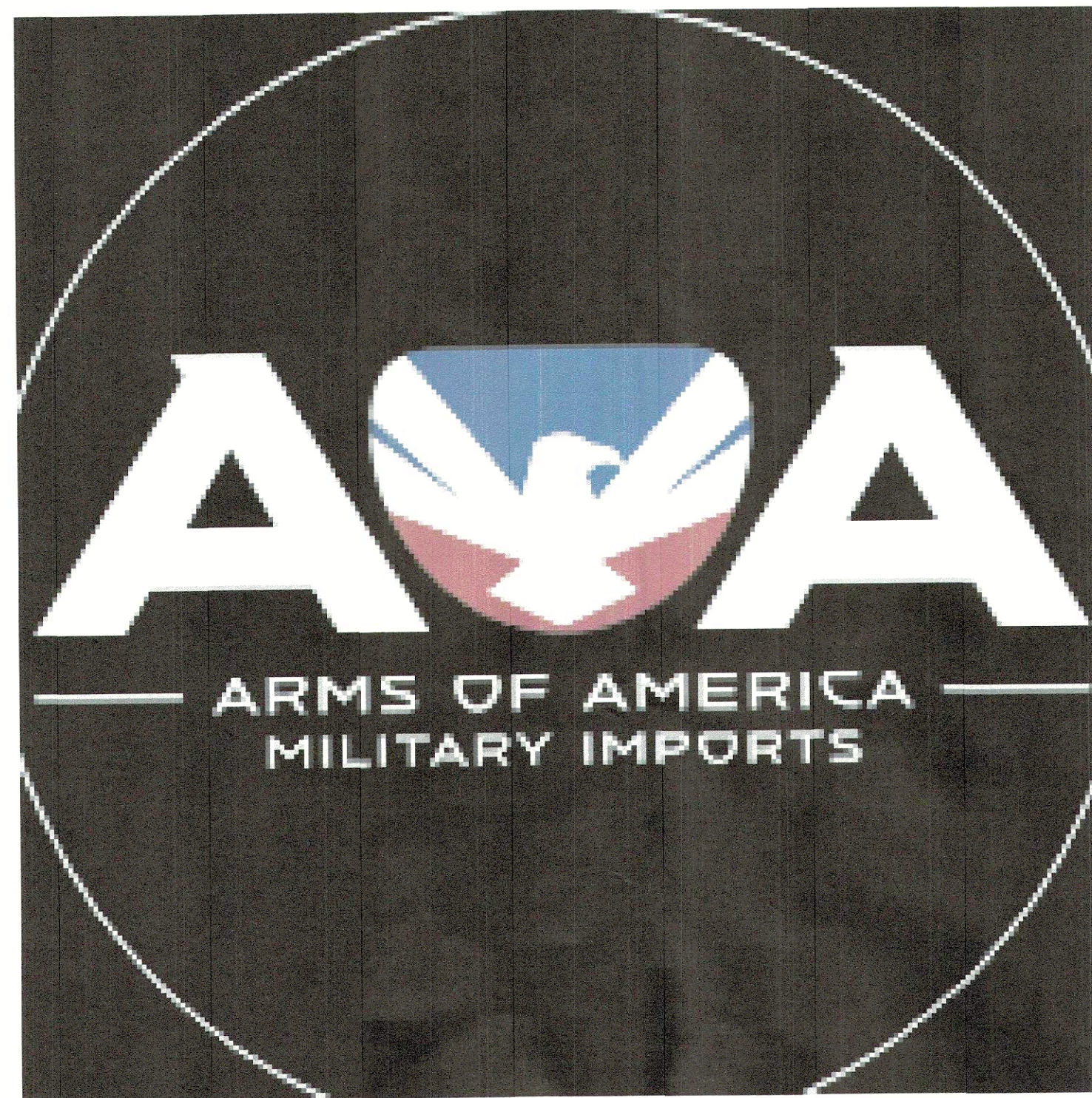
- CONCRETE BOLLARD
- STANDARD END LOADING CONTAINER
- RECESSES FOR CAIN BOLTS
- OPAQUE SCREENING GATE
- MINIMUM HEIGHT 6-FEET (8- FEET IN OVERLAY DISTRICTS)
- MINIMUM 10-FOOT WIDTH
- MINIMUM 12-FOOT LENGTH
- 120 DEGREE SWING ON GATE

**NOTE:**  
SOLID MASONRY DUMPSTER ENCLOSURE TO UTILIZES THE SAME MASONRY MATERIALS AS THE PRIMARY BUILDING AND INCORPORATES AN OPAQUE, SELF-LATCHING GATE. THE ENCLOSURE MUST BE SURROUNDED IN 5-GALLON EVERGREEN SHRUBS.

**APPROVED:**  
I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE 14 DAY OF November, 2023.  
WITNESS OUR HANDS, THIS 14 DAY OF November, 2023.  
*[Signature]* PLANNING & ZONING COMMISSION, CHAIRMAN  
*[Signature]* DIRECTOR OF PLANNING AND ZONING







EXTERIOR LIGHTING DESIGN

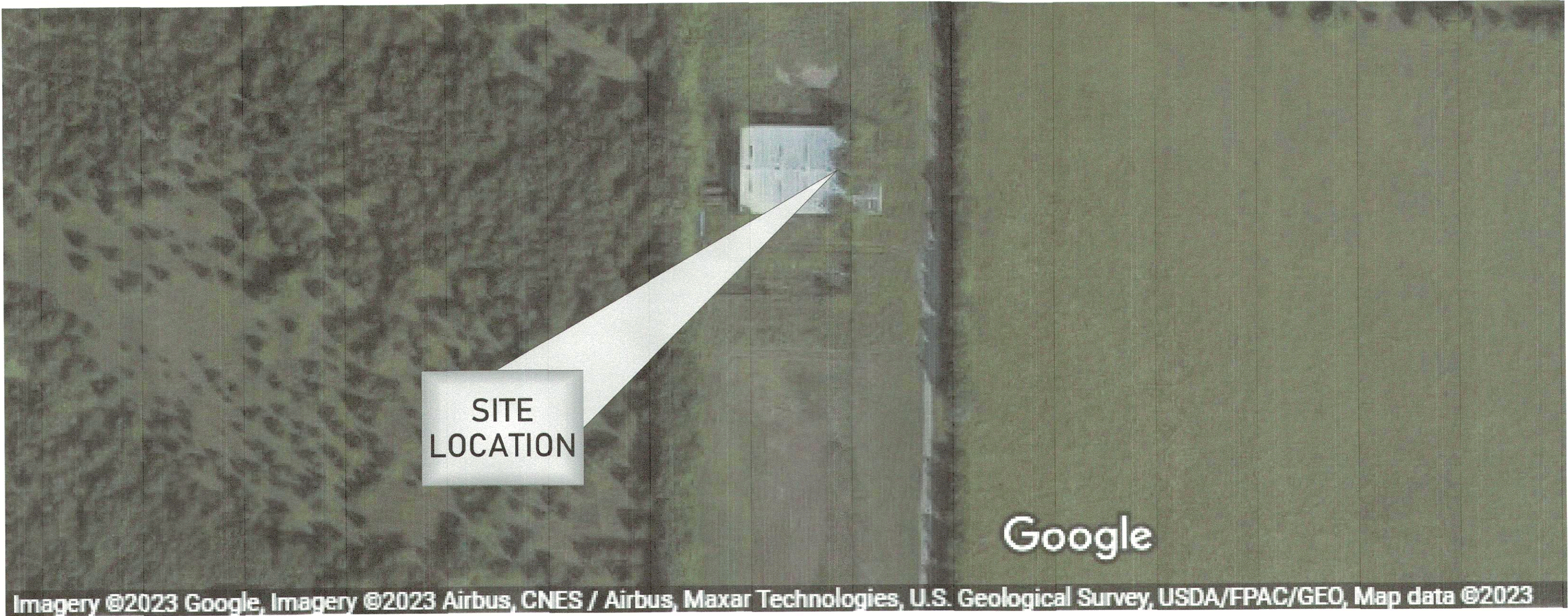
Rockwall - 1601 E I30  
1601 E I30,  
Rockwall, TX 75087

DRAWING INDEX:

- COVER SHEET
- LU-1 GENERAL NOTES
- LU-2 LUMINAIRE SCHEDULE
- LU-3A OVERALL SITE PLAN
- LU-3B OVERALL SITE PLAN
- LU-4 FULL SITE PHOTOMETRICS PLAN AT GRADE
- LU-5 DIMENSIONING PLAN
- LU-6 ELEVATIONS

SCOPE OF WORK

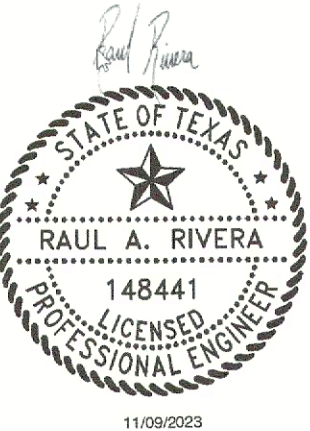
FIXTURE COUNT	NEW POLE COUNT	NOTES
4	4	ADD NEW POLE AND FIXTURE
11		ADD NEW FIXTURE



VICINITY MAP

APPROVED:  
I hereby certify that the above and foregoing site plan for  
development in the City of Rockwall, Texas, was approved by the  
Planning & Zoning Commission on the 14 day of November,  
2023.

*[Signature]* *[Signature]*  
Chairman Director of Planning & Zoning



V2 231107



Office: (972) 771-6038  
1629 Smirl Drive, Suite 200, Heath, Texas 75032  
[www.gmr1.com](http://www.gmr1.com)



CONTRACTOR RESPONSIBILITIES:

1. CONTRACTOR SHALL BE RESPONSIBLE FOR PERMITTING, INCLUDING COORDINATION WITH THE LOCAL JURISDICTION AND ANY ASSOCIATED PERMIT FEES OR PROCESSING.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PERMITTING DOCUMENTS THAT ARE NOT INCLUDED IN THE LIGHTING DESIGN PACKAGE.
3. CONTRACTOR IS REQUIRED TO RECYCLE ALL LAMPS AND BALLASTS WHEN SUCH REPLACEMENT IS REQUIRED.
4. CONTRACTOR SHALL VERIFY VOLTAGE REQUIREMENTS FOR FIXTURES PRIOR TO PLACEMENT OF FIXTURE ORDERS.
5. CONTRACTOR TO VERIFY LIGHTING CONTROLS PRIOR TO BEGINNING CONSTRUCTION. SEE LIGHTING CONTROL NOTES.
6. CONTRACTOR SHALL RECEIVE FORMAL APPROVAL FROM GMR ON ANY FIXTURE MODIFICATIONS OR VARIATIONS FROM THE LUMINAIRE SCHEDULE.
7. CONTRACTOR SHALL VERIFY EXISTING AND PROPOSED FIXTURE MOUNTING CONDITIONS IN FIELD. ANY SPECIAL MOUNTING HARDWARE NEEDED FOR PROPOSED FIXTURES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
8. CONTRACTOR SHALL SUPPLY ALL NEW LIGHT POLES. NEW LIGHT POLES SHALL MATCH EXISTING CONDITIONS ON SITE FOR POLE TYPE AND PAINT COLOR.
9. CONTRACTOR SHALL PERFORM ALL NECESSARY PATCHING OR REPAINTING FOR ADDED, REMOVED, OR REPLACED FIXTURES.
10. CONTRACTOR SHALL REPAIR ANY DISTURBED AREAS BACK TO EXISTING CONDITION INCLUDING PAVED AREAS, LANDSCAPED AREAS, ETC.
11. EXPOSED CONDUIT (ONLY WHERE IT CANNOT BE CONCEALED) SHALL BE PAINTED TO MATCH THE BACKGROUND SURFACE COLOR.
12. CONTRACTOR SHALL VERIFY AND DOCUMENT COMPLETED WORK DURING NIGHT HOURS. ALL FIXTURES (INCLUDING OUT OF SCOPE FIXTURES) MUST BE FUNCTIONAL DURING NIGHT HOURS PRIOR TO SCHEDULING A FINAL SURVEY WITH GMR.
13. CONTRACTOR SHALL RECEIVE A PUNCHLIST FROM GMR UPON FINAL SURVEY FOR ANY REMAINING ITEMS TO BE COMPLETED.
14. NEW LIGHT FIXTURES IN NEW LOCATIONS ARE TO BE MOUNTED IN THE INSTALL RANGE SET BY GMR ON THE DESIGN DOCUMENTS.  
ALL FIXTURES MOUNTED TO COLUMNS OR WALLS LESS THAN 5 FEET WIDE ARE TO BE CENTERED. ALL FIXTURE COLORS AND STYLE AND LUMEN OUTPUT ARE TO BE AS REQUIRED BY GMR WITH NO SUBSTITUTIONS WITHOUT GMR APPROVAL.  
CONDUIT AND BOXES ARE TO BE FULLY CONCEALED IN ALL WALLS, SOFFITS AND COLUMNS THAT ARE NOT A PART OF THE BUILDING STRUCTURE OR OF MASONRY THICKER THAN 6 INCHES. ALL EXPOSED CONDUIT AND BOXES LOCATED IN AREAS WHERE VISIBLE TO THE PUBLIC SHALL BE PAINTED TO MATCH THE COLOR OF ITS SURROUNDING SURFACES.
15. ALL FIXTURE REPLACEMENT FOR EXISTING FIXTURE LOCATIONS SHALL FULLY COVER ALL OF THE MOUNTING SURFACE EXPOSED BY THE REMOVAL OF THE EXISTING FIXTURE, SHOULD THE NEW FIXTURE NOT ENTIRELY COVER THE EXPOSED SURFACE THEN A BEAUTY PLATE IS TO BE INSTALLED BEHIND THE NEW FIXTURE.
16. ALL REMOVED FIXTURES SHALL HAVE LAMPS AND BALLASTS RECYCLED.
17. ALL DEBRIS CAUSED BY THE REQUIRED SCOPE OF WORK SHALL BE REMOVED FROM THE SITE DAILY AT THE END OF THE WORKDAY.
18. NO MATERIALS OR EQUIPMENT ARE TO BE STORED ON SITE OVERNIGHT OR WEEKENDS.
19. WORK DURING BUSINESS HOURS AND AFTER-HOURS MUST BE APPROVED BY THE PPM.
20. ACCESS INTO THE BUILDING AND TO ELECTRICAL EQUIPMENT WILL BE AT THE DIRECTION OF THE STORE MANAGER.

SITE ABBREVIATIONS:

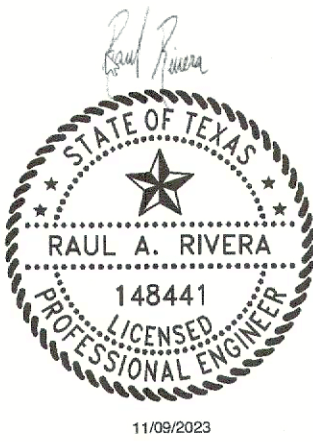
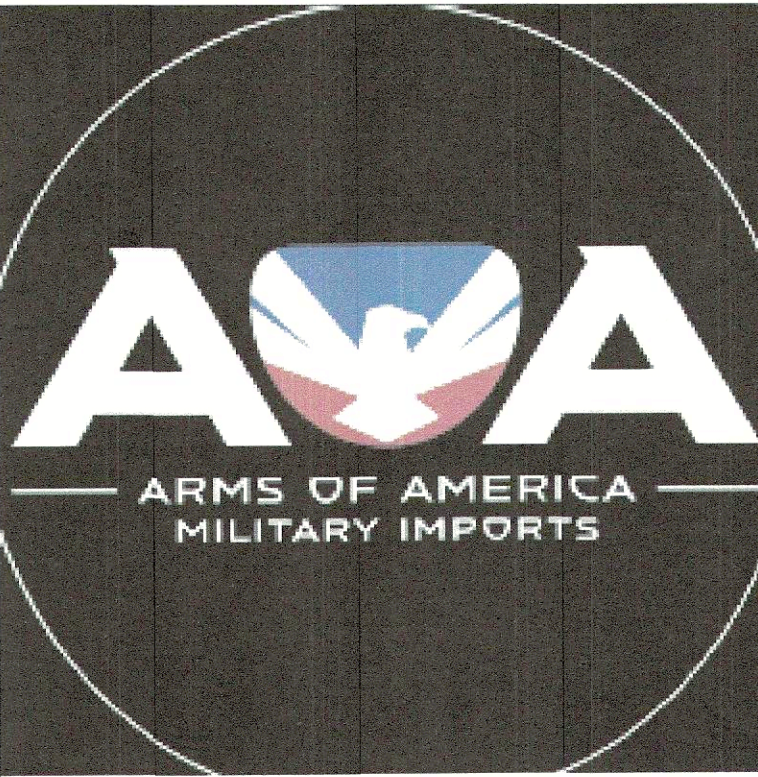
- PL = PROPERTY LINE
- AFG = ABOVE FINISHED GRADE
- FC = FOOTCANDLE
- CBO = CONTROLLED BY OTHERS

GENERAL NOTES:

1. EXISTING CONDITIONS SHOWN ON THE DRAWINGS ARE BASED ON A LIMITED AMOUNT OF INFORMATION AVAILABLE TO THE ENGINEER. ALL SUCH CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO SUBMITTING THE BID AND ADJUSTED IF NECESSARY. NO ADDITIONAL COMPENSATION SHALL BE GRANTED AFTER AWARDING A BID FOR ANY EQUIPMENT, MATERIAL OR LABOR REQUIRED TO REWORK OR OTHERWISE MODIFY EXISTING CONDITIONS.
2. THIS LIGHTING DESIGN IS BASED ON A COMBINATION OF STATE STANDARDS ADN THE CUSTOMER'S CURRENT SECURITY POLICY.
3. TRIM ALL TREES/LANDSCAPING TO MINIMIZE IMPEDING LIGHT FROM ANY LIGHT FIXTURES. CONSIDERATION MUST BE GIVEN TO TREES/LANDSCAPING IN A STATE OF FULL FOLIAGE/BLOOM AND FUTURE GROWTH. ALL LANDSCAPING WORK WILL BE PERFORMED BY OTHERS WITH A SEPARATE PERMIT (IF REQUIRED).
4. ALL MOUNTING HEIGHTS ARE INTENDED TO THE BOTTOM OF THE FIXTURE.
5. CONTRACTOR TO FIELD VERIFY FIXTURE PLACEMENT DIMENSIONS PRIOR TO CONSTRUCTION.
6. DIMENSIONING PROVIDED IS FOR PROPOSED FIXTURE LOCATIONS ONLY, UNLESS OTHERWISE NOTED ON THE DRAWING.
7. THE CONTRACTOR SHALL ATTEMPT TO ELIMINATE THE USE OF EXPOSED CONDUIT WHERE POSSIBLE. IF EXPOSED CONDUIT IS NECESSARY, THE CONTRACTOR SHALL VERIFY USE WITH PROJECT MANAGER.
8. THE CONTRACTOR SHALL VERIFY THAT LIGHT POLES FOR PROPOSED OR MODIFIED FIXTURES ARE ADEQUATE FOR THE INTENDED MOUNTING HEIGHT. IF AN EXISTING LIGHT POLE IS BEING USED, THE CONTRACTOR SHALL VERIFY THAT IT IS IN SATISFACTORY CONDITION. A TYPICAL POLE BASE DETAIL (AS PER EACH STATE) WILL BE PROVIDED BY GMR FOR EACH SITE. IF A SITE SPECIFIC POLE BASE DETAIL IS REQUIRED, THIS WILL BE COORDINATED BY THE CONTRACTOR AND WILL FOLLOW ANY APPLICABLE STATE OR LOCAL JURISDICTION STANDARDS.

FIXTURE CLARIFICATION NOTES:

1. GMR MAY COMBINE OR ADD TO NOTES AS NEEDED IN ORDER TO CLARIFY FURTHER.
2. **OUT OF SCOPE** - EXISTING FIXTURES TO REMAIN ON SITE WITHOUT MODIFICATION. NO ACTION REQUIRED UNLESS NOTED OTHERWISE.
3. **REMOVE AND PATCH** - EXISTING FIXTURES TO BE FULLY REMOVED AND ANY PAINTING, PATCHING OR ELECTRICAL WORK NEEDED IS TO BE ASSESSED AND PERFORMED BY GC.
4. **REPLACE EXISTING FIXTURE** - EXISTING FIXTURE TO BE FULLY REMOVED AND REPLACED IN THE SAME LOCATION WITH A NEW FIXTURE. GC TO VERIFY IF POLE AND/OR POLE BASE IS SUFFICIENT FOR THE NEW FIXTURES. ANY PAINTING, PATCHING OR ELECTRICAL WORK NEEDED IS TO BE ASSESSED AND PERFORMED BY GC.
5. **ADD NEW FIXTURE** - NEW FIXTURES TO BE ADDED. ANY PAINTING, PATCHING OR ELECTRICAL WORK NEEDED TO BE ASSESSED AND PERFORMED BY GC.
6. **ADD NEW POLE & FIXTURE** - A NEW POLE AND FIXTURE TO BE ADDED. GC TO SPECIFY POLE TO MATCH EXISTING STYLE AND COLOR AND, IF NOT PROVIDED, POLE BASE DATA FOR NEW POLE LOCATIONS. GC TO VERIFY IF POLE AND POLE BASE IS SUFFICIENT FOR THE HEIGHT, LOCATION AND FIXTURE SPECIFIED.
7. GMR DOES NOT SPECIFY MOUNTING HARDWARE FOR ANY SPECIFIED FIXTURES. GC IS TO WORK WITH DISTRIBUTOR AND/OR MANUFACTURER ON A CASE BY CASE BASIS TO IDENTIFY AND ORDER REQUIRED MOUNTING HARDWARE.
8. GC TO VERIFY WHETHER EXISTING WIRING LOCATIONS OR THE ADDITION OF WIRING FOR NEW FIXTURE LOCATIONS IS SUFFICIENT FOR THE DESIGNATED FIXTURE LOCATION.
9. GC TO SPECIFY POLE COLOR AND TYPE PRIOR TO ORDERING.
10. ALL FIXTURES ARE ASSUMED BRONZE IN COLOR UNLESS NOTED OTHERWISE IN THE LUMINAIRE SCHEDULE. GC TO CONFIRM PRIOR TO ORDERING.



V2 231107

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REVISION NO.	DESCRIPTION	REVISED BY



Rockwall - 1601 E I30  
1601 E I30,  
Rockwall, TX 75087

GENERAL NOTES

DESIGNED BY:	CAS	DRAWN BY:	CAS
REVIEWED BY:	AWD	APPROVED BY:	KRM
SHEET NO.	LU-1		

APPROVED:  
I hereby certify that the above and foregoing site plan for development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission on the 14 day of November, 2023.

*[Signature]* *[Signature]*  
Planning & Zoning Commission, Director of Planning & Zoning  
Chairman



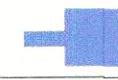



THIS LIGHTING PLAN ILLUSTRATES ILLUMINATE LEVELS CALCULATED FROM LABORATORY DATA UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY OF NORTH AMERICAN (IESNA) APPROVED METHODS. ACTUAL SITE ILLUMINATION LEVELS AND PERFORMANCE OF LUMINAIRES MAY VARY DUE TO VARIATIONS IN WEATHER, ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS AND OTHER RELATED VARIABLE FIELD CONDITIONS.

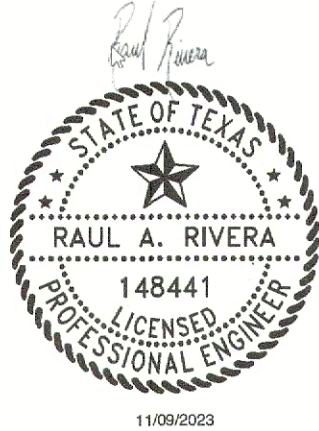
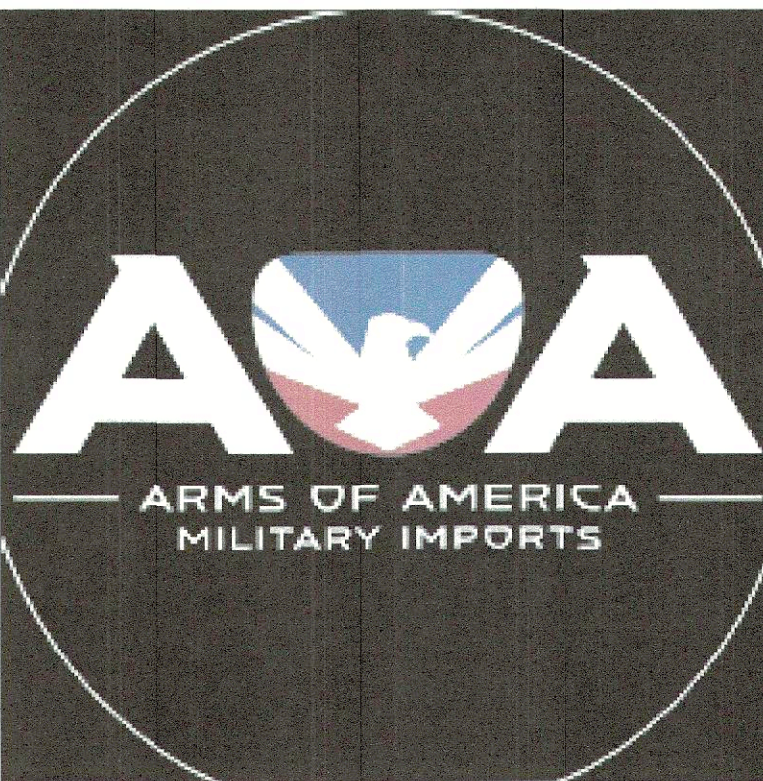


\*\*SEE FIXTURE CLARIFICATION NOTE #9\*\*

LUMINAIRE SCHEDULE

\*\*CONTRACTOR TO VERIFY MOUNTING ACCESSORIES BEFORE ORDERING\*\*

SYMBOL	TOTAL FIXTURE COUNT	TYPE	NEW POLE COUNT	MANUFACTURER	MODEL	MODEL NUMBER	NOTES	MOUNTING HEIGHT	MOUNTING ACCESSORY	BUG RATING	MOUNTING	KILOWATT PER HOUR	TOTAL WATTAGE
	1	AQ1	1	CREE	AREA EDGE	ARE-EDG-5M-DA-08-E-UL-BZ-525-40K	ADD NEW POLE AND FIXTURE	20' AFG	-	B4-U0-G2	POLE MOUNT	0.133	133 W
	3	AW1	3	CREE	AREA EDGE	ARE-EDG-4MB-DA-04-E-UL-BZ-700-40K	ADD NEW POLE AND FIXTURE	20' AFG	-	B1-U0-G2	POLE MOUNT	0.093	279 W
	1	ON1	-	CREE	OSQ	OSQM-C-16L-40K7-4B-UL-NM-SV	ADD NEW FIXTURE	23' AFG	OSQ-ML-C-DA-SV, WM-DM-SV	B2-U0-G2	WALL MOUNT	0.097	97 W
	4	OT1	-	CREE	OSQ	OSQM-C-16L-40K7-3M-UL-NM-SV	ADD NEW FIXTURE	16' AFG	OSQ-ML-C-DA-SV, WM-DM-SV	B3-U0-G3	WALL MOUNT	0.097	388 W
	3	UU1	-	LITHONIA	OLLWD	OLLWD LED-P1-40K-MVOLT-DDB	ADD NEW FIXTURE	7' - 0" AFG	-	B1-U0-G1	WALL MOUNT	0.0091	27 W
	3	UU2	-	LITHONIA	OLLWD	OLLWD LED-P1-40K-MVOLT-DDB	ADD NEW FIXTURE	8' - 0" AFG	-	B1-U0-G1	WALL MOUNT	0.0091	27 W
GRAND TOTAL WATTAGE												952 W	



V2 231107

REVISION NO.	DESCRIPTION	REVISED BY
1		
2		
3		





Rockwall - 1601 E I30  
1601 E I30,  
Rockwall, TX 75087

LUMINAIRE SCHEDULE

DESIGNED BY:	CAS	DRAWN BY:	CAS
REVIEWED BY:	AWD	APPROVED BY:	KRM

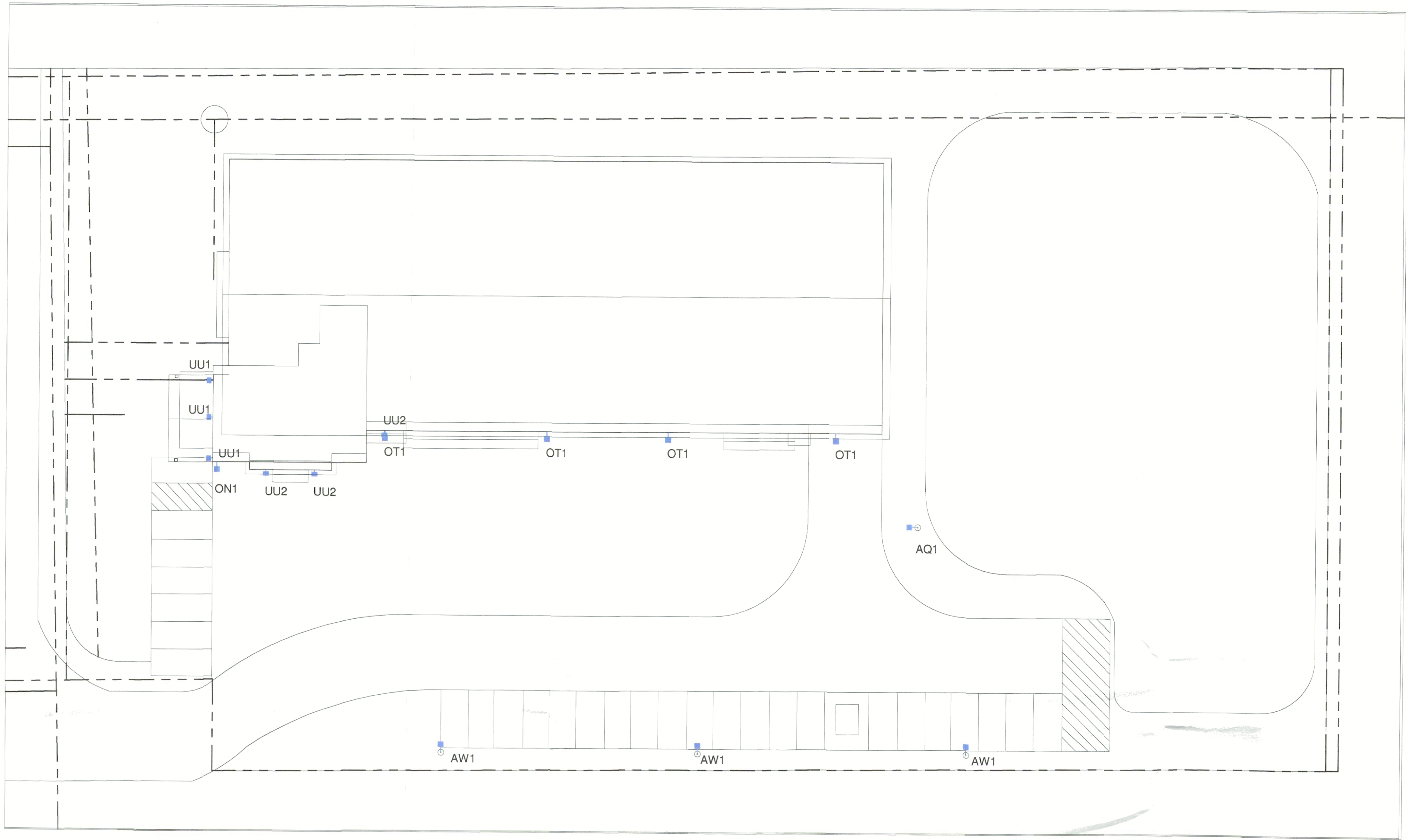
SHEET NO. LU-2

APPROVED:  
I hereby certify that the above and foregoing site plan for development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission on the 22<sup>nd</sup> day of November, 2023.  
  
Planning & Zoning Commission, Chairman  
  
Director of Planning & Zoning

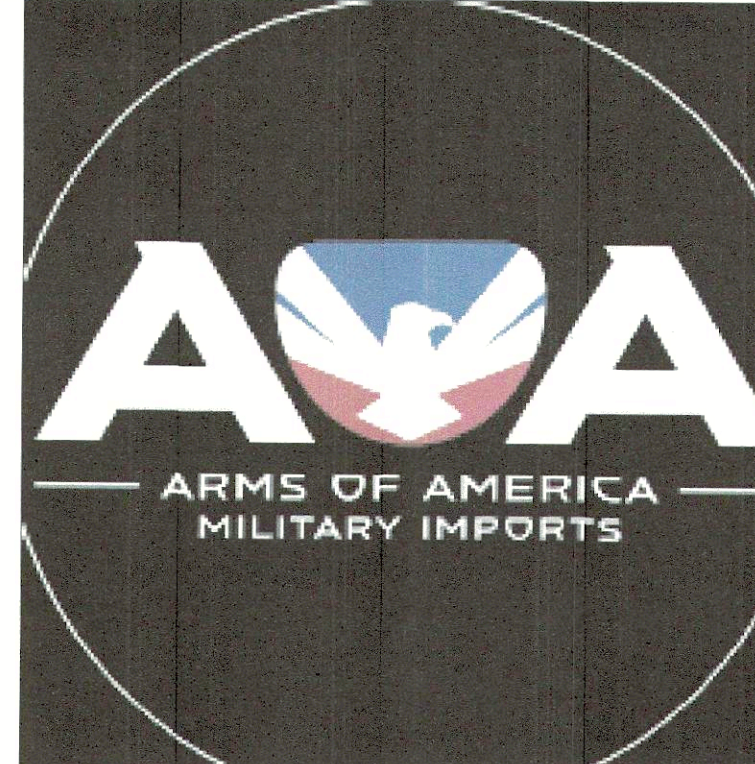


TOTAL FIXTURE COUNT	TYPE	NOTES	MOUNTING HEIGHT
1	AQ1	ADD NEW POLE AND FIXTURE	20' AFG
3	AW1	ADD NEW POLE AND FIXTURE	20' AFG
1	ON1	ADD NEW FIXTURE	23' AFG
4	OT1	ADD NEW FIXTURE	16' AFG
3	UU1	ADD NEW FIXTURE	7' - 0" AFG
3	UU2	ADD NEW FIXTURE	8' - 0" AFG

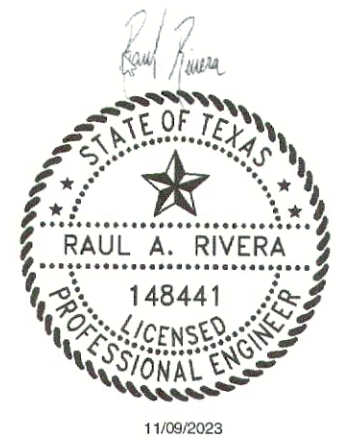
I-30 Frontage Rd



Enterprise Dr

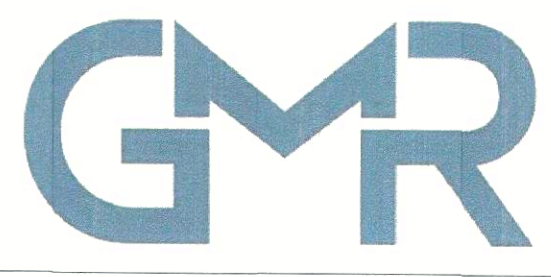


BLUE = NEW FIXTURE  
GREEN = EXISTING FIXTURE LOCATION TO BE REPLACED  
ORANGE = EXISTING FIXTURE TO REMAIN  
TURQUOISE = FIXTURE TO BE REMOVED  
PINK = REPLACE WITH NEW POLE AT NEW HEIGHT  
- - - = PROPERTY LINE BASED ON COUNTY APPRAISAL INFORMATION  
- - - = INDICATES NEW SECURITY FENCE  
- - - = BURIED ELECTRICAL CIRCUIT



SCALE: 3/64" = 1'-0"  
V2 231107

1		
2		
3		
REVISION NO.	DESCRIPTION	REVISED BY



Rockwall - 1601 E I30  
1601 E I30,  
Rockwall, TX 75087

OVERALL SITE PLAN

DESIGNED BY:	CAS	DRAWN BY:	CAS
REVIEWED BY:	AWD	APPROVED BY:	KRM
SHEET NO.	LU-3A		

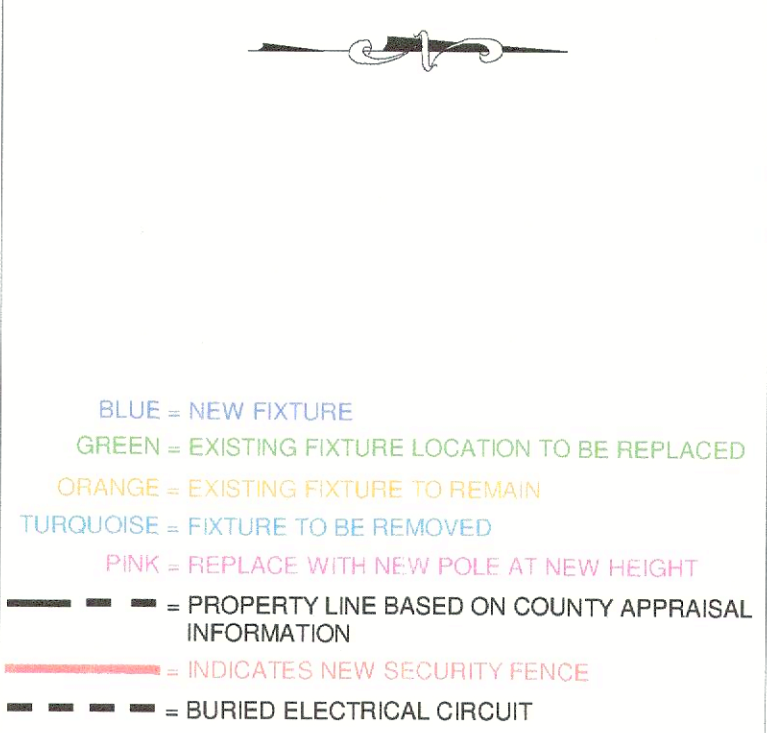
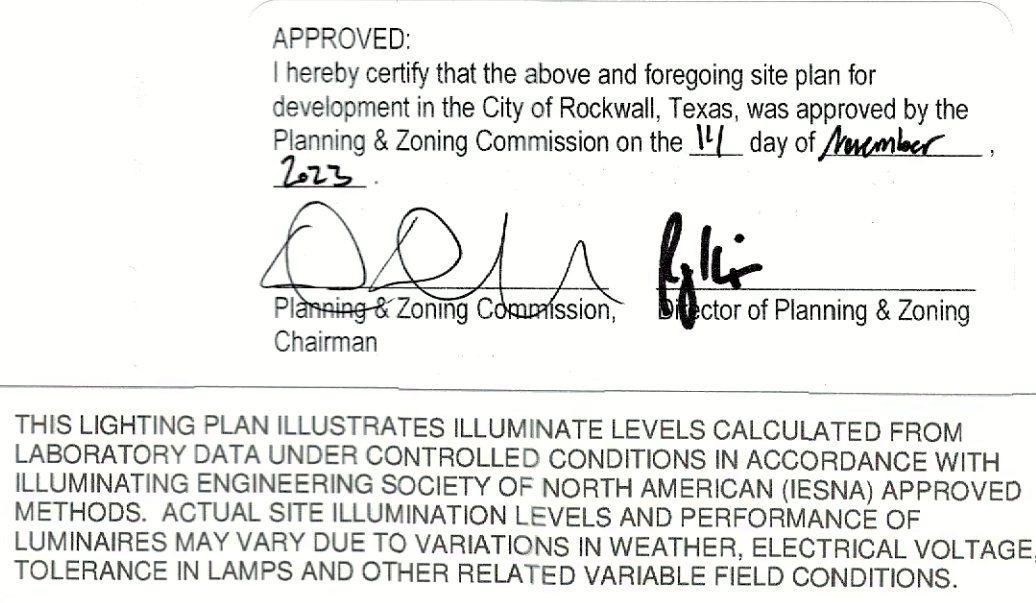
APPROVED:  
I hereby certify that the above and foregoing site plan for development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission on the 21 day of November, 2023.  
  
Planning & Zoning Commission, Chairman  
  
Director of Planning & Zoning

THIS LIGHTING PLAN ILLUSTRATES ILLUMINATE LEVELS CALCULATED FROM LABORATORY DATA UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY OF NORTH AMERICAN (IESNA) APPROVED METHODS. ACTUAL SITE ILLUMINATION LEVELS AND PERFORMANCE OF LUMINAIRES MAY VARY DUE TO VARIATIONS IN WEATHER, ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS AND OTHER RELATED VARIABLE FIELD CONDITIONS.

SITE NOTES:	EXISTING SITE CONDITIONS:
	1. EXISTING POLES - N/A 2. EXISTING POLE BASES - N/A 3. EXISTING DRIVE THRU CEILING - N/A



SITE NOTES:		EXISTING SITE CONDITIONS:
		1. EXISTING POLES - N/A 2. EXISTING POLE BASES - N/A 3. EXISTING DRIVE THRU CEILING - N/A



**SITE DATA:**  
**TOTAL SITE AREA = 6.58 AC/ 2,86,656 SF**  
**TOTAL GREEN SPACE / LANDSCAPE AREA = 5.14 AC**  
**NO. OF PROPOSED BUILDINGS = 1**  
**PARKING DIMENSIONS = 9' X 20'**

SCALE: 1/64" = 1'-0"

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REVISION NO.	DESCRIPTION	REVISED BY



Rockwall - 1601 E I30  
1601 E I30,  
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OVERALL SITE PLAN

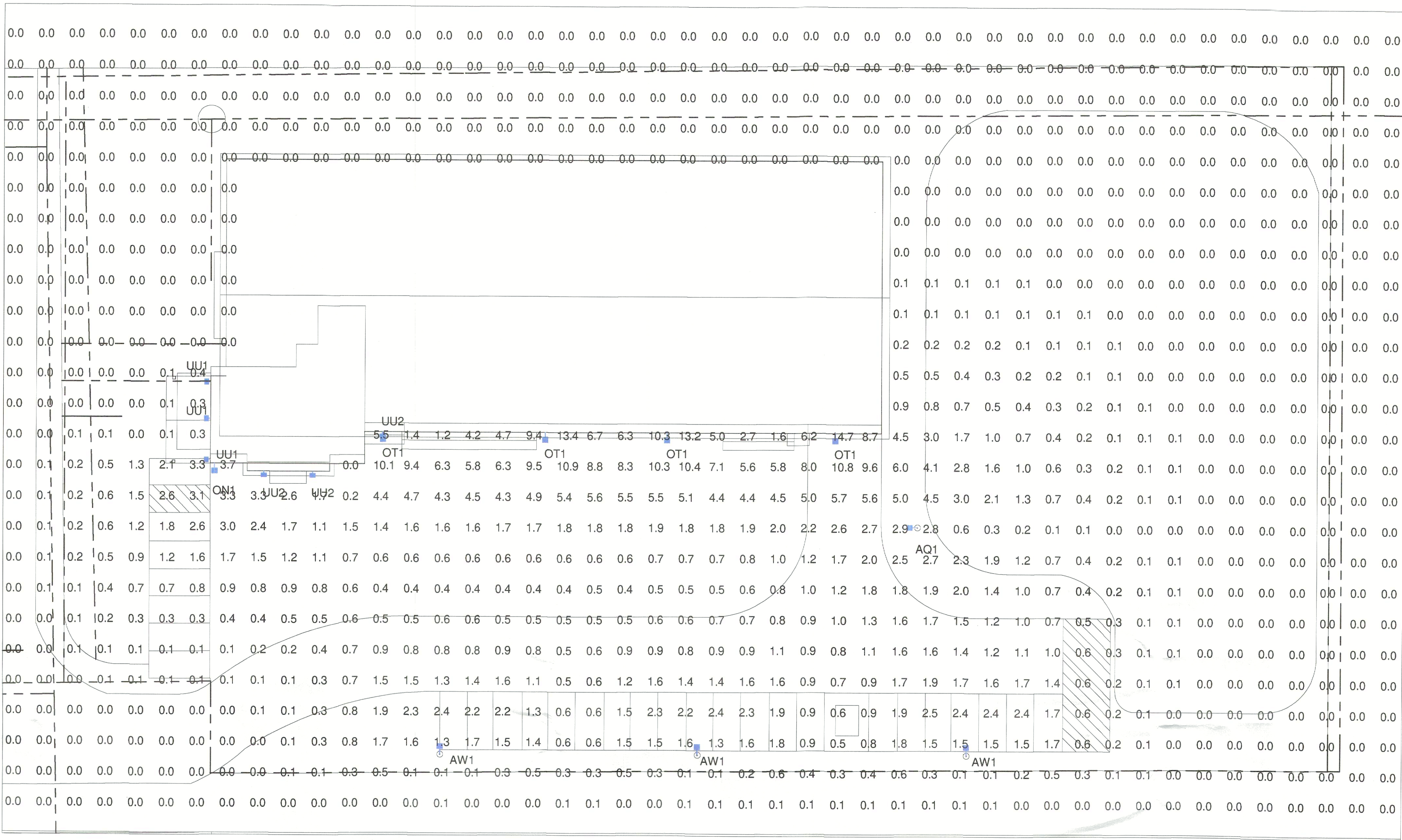
DESIGNED BY:	CAS	DRAWN BY:	CAS
REVIEWED BY:	AWD	APPROVED BY:	KRM

LU-3B



- NOTES:
1. THE SCOPE OF WORK FOR THIS PROJECT IS LIMITED TO EXTERIOR LIGHTING RENOVATIONS AS SHOWN ON THE PLANS.
  2. ALL PROPOSED LIGHTS WILL BE FULL CUTOFF LED LIGHT FIXTURES.
  3. ALL EXISTING LIGHTS WILL BE REPLACED WITH FULL CUT OFF LED LIGHT FIXTURES.
  4. REFERENCE THE LUMINAIRE SCHEDULE (SHEET LU-2) FOR ADDITIONAL LIGHT FIXTURE INFORMATION.

I-30 Frontage Rd



Enterprise Dr

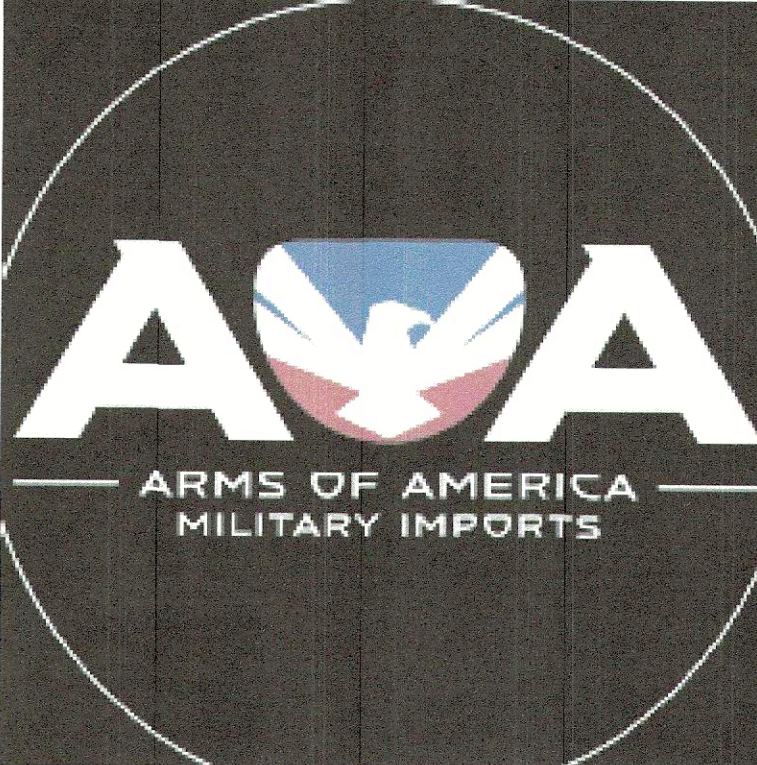
CALCULATION SUMMARY FULL SITE					
Calculation Points Name	Average	Maximum	Minimum	Ave/Min	Max/Min
FULL SITE @ GRADE	0.7 fc	14.7 fc	0.0 fc	0.0 fc	0.0 fc
PARKING LOT @ 60" V	1.7 fc	13.9 fc	0.1 fc	12.5 fc	104.7 fc
PARKING LOT @ GRADE	2.0 fc	11.6 fc	0.0 fc	0.0 fc	0.0 fc
PROPERTY LINE @ GRADE	0.0 fc	0.2 fc	0.0 fc	0.0 fc	0.0 fc

APPROVED:  
I hereby certify that the above and foregoing site plan for development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission on the 14 day of November, 2023.

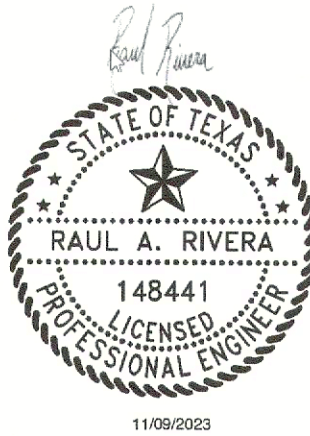
*[Signature]*  
Planning & Zoning Commission, Chairman

*[Signature]*  
Director of Planning & Zoning

THIS LIGHTING PLAN ILLUSTRATES ILLUMINATE LEVELS CALCULATED FROM LABORATORY DATA UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY OF NORTH AMERICAN (IESNA) APPROVED METHODS. ACTUAL SITE ILLUMINATION LEVELS AND PERFORMANCE OF LUMINAIRES MAY VARY DUE TO VARIATIONS IN WEATHER, ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS AND OTHER RELATED VARIABLE FIELD CONDITIONS.



- BLUE = NEW FIXTURE
- GREEN = EXISTING FIXTURE LOCATION TO BE REPLACED
- ORANGE = EXISTING FIXTURE TO REMAIN
- TURQUOISE = FIXTURE TO BE REMOVED
- PINK = REPLACE WITH NEW POLE AT NEW HEIGHT
- = PROPERTY LINE BASED ON COUNTY APPRAISAL INFORMATION
- = INDICATES NEW SECURITY FENCE
- = BURIED ELECTRICAL CIRCUIT



SCALE: 3/64" = 1'-0"

V2 231107

REVISION NO.	DESCRIPTION	REVISED BY
1		
2		
3		



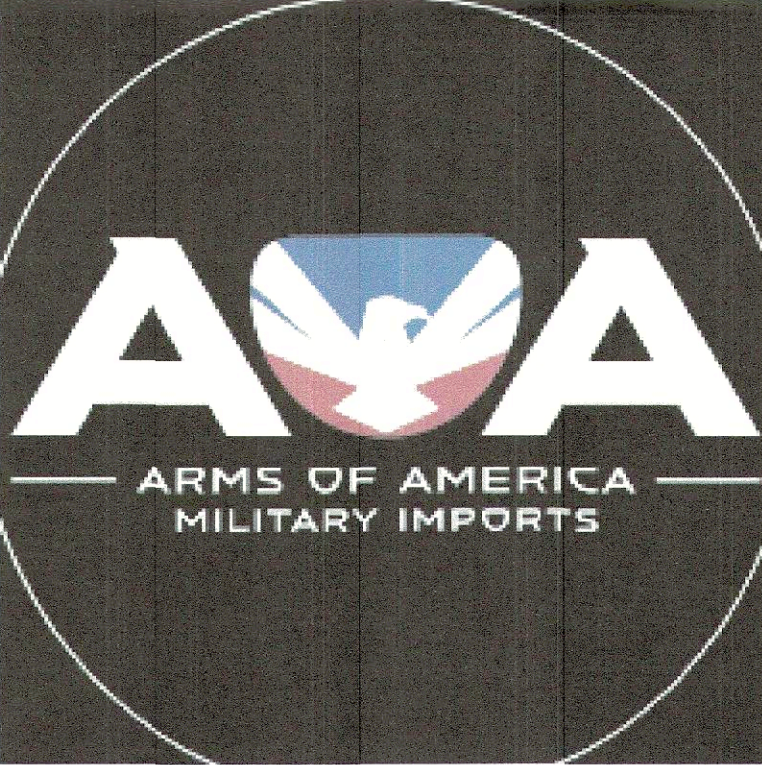
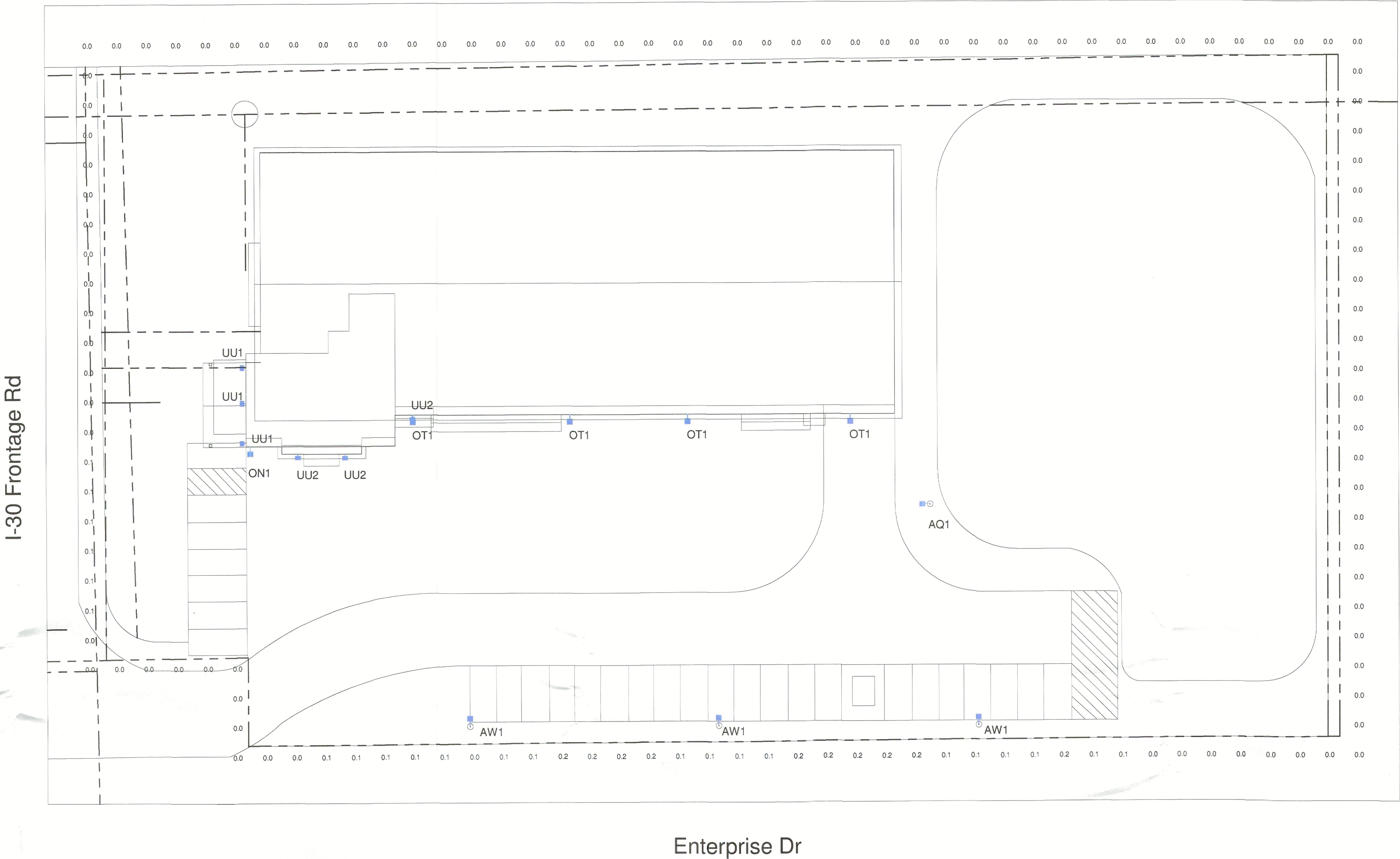
Rockwall - 1601 E I30  
1601 E I30,  
Rockwall, TX 75087

FULL SITE PHOTOMETRICS PLAN

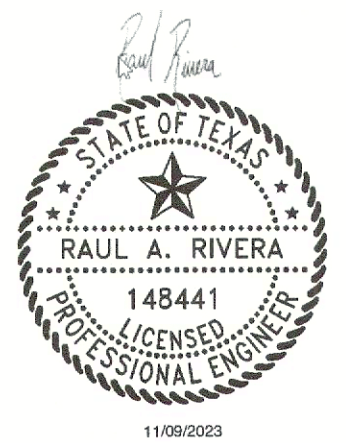
DESIGNED BY:	CAS	DRAWN BY:	CAS
REVIEWED BY:	AWD	APPROVED BY:	KRM
SHEET NO.	LU-4A		



NOTES:  
1. READINGS ARE MEASURED AS NOTED.



BLUE = NEW FIXTURE  
GREEN = EXISTING FIXTURE LOCATION TO BE REPLACED  
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V2 231107

REVISION NO.	DESCRIPTION	REVISED BY
1		
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3		



Rockwall - 1601 E I30  
1601 E I30,  
Rockwall, TX 75087

PROPERTY LINE PHOTOMETRICS

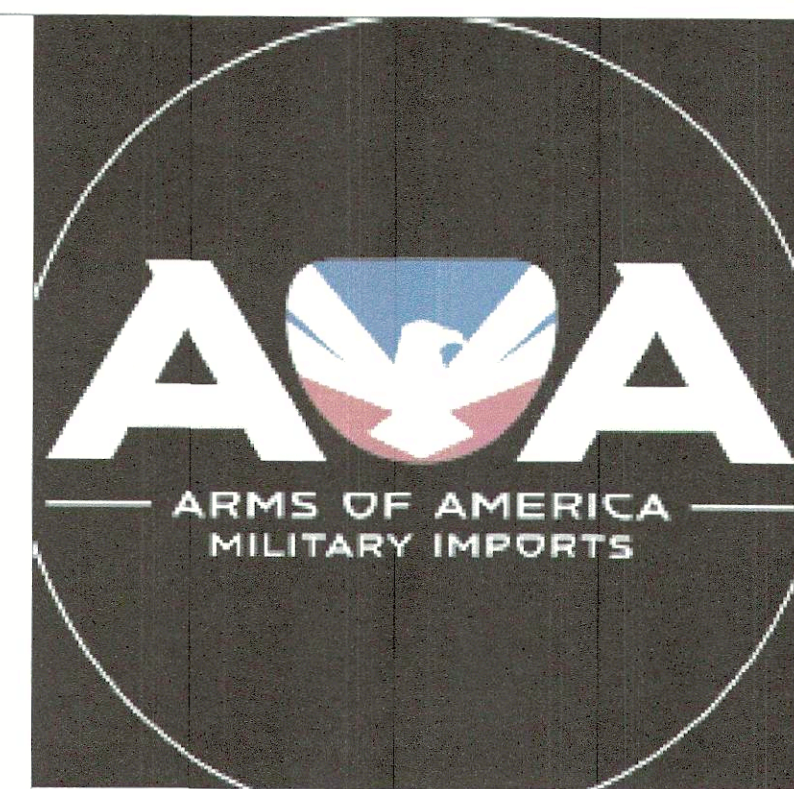
DESIGNED BY:	CAS	DRAWN BY:	CAS
REVIEWED BY:	AWD	APPROVED BY:	KRM
SHEET NO.	LU-4B		

APPROVED:  
I hereby certify that the above and foregoing site plan for development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission on the 14 day of November, 2023.  
*[Signature]* *[Signature]*  
Planning & Zoning Commission, Chairman Director of Planning & Zoning

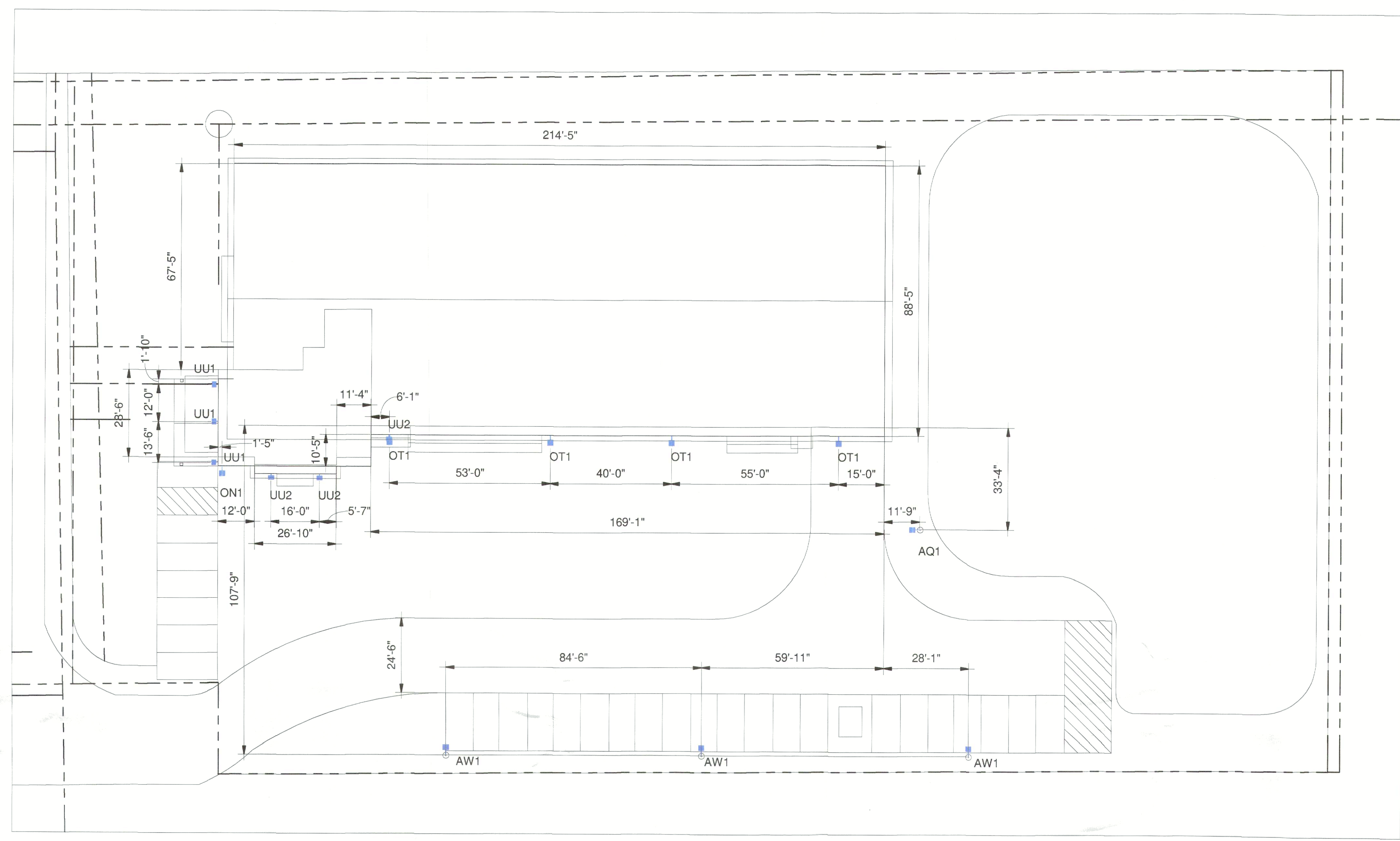
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CALCULATION SUMMARY FULL SITE					
Calculation Points Name	Average	Maximum	Minimum	Ave/Min	Max/Min
FULL SITE @ GRADE	0.7 fc	14.7 fc	0.0 fc	0.0 fc	0.0 fc
PARKING LOT @ 60" V	1.7 fc	13.9 fc	0.1 fc	12.5 fc	104.7 fc
PARKING LOT @ GRADE	2.0 fc	11.6 fc	0.0 fc	0.0 fc	0.0 fc
PROPERTY LINE @ GRADE	0.0 fc	0.2 fc	0.0 fc	0.0 fc	0.0 fc



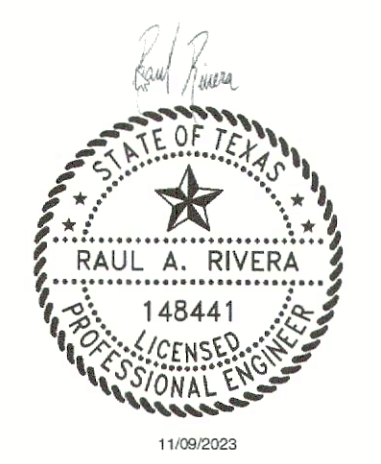


I-30 Frontage Rd



Enterprise Dr

- BLUE = NEW FIXTURE
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V2 231107

REVISION NO.	DESCRIPTION	REVISED BY
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2		
3		



Rockwall - 1601 E I30  
1601 E I30,  
Rockwall, TX 75087

DIMENSIONING PLAN

DESIGNED BY:	CAS	DRAWN BY:	CAS
REVIEWED BY:	AWD	APPROVED BY:	KRM
SHEET NO.	LU-5		

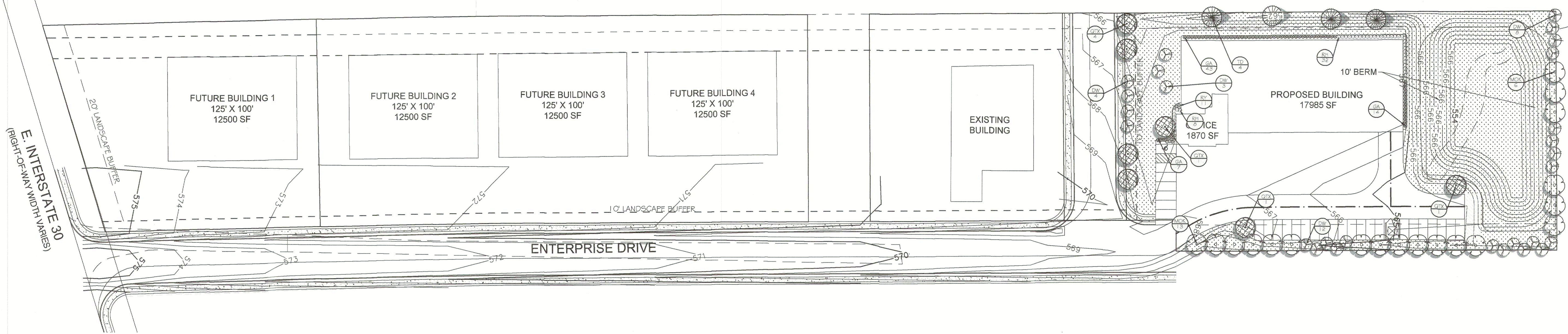
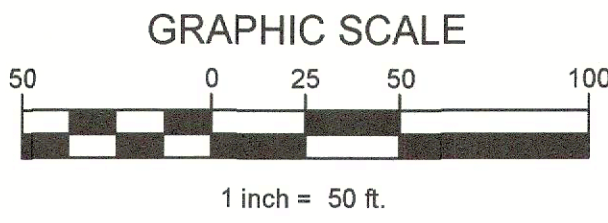
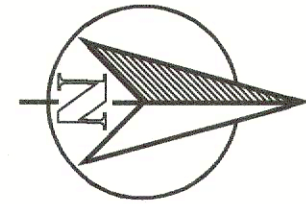
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*[Signature]*  
Planning & Zoning Commission, Chairman









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#### PLANT SCHEDULE

TREES	CODE	COMMON / BOTANICAL NAME	SIZE	CONTAINER	QTY
	DW	Desert Willow / Chloopsis lineans min. 4' ht; buffer tree	CONT.	PER HT.	23
	MOK	Monterey Oak / Quercus polymorpha `Monterey` min. 14' ht; mitigation tree	CONT.	4"Cal	19
	QTX	Shumard Oak / Quercus shumardii mitigation tree	CONT.	4"Cal	3
	TD	Bald Cypress / Taxodium distichum min. 6' ht.; street tree	CONT.	4"Cal	4
SHRUBS	CODE	COMMON / BOTANICAL NAME	SIZE	QTY	
	GA	Glossy Abelia / Abelia grandiflora 36" o.c.	5 gal	64	
	RY	Red Yucca / Hesperaloe parviflora 30" o.c.	5 gal	11	
	RH	Indian Hawthorn / Raphiolepis Indica `Snow` 36" o.c.	5 gal	40	
GROUND COVERS	CODE	COMMON / BOTANICAL NAME	SIZE	QTY	
	CD	Bermuda Grass / Cynodon dactylon `tif 419`	sod	45,938 sf	

#### LANDSCAPE STANDARDS

<b>05.01 LANDSCAPE BUFFERS - NON-RESIDENTIAL</b>	
ENTERPRISE DR.:	20' WIDE BUFFER REQ. W/ 3 CANOPY + 4 ACCENT TREE PER 100 LIN. FT. OF FRONTAGE; GROUND COVER, BUILT-UP BERM AND SHRUBBERY ALONG ENTIRE FRONTAGE, 30" HIGH, MIN.
±365' STREET FRONTAGE	13 CANOPY TREES, 12 ACCENT TREES, W/ SHRUBS 13 NEW CANOPY TREES; 12 ACCENT TREES
REQUIRED PLANTING: PROVIDED 30' BUFFER:	
WEST PROPERTY LINE BUFFER:	NOT REQUIRED. PROPERTY ZONED COMMERCIAL (C)
<b>05.02 LANDSCAPE SCREENING</b>	
REQ. HEADLIGHT SCREENING	HEAD-IN PARKING ADJ. TO STREET SHALL INCORP. MIN. 2' BERM W/ MATURE EVERGREEN SHRUBS ALONG ENTIRE PARKING AREAS
PROVIDED SCREENING SCREENING FROM RESIDENTIAL	N/A N/A
<b>05.03 LANDSCAPE REQUIREMENTS - COMMERCIAL (C) DISTRICT</b>	
TOTAL SITE AREA:	144,251 SF
LANDSCAPE AREA REQUIRED TOTAL SITE:	28,850 SF (20%)
LANDSCAPE PROVIDED, TOTAL SITE:	±29,121 SF
LOCATION OF LANDSCAPING:	MIN. 50% OF REQ. LANDSCAPING SHALL BE LOCATED IN THE FRONT OF & ALONG THE SIDE OF BUILDINGS W/ STREET FRONTAGE.
LANDSCAPE AREAS IN FRONT & SIDES OF BUILDINGS:	102,608 SF (17.4%)
MIN. SIZE OF AREAS:	ALL REQ. LANDSCAPING SHALL BE NO LESS THAN 5' WIDE AND A MIN. OF 25 SF IN AREA
PARKING LOT LANDSCAPING	
PROPOSED PARKING AREA:	MIN. 5% OR 200 SF OF LANDSCAPING, WHICHEVER IS GREATER, IN THE INTERIOR OF PARKING LOT AREA, ±6,400 SF
REQ. PARKING LOT LANDSCAPING:	±320 SF (6,400 x 5%) AND (1) LG. CANOPY TREE FOR EVERY 10 PARKING SPACES INTERNAL TO PARKING AREAS (PARKING AREA OVER 20,000 SF) REQ. PARKING SPACES MUST BE WITHIN 80' OF A CANOPY TREE TRUNK
PROPOSED PARKING LOT LANDSCAPING:	±1,200 SF
TREES PROVIDED:	28 PARKING SPACES / 10 = 28 (3) TREES 3 CANOPY TREES

#### GENERAL GRADING AND PLANTING NOTES

- BY SUBMITTING A PROPOSAL FOR THE LANDSCAPE PLANTING SCOPE OF WORK, THE CONTRACTOR CONFIRMS THAT HE HAS READ, AND WILL COMPLY WITH, THE ASSOCIATED NOTES, SPECIFICATIONS, AND DETAILS WITH THIS PROJECT.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL EXISTING VEGETATION (EXCEPT WHERE NOTED TO REMAIN).
- IN THE CONTEXT OF THESE PLANS, NOTES, AND SPECIFICATIONS, "FINISH GRADE" REFERS TO THE FINAL ELEVATION OF THE SOIL SURFACE (NOT TOP OF MULCH) AS INDICATED ON THE GRADING PLANS.
  - BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE ROUGH GRADES OF ALL LANDSCAPE AREAS ARE WITHIN +/-0.1' OF FINISH GRADE. SEE SPECIFICATIONS FOR MORE DETAILED INSTRUCTION ON TURF AREA AND PLANTING BED PREPARATION.
  - CONSTRUCT AND MAINTAIN FINISH GRADES AS SHOWN ON GRADING PLANS, AND CONSTRUCT AND MAINTAIN SLOPES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT AND ON THE GRADING PLANS, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL.
  - THE LANDSCAPE CONTRACTOR SHALL DETERMINE WHETHER OR NOT THE EXPORT OF ANY SOIL WILL BE NEEDED, TAKING INTO ACCOUNT THE ROUGH GRADE PROVIDED, THE AMOUNT OF SOIL AMENDMENTS TO BE ADDED (BASED ON A SOIL TEST, PER SPECIFICATIONS), AND THE FINISH GRADES TO BE ESTABLISHED.
  - AFTER INSTALLING SOIL AMENDMENTS IN SHRUB AREAS, AND IN ORDER TO ALLOW FOR PROPER MULCH DEPTH, ENSURE THAT THE FINISH GRADE IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES IS 3" BELOW FINISH GRADE, TAPERING TO MEET FINISH GRADE AT APPROXIMATELY 18" AWAY FROM THE SURFACE.
  - AFTER INSTALLING SOIL AMENDMENTS IN TURF AREAS, ENSURE THAT THE FINISH GRADE IN TURF AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES IS 1" BELOW FINISH GRADE, TAPERING TO MEET FINISH GRADE AT APPROXIMATELY 18" AWAY FROM THE SURFACE.
  - SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GRADING PLANS, GEOTECHNICAL REPORT, THESE NOTES AND PLANS, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT, GENERAL CONTRACTOR, AND OWNER.
- ALL PLANT LOCATIONS ARE DIAGRAMMATIC. ACTUAL LOCATIONS SHALL BE VERIFIED WITH THE LANDSCAPE ARCHITECT OR DESIGNER PRIOR TO PLANTING. THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT ALL REQUIREMENTS OF THE PERMITTING AUTHORITY ARE MET (I.E., MINIMUM PLANT QUANTITIES, PLANTING METHODS, TREE PROTECTION METHODS, ETC.).
  - THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR DETERMINING PLANT QUANTITIES; PLANT QUANTITIES SHOWN ON LEGENDS AND CALLOUTS ARE FOR GENERAL INFORMATION ONLY. IN THE EVENT OF A DISCREPANCY BETWEEN THE PLAN AND THE PLANT LEGEND, THE PLANT QUANTITY AS SHOWN ON THE PLAN (FOR INDIVIDUAL SYMBOLS) OR CALLOUT (FOR GROUNDCOVER PATTERNS) SHALL TAKE PRECEDENCE.
  - NO SUBSTITUTIONS OF PLANT MATERIALS SHALL BE ALLOWED WITHOUT THE WRITTEN PERMISSION OF THE LANDSCAPE ARCHITECT.** IF SOME OF THE PLANTS ARE NOT AVAILABLE, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IN WRITING (VIA PROPER CHANNELS).
  - THE CONTRACTOR SHALL, AT A MINIMUM, PROVIDE REPRESENTATIVE PHOTOS OF ALL PLANTS PROPOSED FOR THE PROJECT. THE CONTRACTOR SHALL ALLOW THE LANDSCAPE ARCHITECT AND THE OWNER/OWNER'S REPRESENTATIVE TO INSPECT, AND APPROVE OR REJECT, ALL PLANTS DELIVERED TO THE JOBSITE. REFER TO SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS FOR SUBMITTALS.
- THE CONTRACTOR SHALL MAINTAIN THE LANDSCAPE IN A HEALTHY CONDITION FOR 90 DAYS AFTER ACCEPTANCE BY THE OWNER. REFER TO SPECIFICATIONS FOR CONDITIONS OF ACCEPTANCE FOR THE START OF THE MAINTENANCE PERIOD, AND FOR FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD.
- PROVIDE HYDROMULCH FOR ALL DISTURBED LANDSCAPE AREAS OUTSIDE PROPERTY LIMITS.
- SEE SPECIFICATIONS AND DETAILS FOR FURTHER REQUIREMENTS.

APPROVED:  
I hereby certify that the above and foregoing site plan for development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission on the 14 day of November, 2023.

Planning & Zoning Commission, Chairman

Director of Planning & Zoning

SITE DATA:  
TOTAL SITE AREA = 6.58 AC/ 2,86,656 SF  
TOTAL GREEN SPACE / LANDSCAPE AREA = 5.14 AC  
NO. OF PROPOSED BUILDINGS = 1  
PARKING DIMENSIONS = 9' x 20'

#### PLANTING AND IRRIGATION GUARANTEE

THE LANDSCAPE CONTRACTOR SHALL GUARANTEE THAT ALL NEWLY INSTALLED AND EXISTING PLANTS SHALL SURVIVE FOR ONE YEAR AFTER FINAL OWNER ACCEPTANCE OF THE INSTALLATION WORK. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR APPROPRIATE WATERING OF THE LANDSCAPE THROUGH INSTALLATION OF A PROPERLY DESIGNED IRRIGATION SYSTEM. THE OWNER SHALL APPROVE THE SYSTEM DESIGN BEFORE INSTALLATION OF PLANTS OR IRRIGATION.

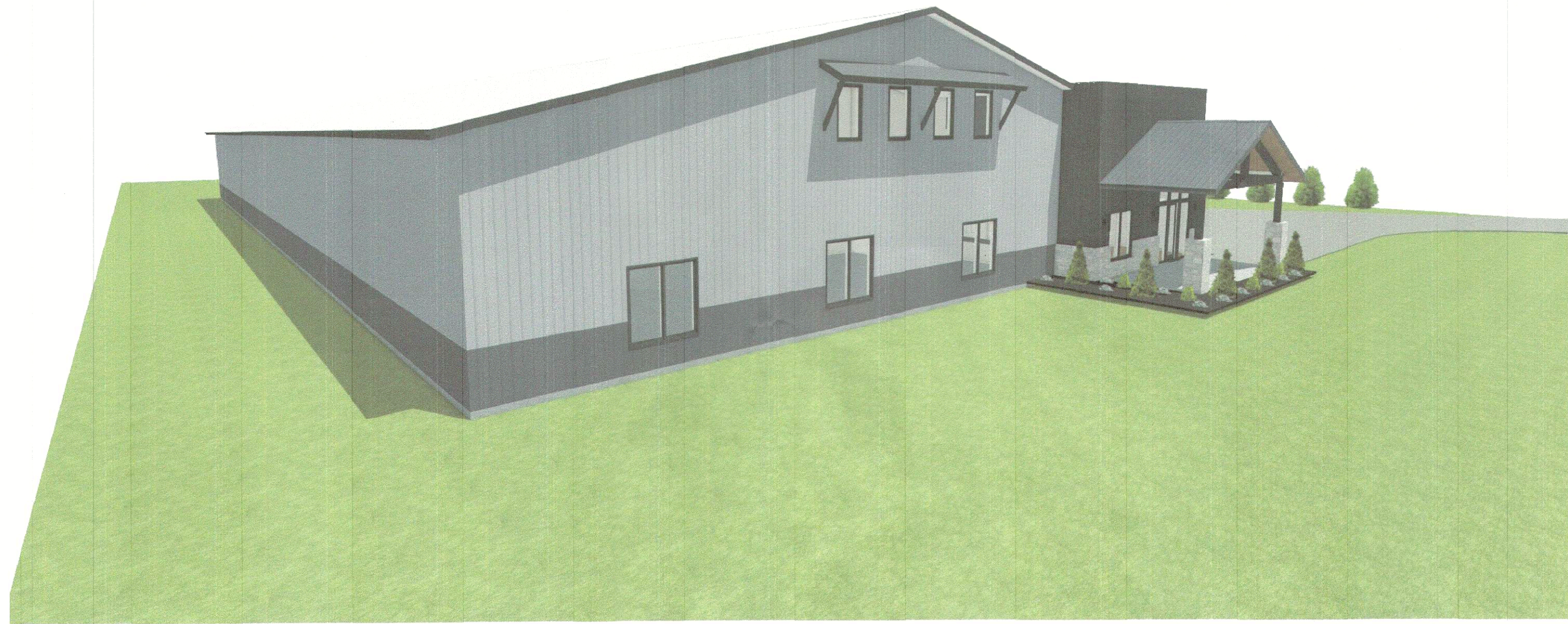
#### MULCHES

AFTER ALL PLANTING IS COMPLETE, CONTRACTOR SHALL INSTALL 3" THICK LAYER OF 1-1/2" SHREDDED WOOD MULCH, NATURAL (UNDYED), IN ALL PLANTING AREAS (EXCEPT FOR TURF AND SEEDING AREAS). CONTRACTOR SHALL SUBMIT SAMPLES OF ALL MULCHES TO LANDSCAPE ARCHITECT AND OWNER FOR APPROVAL PRIOR TO CONSTRUCTION. ABSOLUTELY NO EXPOSED GROUND SHALL BE LEFT SHOWING ANYWHERE ON THE PROJECT AFTER MULCH HAS BEEN INSTALLED (SUBJECT TO THE CONDITIONS AND REQUIREMENTS OF THE "GENERAL GRADING AND PLANTING NOTES" AND SPECIFICATIONS).

#### ROOT BARRIERS

THE CONTRACTOR SHALL INSTALL ROOT BARRIERS NEAR ALL NEWLY-PLANTED TREES THAT ARE LOCATED WITHIN FIVE (5) FEET OF PAVING OR CURBS. ROOT BARRIERS SHALL BE "CENTURY" OR "DEEP-ROOT" 24" DEEP PANELS (OR EQUAL). BARRIERS SHALL BE LOCATED IMMEDIATELY ADJACENT TO HARDSCAPE. INSTALL PANELS PER MANUFACTURER'S RECOMMENDATIONS. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR USE ROOT BARRIERS OF A TYPE THAT COMPLETELY ENCIRCLE THE ROOTBALL.

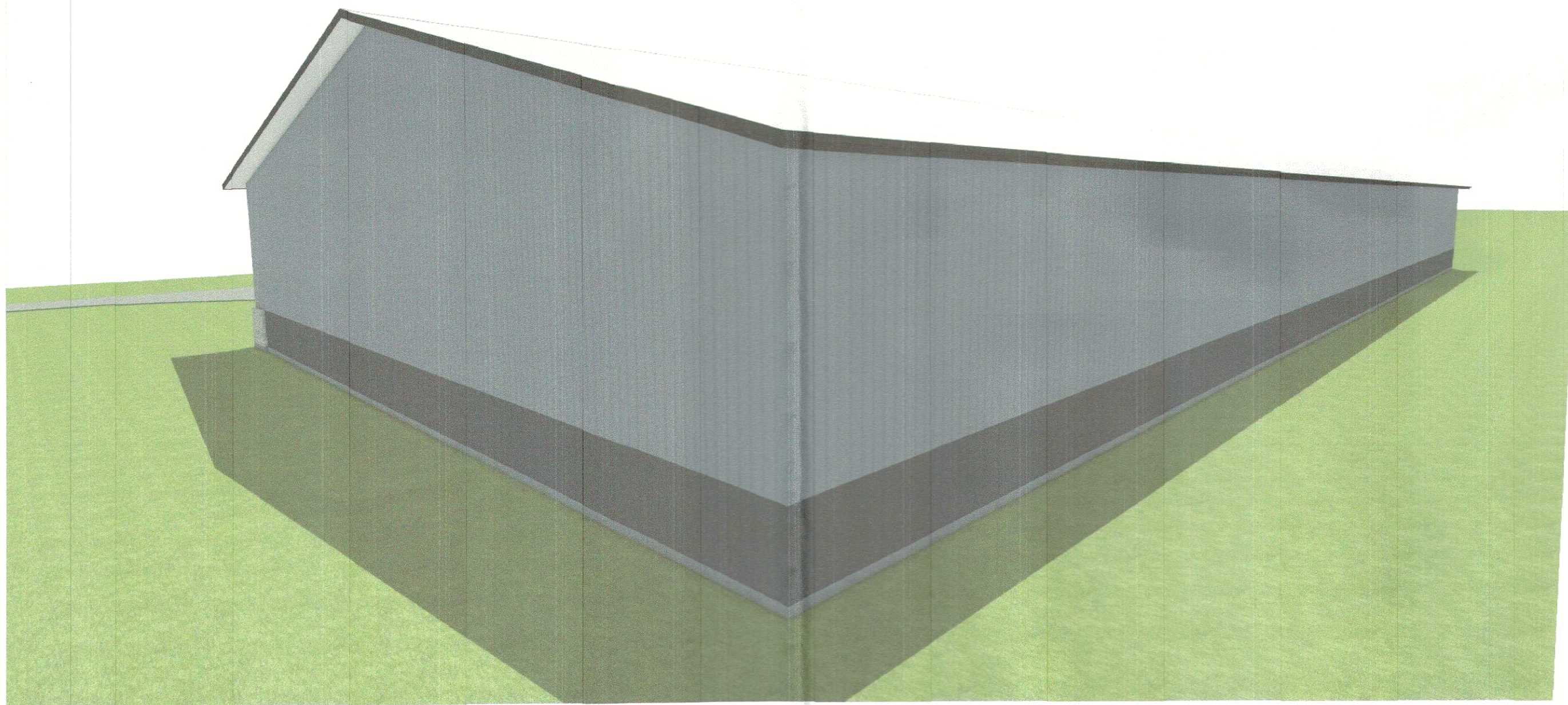




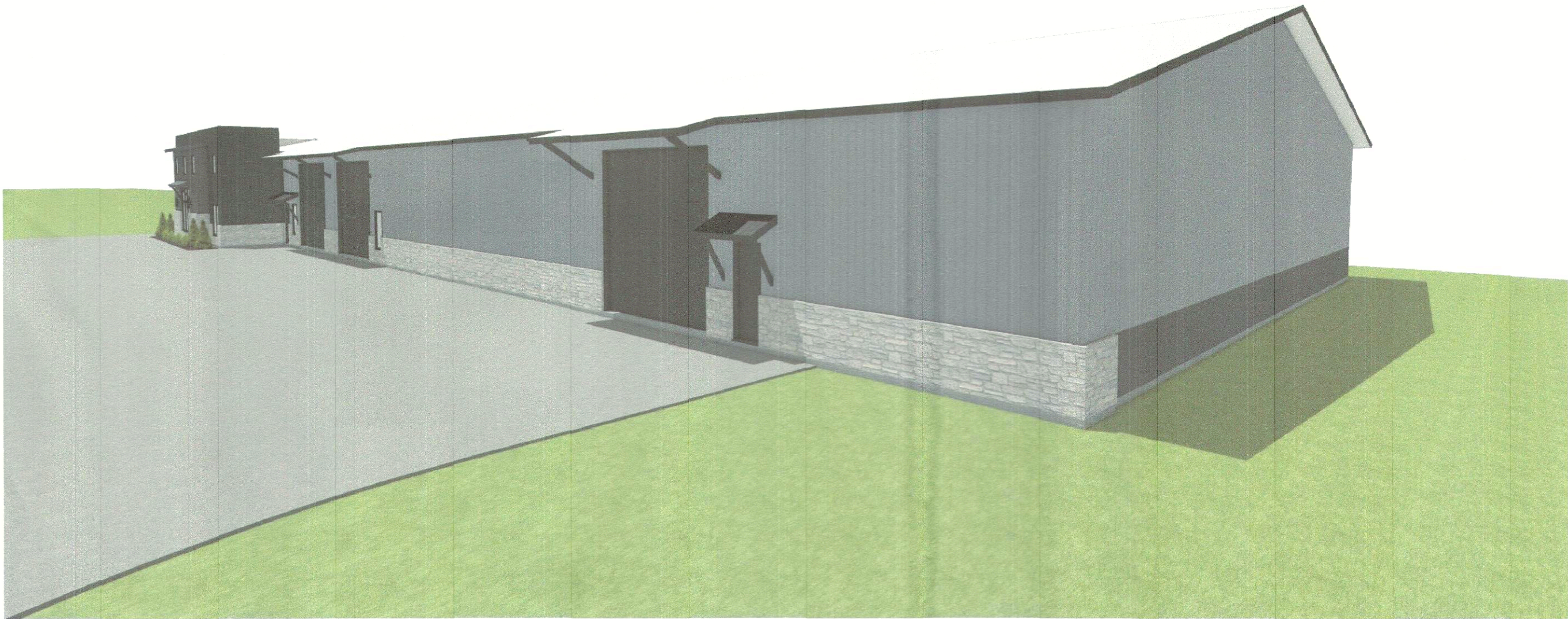
FRONT-LEFT



FRONT-RIGHT





BACK-LEFT



BACK-RIGHT

TOTAL OFFICE HEATED SF:	1853 SF
TOTAL SLAB SF:	20,273 SF (INCLUDES SHEET/STONE LEDGE)
TOTAL PORCHES UNDER ROOF:	317 SF
TOTAL WAREHOUSE:	18,103 SF
TOTAL UNDER ROOF SF:	20,273 SF

Revision Table			
Label	Date	Revised By	Description
REV 01	1/12/2021	AJH	INITIAL PLAN DEVELOPMENT
REV 03	10/2/2023	AJH	BUILDING & SITE PLAN UPDATES
REV 04	10/31/2023	AJH	ADD STONE PONY WALL TO RIGHT EL. WALL. REMOVED SIGNAGE

-INTERIOR & EXTERIOR 3D MODEL AVAILABLE (AS NEEDED) UPON REQUEST -2D ELECTRONIC CAD FILE AVAILABLE (.DWG, .DXF) UPON REQUEST -PLEASE REQUEST EITHER HOMEOWNER OR VIA DESIGNER CONTACT INFO	
To the best of my knowledge these plans are drawn to comply with owner's and/or builder's specifications and any changes made on them after prints are made will be done at the owner's and/or builder's expense and responsibility. The contractor shall verify all dimensions and enclosed drawing. Hamilton Handcrafted/Abide Home Designs is not liable for errors once construction has begun. While every effort has been made in the preparation of this plan to avoid mistakes, the maker can not guarantee against human error. The contractor of the job must check all dimensions and other details prior to construction and be solely responsible thereafter.	
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 Planning & Zoning Commission, Chairman	 Director of Planning & Zoning

**GENERAL NOTES:**  
THE BUILDER SHALL VERIFY THAT SITE CONDITIONS ARE CONSISTENT WITH THESE PLANS BEFORE STARTING WORK. WORK NOT SPECIFICALLY DETAILED SHALL BE CONSTRUCTED TO THE SAME QUALITY AS SIMILAR WORK THAT IS DETAILED. ALL WORK SHALL BE DONE IN ACCORDANCE WITH INTERNATIONAL BUILDING CODES AND LOCAL CODES.  
WRITTEN DIMENSIONS AND SPECIFIC NOTES SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND GENERAL NOTES. THE ENGINEER/DESIGNER SHALL BE CONSULTED FOR CLARIFICATION IF SITE CONDITIONS ARE ENCOUNTERED THAT ARE DIFFERENT THAN SHOWN. IF DISCREPANCIES ARE FOUND IN THE PLANS OR NOTES, OR IF A QUESTION ARISES OVER THE INTENT OF THE PLANS OR NOTES, CONTRACTOR SHALL VERIFY AND IS RESPONSIBLE FOR ALL DIMENSIONS (INCLUDING ROUGH OPENINGS).  
PLEASE SEE ADDITIONAL NOTES CALLED OUT ON OTHER SHEETS.  
**BUILDING PERFORMANCE:**  
HEAT LOSS CALCULATIONS SHALL COMPLY WITH THE REQUIREMENTS OF REGIONAL AND LOCAL CODES. SEE CALCULATIONS, PORCHES, DECKS, FOUNDATION, FIREPLACE ENCLOSURES, AND GARAGE AREAS NOT INCLUDED IN LIVING AREA. ALL EXHAUST FANS TO BE VENTED DIRECTLY TO THE EXTERIOR. ALL PENETRATIONS OF THE BUILDING ENVELOPE SHALL BE SEALED WITH CAULK OR FOAM.

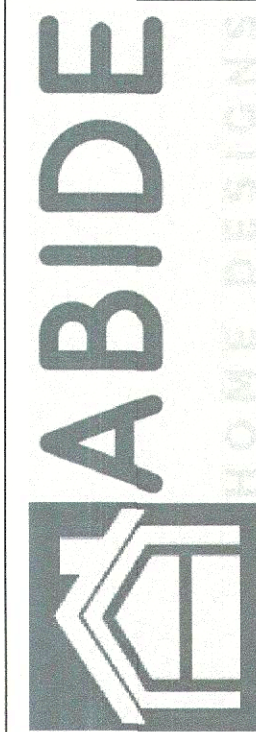
Layout Page Table	
Number	Title
1	PROJECT OVERVIEW
2	ELEVATIONS
3	SCHEDULES & STYLE
4	FOUNDATION/ROUGH-IN PLAN
5	ROOF PLAN - 1F
6	FRAMING PLAN - 1F

REV 04

HOME DESIGNED BY:  
AARON HAMILTON  
ABIDE HOME DESIGNS  
ROYSE CITY, TX / 972-533-0959  
AARON@ABIDEHOMEDESIGNS.COM

PROJECT  
OVERVIEW

ARMS OF AMERICA  
ENTERPRISE DR  
ROCKWALL, TX



DATE:

10/31/2023

SCALE:

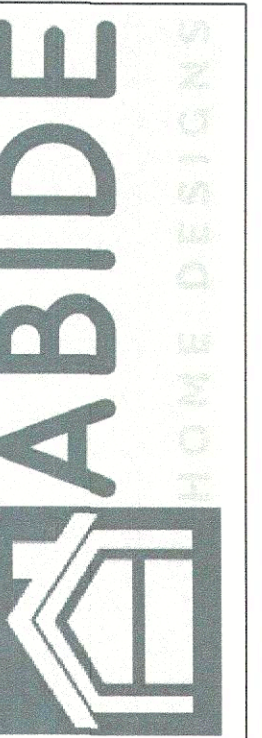
1/8"=1'

SHEET:

1



## ELEVATIONS

ARMS OF AMERICA  
ENTERPRISE DR  
ROCKWALL, TX

DATE:

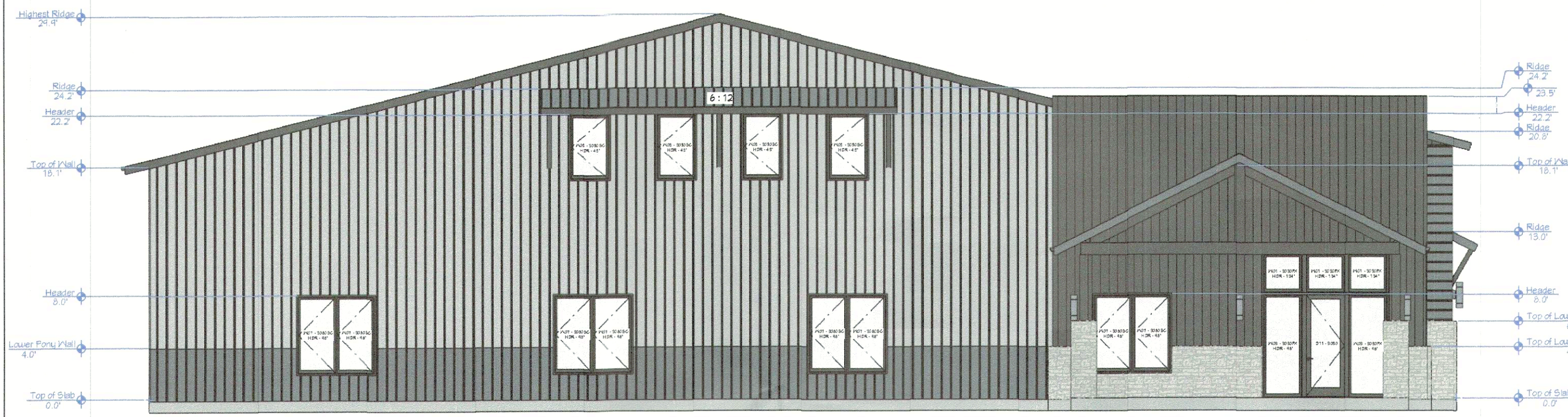
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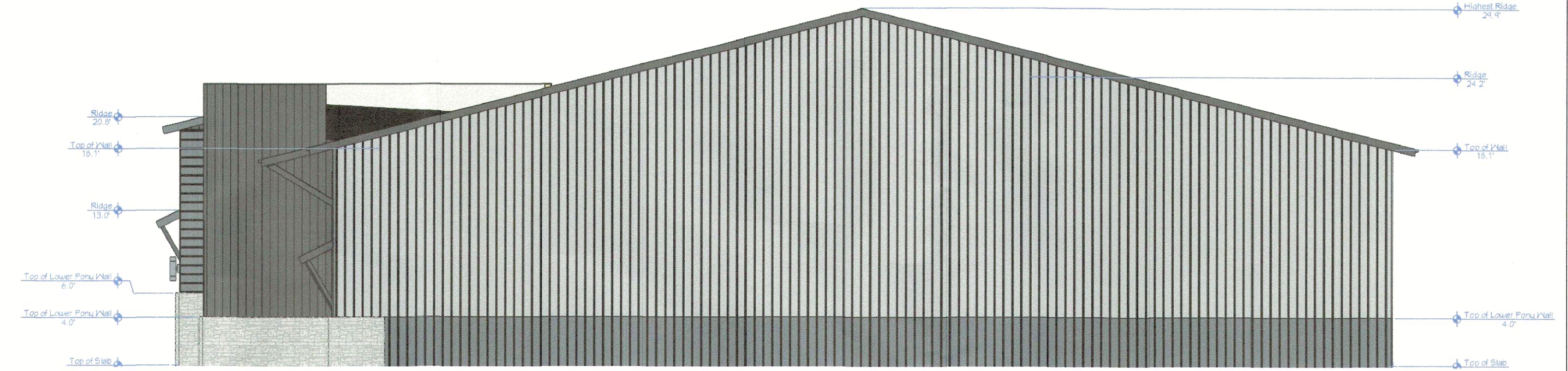
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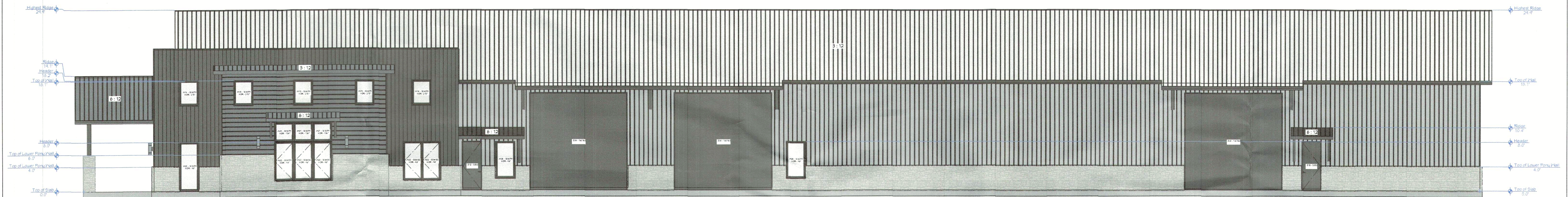
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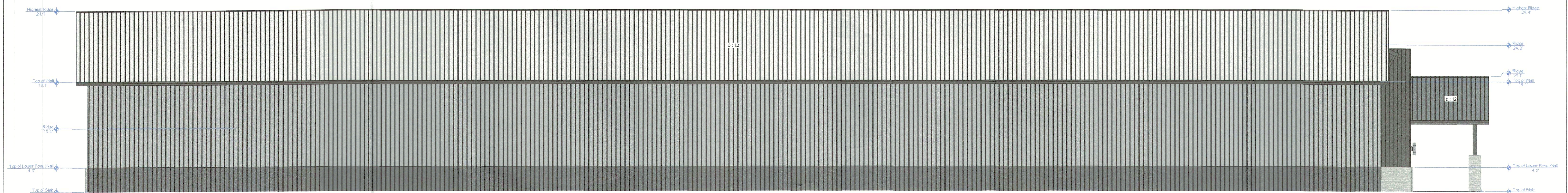
Exterior Elevation Front  
ELEVATION MATERIALS (EXCLUDING ROOF AND DOORS & WINDOWS):  
95% METAL  
5% STONE



Exterior Elevation Back  
ELEVATION MATERIALS (EXCLUDING ROOF AND DOORS & WINDOWS):  
96% METAL  
4% STONE



Exterior Elevation Right  
ELEVATION MATERIALS (EXCLUDING ROOF AND DOORS & WINDOWS):  
77% METAL  
23% STONE



Exterior Elevation Left  
ELEVATION MATERIALS (EXCLUDING ROOF AND DOORS & WINDOWS):  
99% METAL  
1% STONE



SCALE: 1/8" = 1'

## EXTERIOR MATERIALS:

SOFFIT:	METAL
SIDING:	R PANEL
ACCENT SIDING:	R PANEL
ROOF:	R PANEL
ROOF/AWNINGS:	R PANEL

PORCH POSTS:	8" METAL COLUMNS, BLACK
POST BASES (IF APPLICABLE):	CHOPPED LEUDER POST BASES

(SEE STYLE SHEET FOR ADDITIONAL INFO.)

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GENERAL NOTES AND SPECIFICATIONS

THE GENERAL CONTRACTOR SHALL FULLY COMPLY WITH THE 2006 IBC AND ALL ADDITIONAL STATE AND LOCAL CODE REQUIREMENTS. 2021 IBC AND 2021 IRC SHALL BE USED.

THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY WORK KNOWINGLY PERFORMED CONTRARY TO SUCH LAWS, ORDINANCES, OR REGULATIONS. THE CONTRACTOR SHALL ALSO PERFORM COORDINATION WITH ALL UTILITIES AND STATE SERVICE AUTHORITIES.

WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. THE GENERAL CONTRACTOR SHALL VERIFY AND IS RESPONSIBLE FOR ALL DIMENSIONS (INCLUDING ROUGH OPENINGS) AND CONDITIONS ON THE JOB AND MUST NOTIFY THIS OFFICE OF ANY VARIATIONS FROM THESE DRAWINGS.

THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE DESIGN AND PROPER FUNCTION OF PLUMBING, HVAC AND ELECTRICAL SYSTEMS. THE GENERAL CONTRACTOR SHALL NOTIFY THIS OFFICE WITH ANY PLAN CHANGES REQUIRED FOR DESIGN AND FUNCTION OF PLUMBING, HVAC AND ELECTRICAL SYSTEMS.

THIS OFFICE SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS AND METHODS, ACTS OR OMISSIONS OF THE CONTRACTOR OR SUBCONTRACTOR, OR FAILURE OF ANY OF THEM TO CARRY OUT WORK IN ACCORDANCE WITH THE CONSTRUCTION DOCUMENTS, AND DEFECT DISCOVERED IN THE CONSTRUCTION DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THIS OFFICE BY WRITTEN NOTICE BEFORE PROCEEDING WITH WORK. REASONABLE TIME NOT ALLOWED THIS OFFICE TO CORRECT THE DEFECT SHALL PLACE THE BURDEN OF COST AND LIABILITY FROM SUCH DEFECT UPON THE CONTRACTOR.

WIND/SNOW LOAD DESIGN CRITERIA: 2021 IRC AND IBC

THIS STRUCTURE SHALL BE ADEQUATELY BRACED FOR WIND LOADS UNTIL THE ROOF, FLOOR AND WALLS HAVE BEEN PERMANENTLY FRAMED TOGETHER AND SHEATHED.

INSTALL POLYISOCYANURATE FOAM TYPE INSULATION AT FLOOR AND PLATE LINES, OPENINGS IN PLATES, CORNER STUD CAVITIES AND AROUND DOOR AND WINDOW ROUGH OPENING CAVITIES.

INSTALL WATERPROOF GYPSUM BOARD AT ALL WATER SPLASH AREAS TO MINIMUM 7' ABOVE SHOWER DRAINS.

INSULATE WASTE LINES FOR SOUND CONTROL.

EXHAUST ALL VENTS AND FANS DIRECTLY TO OUTSIDE VIA METAL DUCTS. PROVIDE 90 CFM (MIN) FANS TO PROVIDE FAIR CHANGES PER HOUR IN BATHS CONTAINING TUB AND / OR SHOWER AND IN LAUNDRY ROOMS.

ALL RECESSED LIGHTS IN INSULATED CEILINGS TO HAVE THE I.C. LABEL.

PROVIDE SOLID BLOCKING UNDER ALL BEARING WALLS PERPENDICULAR TO JOISTS AND OTHER BEARING POINTS NOT OTHERWISE PROVIDED WITH SUPPORT.

FLOOR FINISHES:	
1F OFFICES:	VINYL OR ENG. WOOD
1F WAREHOUSE:	POLISHED CONCRETE
1F BATHS:	TILE OR IMPERVIOUS

ROOM AREA/CEILING SCHEDULE			
FLOOR	ROOM NAME	AREA, INTERIOR (SQ FT)	CEILING HEIGHT
1	EQUIPMENT/ WAREHOUSE	17708	N/A
1	CONFERENCE RM	254	217 1/8"
1	ENTRY LOBBY	191	145 1/8"
1	JUSTIN'S OFFICE	119	217 1/8"
1	OFFICE 5	132	145 1/8"
1	CORY'S OFFICE	244	145 1/8"
1	OFFICE BATH	36	145 1/8"
1	HALL	41	145 1/8"
1	BATH	27	145 1/8"
1	CHRIS'S OFFICE	181	145 1/8"
1	KITCHEN/ BREAKROOM	195	217 1/8"
1	OFFICE 4	107	145 1/8"
1	WAREHOUSE BATH	41	217 1/8"
1	TLT	18	217 1/8"
1	HALL	47	217 1/8"
1	HALL/PRINT AREA	41	217 1/8"
1	UTIL CLOSET	18	217 1/8"
1	PORCH	267	N/A
TOTALS		19667	

DOOR SCHEDULE													3D PERSPECTIVE
NUMBER	FLOOR	QTY	SIZE	EX/IN	SWING SIDE	DESCRIPTION	HEIGHT	WIDTH	DIVIDED LITES	DOOR PANELS	JAMB SIZE		
D01	1	1	2680 R IN	IN	OUT	HINGED- 84 INTERIOR	96 "	30 "		0+1	3/4"x4 1/2"		
D02	1	1	3080 R	IN	IN	POCKET- 84 INTERIOR	96 "	36 "		1+0	3/4"x4 1/2"		
D03	1	1	3680	IN	NONE	DOORWAY	96 "	42 "		0+0	3/4"x4 1/2"		
D04	1	3	160160	EX	IN	GARAGE-MODERN STEEL - FLUSH	192 "	192 "		8	3/4"x7 1/2"		
D05	1	1	2880 L IN	IN	OUT	HINGED- 84 INTERIOR	96 "	32 "		1+0	3/4"x4 1/2"		
D06	1	1	3080 L IN	IN	IN	HINGED- 84 INTERIOR	96 "	36 "		1+0	3/4"x4 1/2"		
D07	1	5	3080 L IN	IN	OUT	HINGED- 84 INTERIOR	96 "	36 "		1+0	3/4"x4 1/2"		
D08	1	1	3080 R IN	IN	OUT	HINGED- 84 INTERIOR	96 "	36 "		0+1	3/4"x4 1/2"		
D09	1	1	2480 L IN	IN	IN	HINGED- 84 INTERIOR	96 "	28 "		1+0	3/4"x4 1/2"		
D10	1	1	3080	IN	NONE	DOORWAY	96 "	36 "		0+0			
D11	1	1	3080 R EX	EX	IN	EXT. HINGED-GLASS PANEL	96 "	36 "	1	0+1	3/4"x6 7/16"		
D12	1	1	3080 L EX	EX	IN	EXT. HINGED-SLAB	96 "	36 "		1+0	3/4"x7 1/2"		
D13	1	1	3080 R EX	EX	IN	EXT. HINGED-SLAB	96 "	36 "		0+1	3/4"x7 1/2"		
D14	1	2	3080 L IN	IN	OUT	HINGED- 84 INTERIOR	96 "	36 "		1+0	3/4"x6 1/2"		
D15	1	1	3080 R IN	IN	IN	HINGED- 84 INTERIOR	96 "	36 "		0+1	3/4"x4 1/2"		
D16	1	1	3080 L/R IN	IN	OUT	DOUBLE HINGED- 84 INTERIOR	96 "	36 "		1+1	3/4"x4 1/2"		
D17	1	1	2880 R IN	IN	OUT	HINGED- 84 INTERIOR	96 "	32 "		0+1	3/4"x6 1/2"		

WINDOW SCHEDULE									3D PERSPECTIVE
NUMBER	QTY	FLOOR	SIZE	DESCRIPTION	WIDTH	HEIGHT	TOP	DIVIDED LITES	
W01	6	1	3030FX	FIXED GLASS	36 "	36 "	134"	1	
W02	5	1	3064SC	SINGLE CASEMENT-HL	36 "	76 "	96"	1	
W03	10	1	3080FX	FIXED GLASS	36 "	96 "	96"	1	
W04	2	1	6050FX	FIXED GLASS	72 "	60 "	96"	1	
W05	1	1	2080FX	FIXED GLASS	24 "	96 "	96"	1	
W06	2	1	3060FX	FIXED GLASS	36 "	72 "	96"	1	
W07	8	1	3060SC	SINGLE CASEMENT-HL	36 "	72 "	96"	1	
W08	4	2	3050SC	SINGLE CASEMENT-HL	36 "	60 "	48"	1	
W09	1	1	5050FX	FIXED GLASS	60 "	60 "	96"	1	
W10	1	1	4050FX	FIXED GLASS	48 "	60 "	96"	1	
W11	6	1	3050FX	FIXED GLASS	36 "	60 "	96"	1	
W13	3	2	3040FX	FIXED GLASS	36 "	48 "	72 7/8"	1	
W14	2	2	3040FX	FIXED GLASS	36 "	48 "	67 3/8"	1	

APPROVED:  
I hereby certify that the above and foregoing site plan for development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission on the 14<sup>th</sup> day of November, 2023.

Planning & Zoning Commission Chairman

Director of Planning & Zoning



ELECTRONIC CAD FILES (.DWG, .DXF) AVAILABLE ON REQUEST

REV 04

HOME DESIGNED BY:  
AARON HAMILTON  
ABIDE HOME DESIGNS  
ROCKWALL, TX / 972-533-0959  
AARON@ABIDEHOMEDESIGNS.COM

FOUNDATION/  
ROUGH-IN PLAN

ARMS OF AMERICA  
ENTERPRISE DR  
ROCKWALL, TX



DATE:

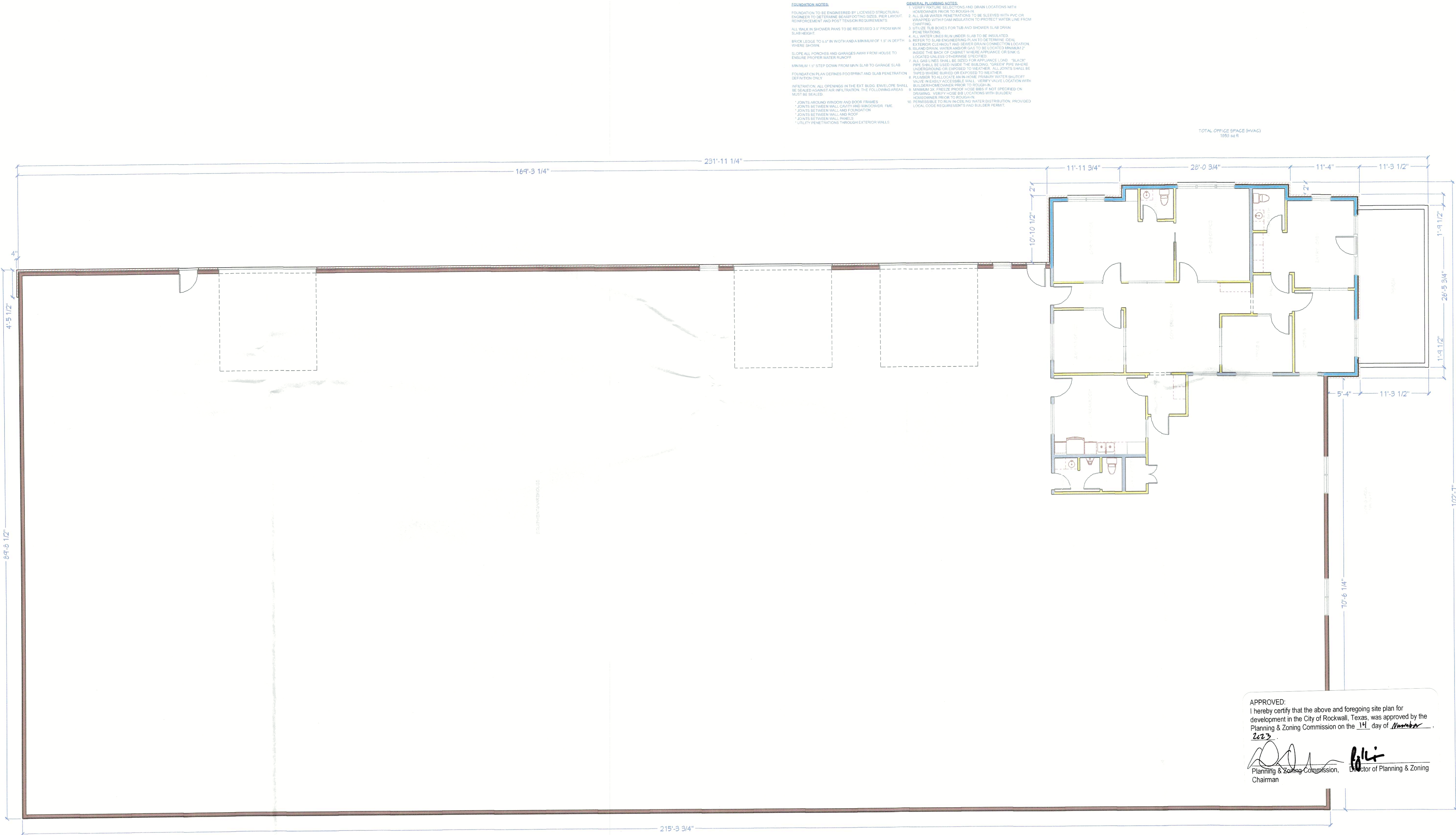
10/31/2023

SCALE:

1/8"=1'

SHEET:

4



FOUNDATION NOTES:

- FOUNDATION TO BE ENGINEERED BY LICENSED STRUCTURAL ENGINEER TO DETERMINE REINFORCING SIZES, PITCH, SPACING, AND POST-TENSIONING REQUIREMENTS.
- ALL WALK-IN SHOWER PANS TO BE RECESSED 3/4" FROM MAIN SLAB HEIGHT.
- BRICK LEDGE TO 5/8" IN WIDTH AND A MINIMUM OF 1/2" IN DEPTH WHERE SHOWN.
- SLOPE ALL PORCHES AND GARAGES AWAY FROM HOUSE TO ENSURE PROPER WATER RUNOFF.
- MINIMUM 1" STEP DOWN FROM MAIN SLAB TO GARAGE SLAB.
- FOUNDATION PLAN DEFINES FOOTPRINT AND SLAB PENETRATION DEFINITION ONLY.
- INFILTRATION: ALL OPENINGS IN THE EXT. BLDG. ENVELOPE SHALL BE SEALED AGAINST AIR INFILTRATION. THE FOLLOWING AREAS MUST BE SEALED:
  - \* JOINTS AND/OR WINDOW AND DOOR FRAMES.
  - \* JOINTS BETWEEN WALL CAVITY AND WINDOW/DOOR FRAME.
  - \* JOINTS BETWEEN WALL AND FOUNDATION.
  - \* JOINTS BETWEEN WALL AND ROOF.
  - \* JOINTS BETWEEN WALL FINISHES.
  - \* UTILITY PENETRATIONS THROUGH EXTERIOR WALLS.

GENERAL PLUMBING NOTES:

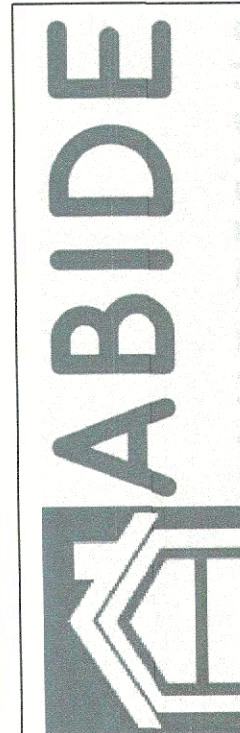
- VERIFY FIXTURE SELECTIONS AND DRAIN LOCATIONS WITH HOMEOWNER PRIOR TO ROUGH-IN.
- ALL SUB-WATER PENETRATIONS TO BE SLEEVED WITH PVC OR CHASES WITH FOM INSULATION TO PROTECT WATER LINE FROM CHAFFING.
- UTILIZE TUB BOWES FOR TUB AND SHOWER SLAB DRAIN PENETRATIONS.
- ALL WATER LINES RUN UNDER SLAB TO BE INSULATED.
- REFER TO SLAB ENGINEERING PLAN TO DETERMINE EXACT EXTERIOR CLEANOUT AND SEWER DRAIN CONNECTION LOCATION.
- ISLAND SINK, WATER AND/OR GAS TO BE LOCATED MINIMUM 2" INSIDE THE BACK OF CABINET WHERE APPLIANCE OR SINK IS LOCATED UNLESS OTHERWISE SPECIFIED.
- ALL GAS LINES SHALL BE SIZED FOR APPLIANCE LOAD. "BLACK" PIPE SHALL BE USED NEAR THE BUILDING. GREEN PIPE WHERE UNDERGROUND OR EXPOSED TO WEATHER. ALL JOINTS SHALL BE PLUMBER TO ALL LOCATE AN IN-HOME PRIMARY WATER SHUT-OFF VALVE IN EASILY ACCESSIBLE WALL. VERIFY VALVE LOCATION WITH BUILDER/HOMEOWNER PRIOR TO ROUGH-IN.
- MINIMUM 1/2" FREEZE PROOF HOSE BIBS IF NOT SPECIFIED ON DRAWING. VERIFY HOSE BIB LOCATION WITH BUILDER/HOMEOWNER PRIOR TO ROUGH-IN.
- PROVIDE SLOPE TO RUN IN AND WATER DISTRIBUTION, PROVIDED LOCAL CODE REQUIREMENTS AND BUILDER PERMIT.

FOUNDATION ROUGH-IN

INCLUDES 1.5" SHEET LEDGE (1.5"D) OR 5.5" STONE LEDGE (1.5"D) WHERE APPLICABLE  
ALL SLAB/ROUGH-IN DIMENSIONS TAKEN FROM OUTSIDE OF FOUNDATION/FORM



## ROOF PLAN - 1F

ARMS OF AMERICA  
ENTERPRISE DR  
ROCKWALL, TX

DATE:

10/31/2023

SCALE:

1/8"=1'

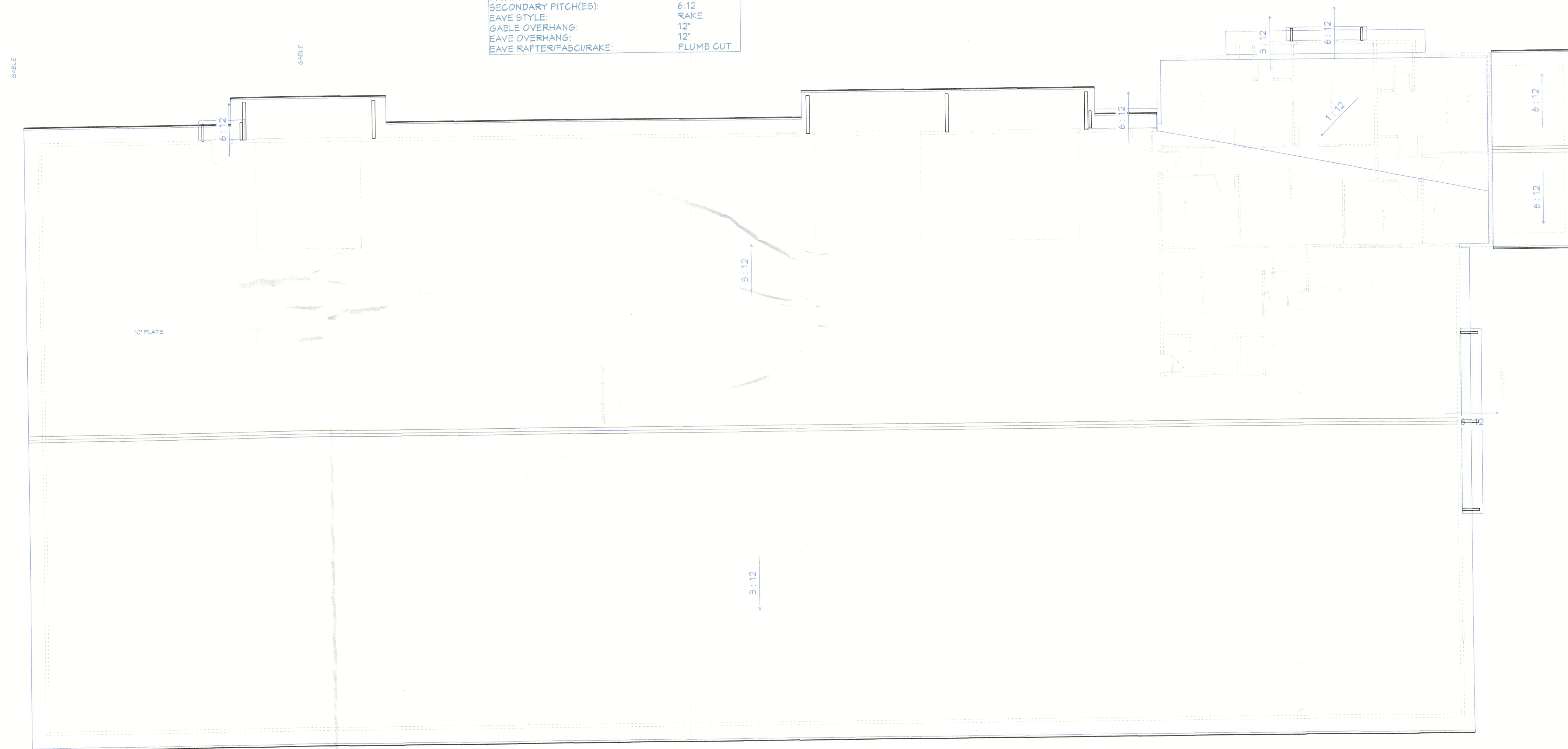
SHEET:

5

APPROVED:  
I hereby certify that the above and foregoing site plan for  
development in the City of Rockwall, Texas, was approved by the  
Planning & Zoning Commission on the 14 day of November  
2023.10/31/2023  
Planning & Zoning Commission, Chairman  
Director of Planning & Zoning

## ROOF PLAN

TOTAL ROOF SF: 22433 SF  
METAL, R PANEL, RIBBED, CHARCOAL  
PRIMARY PITCH: 3:12  
SECONDARY PITCH(ES): 6:12  
EAVE STYLE: RAKE  
GABLE OVERHANG: 12"  
EAVE OVERHANG: 12"  
EAVE RAFTER/FASCIA/RAKE: PLUMB CUT



10' PLATE

GABLE

GABLE

10' PLATE

3:12

3:12

6:12

6:12

6:12

6:12

6:12

6:12

1:12

3:12

6:12