

## ADA & TAS

FOR ADA AND TAS REQUIREMENTS SEE THE SHEETS NUMBER G 2.1, G 2.2, G 2.3 & G 2.4.  
FOR GRADING AND ACCESSIBLE ROUTE RE: CIVIL

## FIRE LANE NOTES

- CURBS LOCATED BETWEEN APPROVED FIRE LANE - TOW-AWAY ZONE SIGNS SHALL BE PAINTED RED OR A RED STRIPE SHALL BE PLACED ALONG THE PAVEMENT WHERE THERE IS NO CURB. THESE CURBS SHALL ALSO BE CONSPICUOUSLY AND LEGIBLY MARKED WITH THE WARNING "FIRE LANE - TOW-AWAY ZONE" IN WHITE LETTERS AT LEAST THREE (3) INCHES IN HEIGHT, AT INTERVALS NOT EXCEEDING FIFTY (50) FEET.
- ANY COLOR OTHER THAN RED MAY BE USED IN "NO PARKING" AREAS THAT ARE NOT APPROVED FIRE LANES. RED COLORED CURBS, PAVEMENT STRIPING OR WHEEL STOPS SHALL BE USED ONLY TO DESIGNATED APPROVED FIRE LANES EXCEPT WHERE AUTHORIZED BY THE CODE OFFICIAL.
- WHERE FIRE LANE SIGNS ARE REQUIRED, AN APPROVED TOW-AWAY ZONE SIGN SHALL BE ATTACHED TO THE SAME POLE OR COLUMN, IMMEDIATELY BELOW AND AT THE SAME ANGLE OF ATTACHMENT AS THE FIRE LANE SIGN.
- HEIGHT OF THE SIGNS SHALL BE NOT LESS THAN 6 FEET OR MORE THAN 7 FEET ABOVE THE GROUND, AS MEASURED FROM THE BOTTOM EDGE OF THE LOWER SIGN.
- FIRE LANE SIGNS SHALL BE PLACED NO LOWER THAN 6 FEET AND NO HIGHER THAN 7 FEET ABOVE THE GROUND, AS MEASURED FROM THE BOTTOM EDGE OF THE ACCESS ROAD SIGN.
- ALL REQUIRED FIRE LANES SHALL BE PROVIDED AND MAINTAINED WITH FIRE LANE STRIPING THAT CONSISTS OF A MINIMUM SIX INCH (6") WIDE RED BACKGROUND STRIPE WITH FOUR INCH (4") HIGH WHITE LETTERS STATING "FIRE LANE NO PARKING TOW-AWAY ZONE" TO BE PAINTED UPON THE RED STRIPE EVERY TWENTY FEET (20') ALONG THE ENTIRE LENGTH OF THE FIRE LANE SHOWING THE EXACT BOUNDARY OF THE FIRE LANE.
- FIRE LANE MARKINGS SHALL BE PLACED UPON THE VERTICAL SURFACE OF CURBS.
- FIRE LANE - TOW-AWAY ZONE SIGNS SHALL NOT BE LOCATED MORE THAN 100 FEET APART.
- ON CURBLESS DRIVEWAYS, THE DESIGN SHALL BE A TWELVE INCH (12") WIDE RED BACKGROUND STRIPE WITH SIX INCH (6") HIGH WHITE LETTERS STATING "FIRE LANE NO PARKING TOW-AWAY ZONE" TO BE PAINTED UPON THE RED STRIPE EVERY TWENTY FEET (20') ALONG THE ENTIRE LENGTH OF THE FIRE LANE SHOWING THE EXACT BOUNDARY OF THE FIRE LANE.

## FIRE LANE

## FIRE LANE

## NOTE PARKING

- NOTE 1:  
ACCESSIBLE PARKING SPACES AND ACCESS AISLES MUST BE LEVEL NOT EXCEEDING 1:48 CROSS SLOPES IN ANY DIRECTION. THE WALKWAY TO THE ACCESSIBLE ENTRANCES DOES NOT HAVE CROSS SLOPES.  
402.2 COMPONENTS: ACCESSIBLE ROUTES SHALL CONSIST OF ONE OR MORE OF THE FOLLOWING COMPONENTS: WALKING SURFACES WITH A RUNNING SLOPE NOT STEEPER THAN 1:20. DOORWAYS, RAMPS, CURB RAMPS EXCLUDING THE FLARED SIDES, ELEVATORS, AND PLATFORM ALL COMPONENTS OF AN ACCESSIBLE ROUTE SHALL COMPLY WITH THE APPLICABLE REQUIREMENTS OF CHAPTER 4.  
403.3 SLOPE: THE RUNNING SLOPE OF WALKING SURFACES SHALL NOT BE STEEPER THAN 1:20. THE CROSS SLOPE OF WALKING SURFACES SHALL NOT BE STEEPER THAN 1:48.  
502.4 FLOOR OR GROUND SURFACES: PARKING SPACES AND ACCESS AISLES SERVING THEM SHALL COMPLY WITH 302. ACCESS AISLES SHALL BE AT THE SAME LEVEL AS THE PARKING SPACES THEY SERVE. CHANGES IN LEVEL ARE NOT PERMITTED.
- NOTE 2:  
THE AREA REQUIRED FOR MANEUVERING CLEARANCE AT ACCESSIBLE EXTERIOR ENTRY DOORS MUST BE LEVEL DOES NOT EXCEED 1:48 SLOPE IN ANY DIRECTION.  
404.2.4 MANEUVERING CLEARANCES: MINIMUM MANEUVERING CLEARANCES AT DOORS AND GATES SHALL COMPLY WITH 404.2.4. MANEUVERING CLEARANCES SHALL EXTEND THE FULL WIDTH OF THE DOORWAY AND THE REQUIRED LATCH SIDE OR HINGE SIDE CLEARANCE.  
404.2.4.4 FLOOR OR GROUND SURFACE: FLOOR OR GROUND SURFACE WITHIN REQUIRED MANEUVERING CLEARANCES SHALL COMPLY WITH 302. CHANGES IN LEVEL ARE NOT PERMITTED.  
EXCEPTIONS: 1. SLOPES NOT STEEPER THAN 1:48 SHALL BE PERMITTED. 2. CHANGES IN LEVEL AT THRESHOLDS COMPLYING WITH 404.2.5 SHALL BE PERMITTED.

## PARKING REQUIREMENT

WAREHOUSE TOTAL AREA: 85,118 SF  
OFFICES: 9,852 / 300 - 33 SPACES  
WAREHOUSE: 75,266 / 1,000: 76 SPACES

TOTAL REQUIRED	109
TOTAL PROVIDED	110
INCLUDED 14 HANDICAP VAN	

## GENERAL NOTES

- CONTRACTOR TO VERIFY WITH DIMENSIONS BEFORE COMMENCING ANY WORK. CONTRACTOR TO INFORM DESIGNER OF ANY DISCREPANCIES.
- ALL OTHER WORK REQUIRED BUT NOT SPECIFIED IN THIS DOCUMENTS SHALL BE PERFORMED BY CONTRACTORS TO MEET THE GENERAL PRACTICING STANDARDS, BUILDING CODES AND MANUFACTURER'S INSTRUCTIONS AND SPECIFICATIONS.
- CONTRACTOR TO OBTAIN ALL PERMITS AND INSPECTIONS AND COMPLY WITH ALL CODES, LAWS, ORDINANCES, RULES AND REGULATIONS OF ALL PUBLIC AUTHORITIES (FEDERAL, STATE OR GOVERNING THE WORK, THE MOST STRINGENT SHALL APPLY).
- ALL MANUFACTURED ARTICLES, MATERIALS AND EQUIPMENT SHALL BE APPLIED, INSTALLED, CONNECTED, ERECTED, CLEANED AND CONDITIONED PER MANUFACTURER'S INSTRUCTIONS. IN CASE OF DIFFERENCES BETWEEN THE MANUFACTURER'S INSTRUCTION AND THE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL NOTIFY THE DESIGNER BEFORE PROCEEDING.
- ALL SIDEWALKS AND PATIO AREAS SURROUNDING THE BUILDING TO MAINTAIN A MAXIMUM 2% SLOPE.
- CONTRACTOR SHALL VERIFY ALL EXISTING SITE AND BUILDING CONDITIONS IN THE FIELD PRIOR BIDDING.
- CONTRACTOR SHALL PROVIDE ANY TEMPORARY ROADS OR CROSSINGS AS REQUIRED FOR EXECUTION OF THE CONTRACT. ALL TEMPORARY CONSTRUCTION SHALL BE REMOVED AT THE COMPLETION OF THE PROJECT.
- PROVIDE CONCRETE WALKS WITH CONTROL AND EXPANSION JOINT.
- RELOCATION OF ALL UTILITY POLES, LINES AND OTHER EXISTING SERVICES (IF REQUIRED) SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE VERIFIED AND COORDINATED WITH APPROPRIATE AGENCIES.
- GRADE ALL LANDSCAPE ISLANDS TO AVOID WATER PONDING INSIDE CURBS-TYPICAL.
- ALL PAVING TO BE CONCRETE UNLESS NOTED OTHERWISE.
- SIGNAGE AND PAVEMENT MARKINGS SHALL CONFORM TO THE TEXAS MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.
- REFER TO CIVIL DRAWING FOR SITE WORK.
- GENERAL CONTRACTOR TO PROTECT ALL TREES AND SHRUBS (IF ANY) IN AREA OF NEW CONSTRUCTION.
- CONTRACTOR TO STAKE OUT ALL CORNERS OF BUILDINGS, ALL MAJOR SITE AND BUILDING COMPONENTS, ALL COLUMN LOCATIONS AND WATER EASEMENT PRIOR TO COMMENCEMENT OF ANY OTHER WORK.
- ALL RESERVED SYMBOLS ARE TO BE PAINTED "INTERNATIONAL RESERVED BLUE", ALL OTHER STRIPING AND ADJACENT ACCESS AISLES IS TO BE PAINTED WHITE.
- FLOOR OR LANDING ON EACH SIDE OF DOORS ARE AT THE SAME ELEVATION ON EACH SIDE OF THE DOORS. LANDING SHALL BE LEVEL EXCEPT THAT EXTERIOR LANDINGS MAY HAVE A SLOPE NOT TO EXCEED 1/4 UNIT VERTICAL IN 12 UNITS HORIZONTAL (2% SLOPE) AS PER SECTION 1008.1.4.
- GROUND AND FLOOR SURFACES ALONG ACCESSIBLE ROUTES AND IN ACCESSIBLE ROOMS AND SPACES INCLUDING FLOORS, WALKS, RAMPS, STAIRS, AND CURB RAMPS, SHALL BE STABLE, FIRM, SLIP RESISTANT AND SHALL COMPLY WITH TAS.

01 SITE PLAN  
Scale 1/32" = 1' - 0"

## WATER SUPPLY (FOR FIREFIGHTING)

### BUILDING 01

REQUIRED GPM:	2,250
DURATION:	2H
NUMBER OF HYDRANTS REQUIRED / PROVIDED	2REQ / 2PROV
75% REDUCTION (MUST MAINTAIN MINIMUM PER TABLE B105.1.(1) OR B105.1.(2))	NO

### BUILDING 02 & 03

REQUIRED GPM:	2,500
DURATION:	2H
NUMBER OF HYDRANTS REQUIRED / PROVIDED	3REQ / 3PROV
75% REDUCTION (MUST MAINTAIN MINIMUM PER TABLE B105.1.(1) OR B105.1.(2))	NO

### BUILDING 04, 05, 06 & 07

REQUIRED GPM:	2,500
DURATION:	2H
NUMBER OF HYDRANTS REQUIRED / PROVIDED	3REQ / 3PROV
75% REDUCTION (MUST MAINTAIN MINIMUM PER TABLE B105.1.(1) OR B105.1.(2))	NO

GENERAL REFERENCE: SECTION 212.009 OF CHAPTER 212, MUNICIPAL REGULATION OF SUBDIVISIONS AND PROPERTY DEVELOPMENT, OF THE TEXAS LOCAL GOVERNMENT CODE

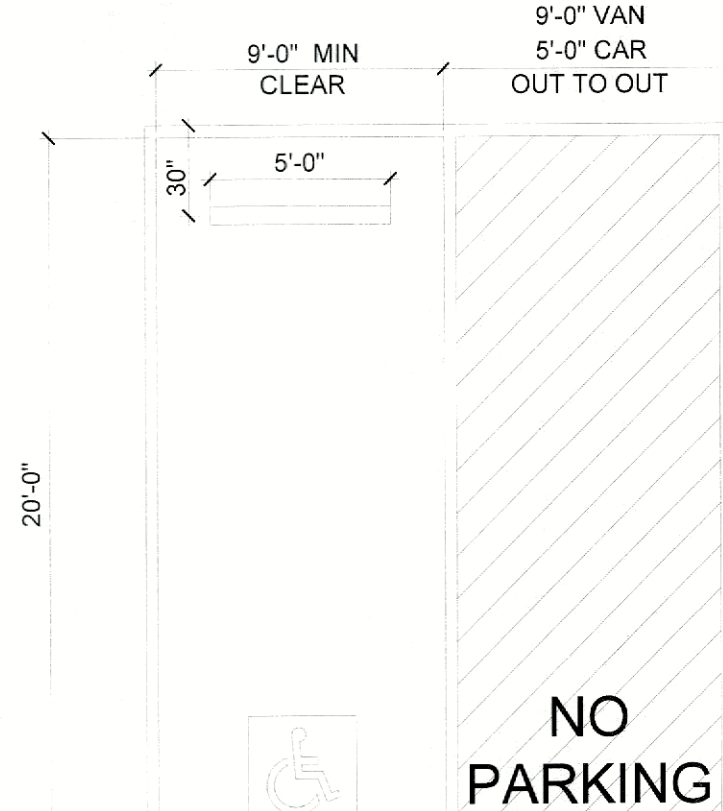
#### SITE PLAN SIGNATURE BLOCK

APPROVED:  
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the [DAY] day of [MONTH], [YEAR].

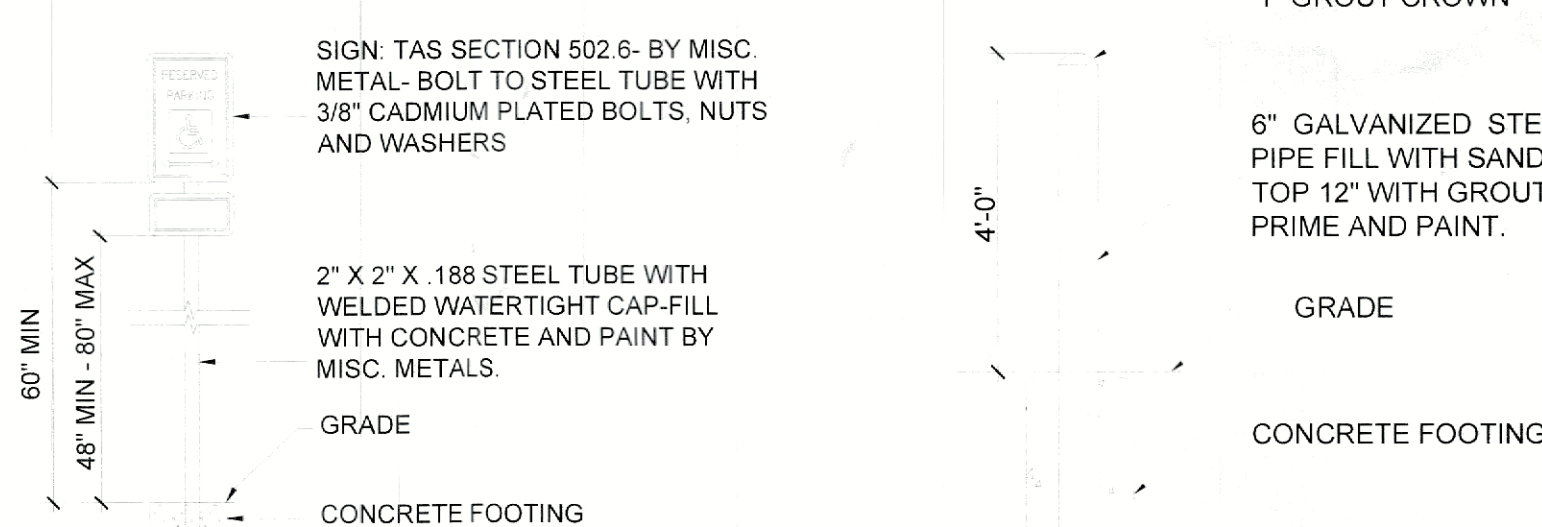
WITNESS OUR HANDS, this 12 day of December, 2023.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning



02 HANDICAP SPACE & AISLE  
Scale 3/8" = 1'-0"



NOTES:  
1. HANDICAP PARKING SIGN SHALL CONFORM WITH CURRENT STATE AND LOCAL REGULATIONS.  
2.2 SIGNS SHALL BE POST MTD. WITH POST LOCATED BETWEEN BUILDING AND SIDEWALK, CENTERED ON PARKING SPACE.  
3.2 SIGNS SHALL BE POST MTD. WITH POSTS LOCATED BETWEEN BUILDING AND CURB, CENTERED ON PARKING SPACE.

03 HANDICAP SIGN POST  
Scale 3/8" = 1'-0"

04 BOLLARD  
Scale 3/8" = 1'-0"

project  
ROCKWALL OFFICES WAREHOUSES  
at  
1760 AIRPORT ROAD  
ROCKWALL, TX 75087



13501 KATY FREEWAY  
SUITE 3100  
HOUSTON, TEXAS 77079  
PH. 713-763-7777

TBPE FIRM #: 15498

REVISIONS

ISSUE DATE: 12/08/23



11/30/2023

SITE PLAN

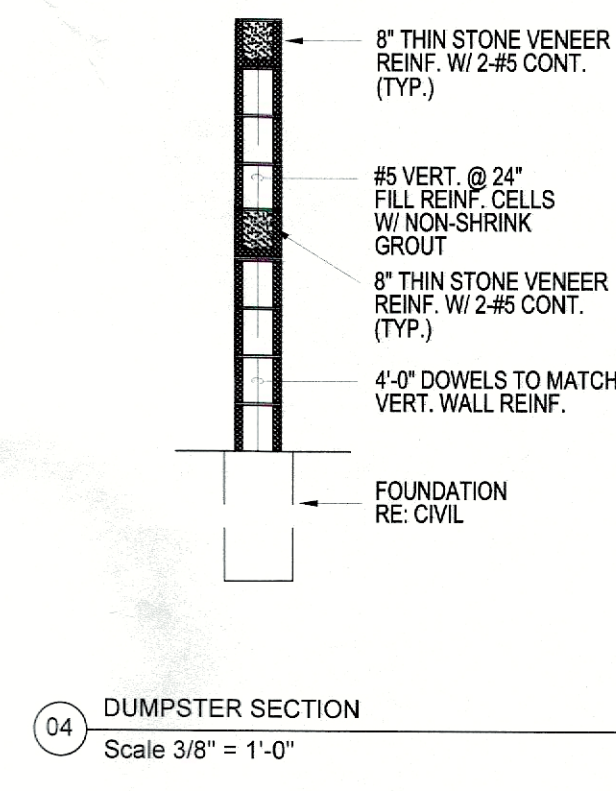
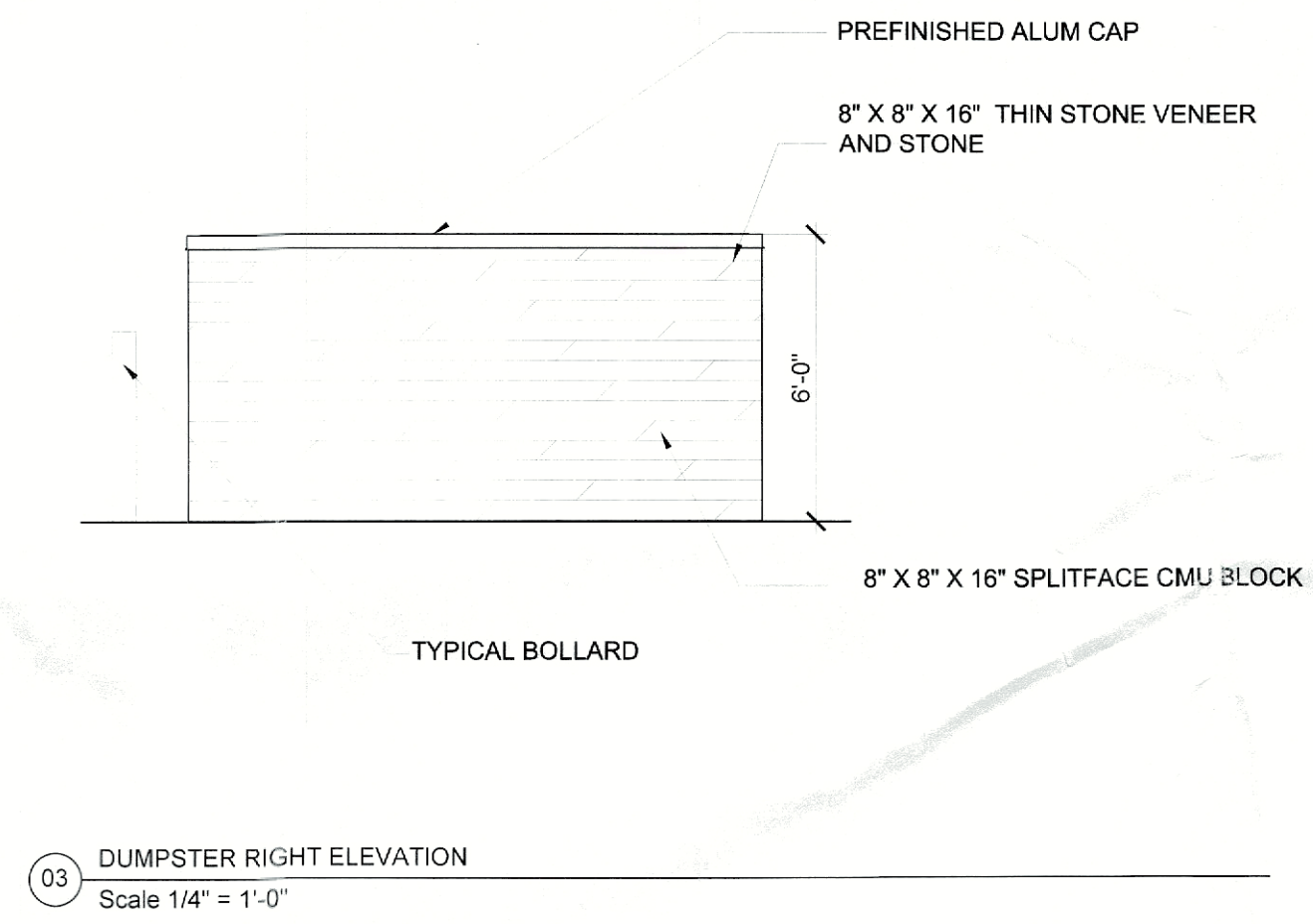
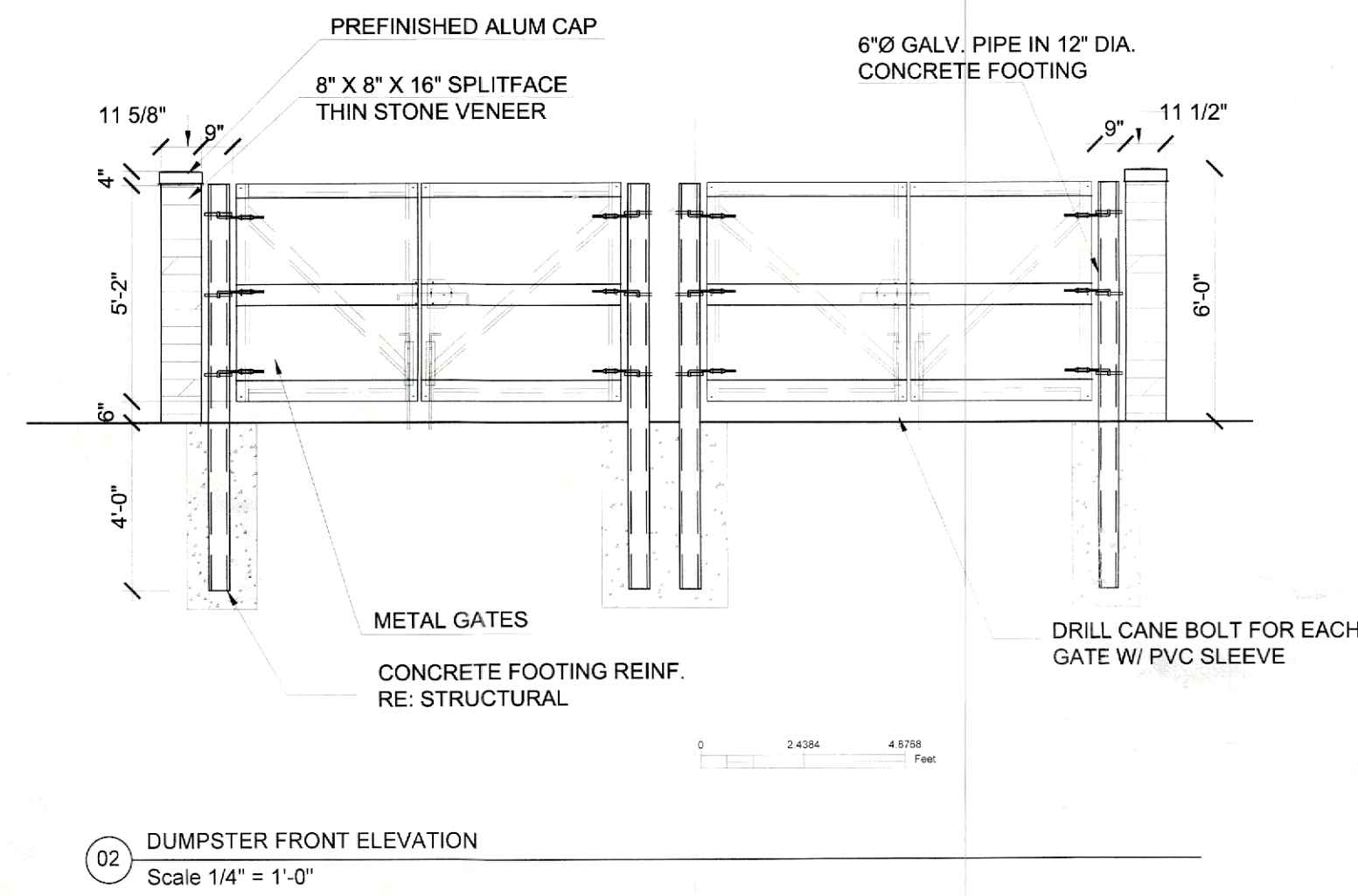
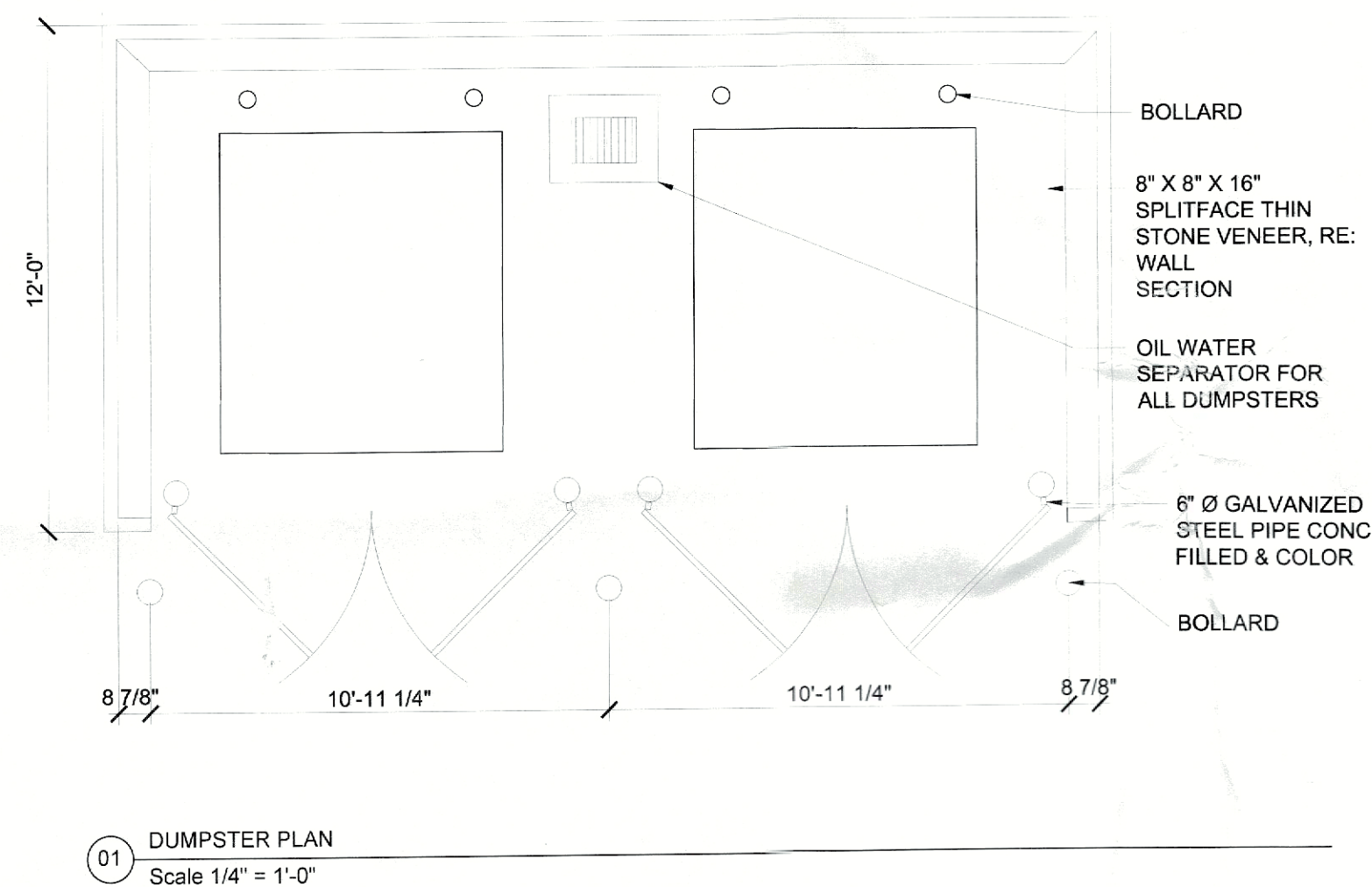
DRAWN BY: CHECKED:

PROJECT No: SHEET No:

23420.02 A0.1

(SP2023-044)





GENERAL REFERENCE: SECTION 212.009 OF CHAPTER 212, MUNICIPAL REGULATION OF SUBDIVISIONS AND PROPERTY DEVELOPMENT, OF THE TEXAS LOCAL GOVERNMENT CODE

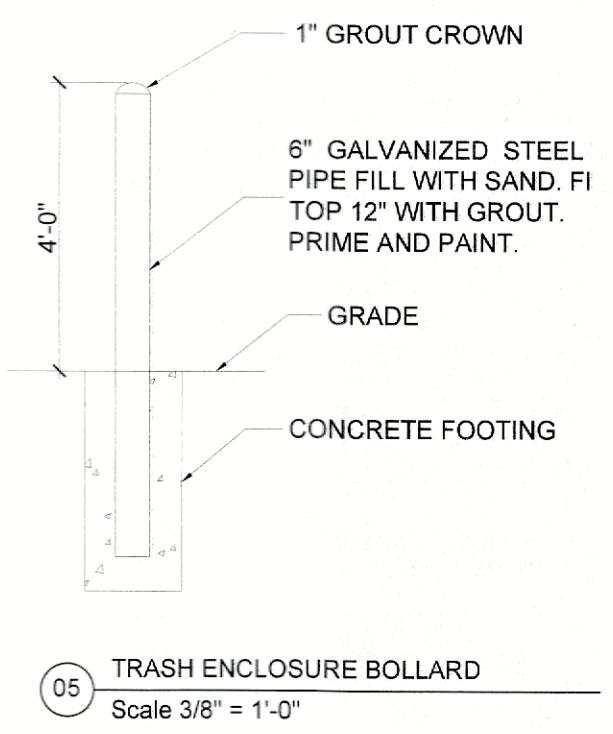
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Planning & Zoning Commission, Chairman

Director of Planning and Zoning



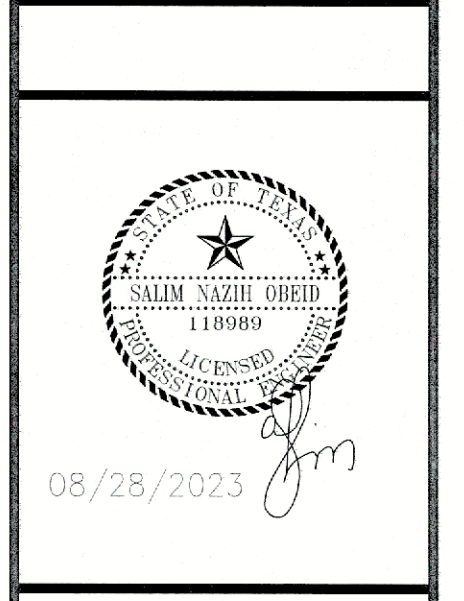
#### GENERAL NOTES

- FOR DUMPSTER ENCLOSURE REFER STRUCTURAL DRAWINGS
- FOR SLAB FINISHED GRADES, SEE GRADING PLAN.
- ALL WOOD FOR GATES IS TO BE THRU-BOLTED TO TUBE FRAME WITH 3/8" GALVANIZED BOLTS AND HARDWARE.
- DUMPSTER ENCLOSURE MATERIAL: THIN STONE VENEER

SP2023-028

REVISIONS					

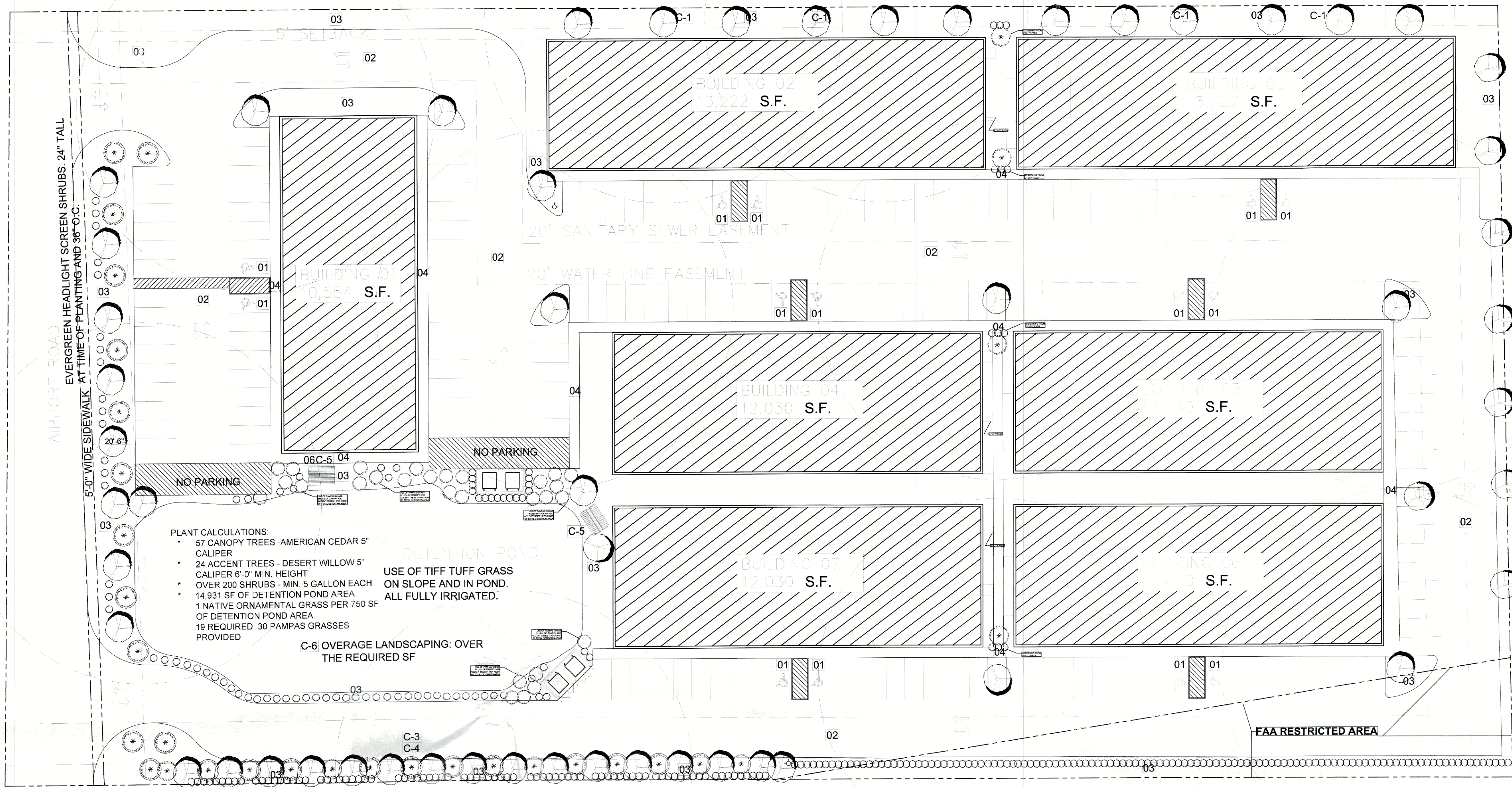
ISSUE DATE: 08/28/23



DUMPSTER DETAIL

DRAWN BY:	CHECKED:
PROJECT No: 23420.02	SHEET No: A0.2





PLANT CALCULATIONS:

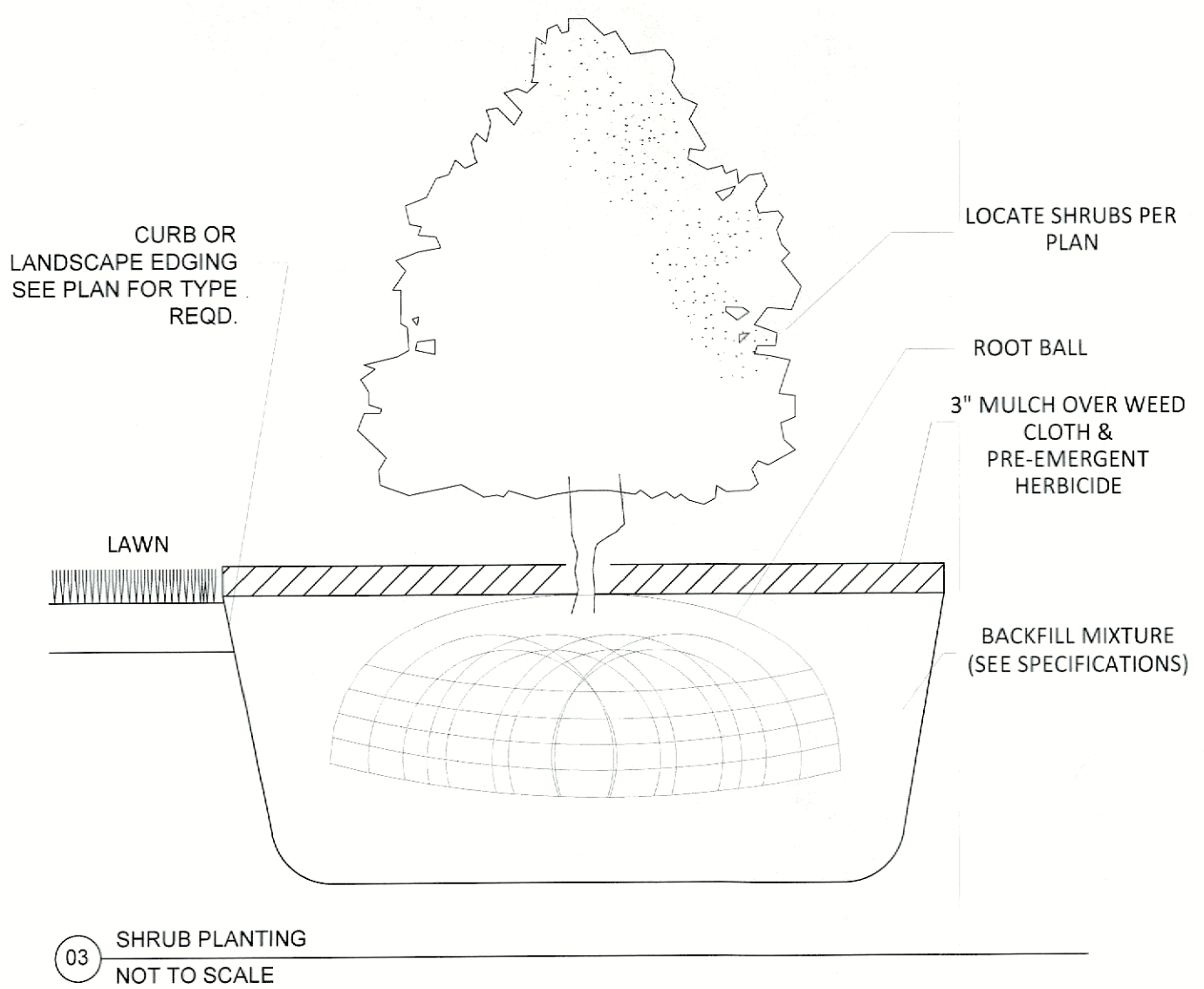
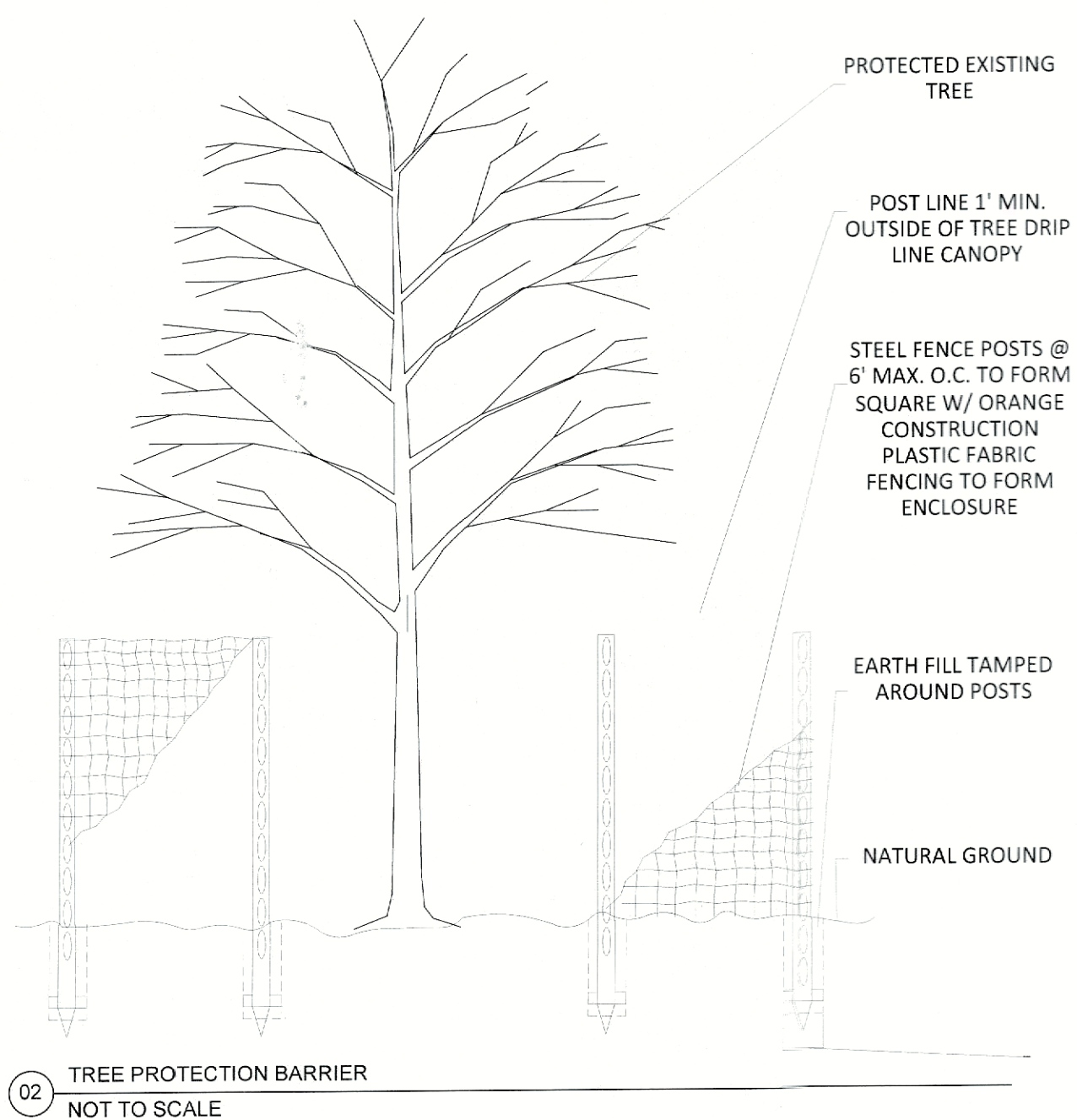
- 57 CANOPY TREES - AMERICAN CEDAR 5" CALIPER
- 24 ACCENT TREES - DESERT WILLOW 5" CALIPER 6'-0" MIN. HEIGHT
- OVER 200 SHRUBS - MIN. 5 GALLON EACH
- 14,931 SF OF DETENTION POND AREA
- 1 NATIVE ORNAMENTAL GRASS PER 750 SF OF DETENTION POND AREA
- 19 REQUIRED: 30 PAMPAS GRASSES PROVIDED

USE OF TIFF TUFF GRASS ON SLOPE AND IN POND. ALL FULLY IRRIGATED.

C-6 OVERAGE LANDSCAPING: OVER THE REQUIRED SF

01 SITE PLAN  
Scale 1/32" = 1' - 0"

TYPE	SPECIES	SIZE OF PLANTING	QUANTITY
CANOPY	AMERICAN CEDAR	4" CALIPER	65
CANOPY	AMERICAN CEDAR	5" CALIPER IN 3-TIERED AREAS	
ACCENT	DESERT WILLOW	4 FOOT IN HEIGHT	31
SHRUB	BURFORD HOLLY	5 GALLON	200+
ORNAMENTAL GRASS	PAMPAS GRASS	5 GALLON	30



GENERAL REFERENCE: SECTION 212.009 OF CHAPTER 212, MUNICIPAL REGULATION OF SUBDIVISIONS AND PROPERTY DEVELOPMENT, OF THE TEXAS LOCAL GOVERNMENT CODE

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WITNESS OUR HANDS, this 12 day of December, 2023.

Planning & Zoning Commission, Chairman  
Director of Planning and Zoning



SAUCER TO RECEIVE MULCH 3" DEEP X 48" SAUCER W/ 3" LAYER OF MULCH APPLY PRE-EMERGENT HERBICIDE PRIOR TO MULCH

REMOVE TOP 1/2 OF BURLAP & ALL WIRE. PLANT BALL SO TOP IS 1" OR 2" ABOVE FIN. GRADE AFTER SETTLEMENT

(3) 2" X 2" WOOD STAKES/ METAL STAKES 120" AROUND TREE

TOPSOIL BACKFILL AS REQUIRED  
WEED BARRIER UNDER ALL PLANTS VERIFY TYPE W/ G.C.

TAMPED BOTTOM TO PREVENT SETTLING

**SYMBOL LEGEND**

- CANOPY TREE - AMERICAN CEDAR
- ACCENT TREE - DESERT WILLOW OR EASTERN REDBUD
- PAMPAS GRASS
- SHRUB
- PUBLIC BENCH

**KEYED NOTES**

- 01 - HANDICAP SYMBOL & SIGN
- 02 - PAVING
- 03 - LANDSCAPING
- 04 - SIDEWALK SAME LEVEL / ACCESSIBLE ROUTE
- 05 - DUMPSTER
- C-1 - 2 CANOPY TREES PROVIDED: COMPENSATORY MEASURE
- C-2 - 2 CANOPY TREES PROVIDED: COMPENSATORY MEASURE
- C-3 - 3 TIER SCREENING: COMPENSATORY MEASURE
- C-4 - 6" CALIPER CANOPY TREES: COMPENSATORY MEASURE
- C-5 - PUBLIC BENCH: COMPENSATORY MEASURE
- C-6 - OVERAGE LANDSCAPING (OVER REQUIRED SF): COMPENSATORY MEASURE

**IMPERVIOUS COVERAGE**

TOTAL PROPERTY AREA: 269,078 SF  
TOTAL IMPERVIOUS COVER: 205,736 SF  
TOTAL PERVIOUS COVER: 63,340 SF  
TOTAL % OF IMPERVIOUS COVER: 76.46%

- NOTES**
- CONTRACTOR SHALL APPLY FOR AND PROCURE ALL REQUIRED PERMITS TO COMMENCING WORK.
  - CONTRACTOR SHALL LOCATE ALL UNDERGROUND UTILITIES PRIOR COMMENCING WORK. CONTACT UTILITIES COMPANIES MINIMUM 48 HOURS PRIOR ANY WORK. CONTRACTOR SHALL BE RESPONSIBLE FOR BECOMING FAMILIAR WITH ALL UNDERGROUND UTILITIES, PIPES, STRUCTURES, ETC. CONTRACTOR SHALL TAKE SOLE RESPONSIBILITY FOR ANY COST INCURRED DUE TO DAMAGE OF THESE UTILITIES.
  - CONTRACTOR SHALL NOT WILLFULLY PROCEED WITH CONSTRUCTION AS DESIGN WHEN IT IS OBVIOUS THAT UNKNOWN OBSTRUCTIONS AND/OR GRADE DIFFERENCES EXIST THAT MAY NOT HAVE BEEN FORESEEN IN THE DESIGN. SUCH CONDITIONS SHALL BE BROUGHT UP TO THE OWNERS REPRESENTATIVE. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY NECESSARY CHANGES DUE TO FAILURE TO GIVE SUCH NOTIFICATION.
  - CONTRACTOR SHALL COORDINATE ALL WORK WITH OTHER SUBCONTRACTORS ON THE JOBSITE AS REQUIRED TO COMPLETE CONSTRUCTION.
  - CONTRACTOR TO PROVIDE SAMPLES OF EACH SHRUB AND GROUND COVER SPECIES OR NURSERY SOURCE FOR APPROVAL BY LANDSCAPE DESIGNER PRIOR TO INSTALLATION. ALL PLANTS ARE TO BE SPECIMEN QUALITY. FULL POT AND HEAD, SYMMETRICAL FOLIAGE AND BRANCHING STRUCTURE. SHRUBS SHALL BE FULL TO GROUND. PLANT MATERIAL OF THE SAME SPECIES SHALL BE OBTAINED FROM THE SAME SOURCE. MATERIAL SHALL BE SHIPPED DIRECTLY FROM NURSERY AND NOT FROM CONTRACTOR'S HOLDING YARD AFTER AN EXTENDED PERIOD.
  - CONTRACTORS SHALL BE RESPONSIBLE FOR QUANTITIES ON PLAN SHOWN BY SYMBOLS. THE PURPOSE IS FOR CONVENIENCE ONLY.
  - ALL PARKING SPACES WITHIN 80' OF A CANOPY TREE.

- GENERAL LANDSCAPE NOTES**
- ALL PLANTS SHALL BE FULL POT AND HEAD. SYMMETRICAL FOLIAGE AND BRANCHING STRUCTURE.
  - CONTRACTOR SHALL LOCATE ALL UNDERGROUND UTILITIES PRIOR TO EXCAVATION OR TRENCHING. CONTRACTOR SHALL BE RESPONSIBLE FOR PREPARING OR REPLACING ANY DAMAGE TO UTILITIES OR OTHER IMPROVEMENTS.
  - GRADE SURFACE TO ENSURE AREAS DRAIN AWAY FROM STRUCTURES AND TO PREVENT PONDING AND POCKETS OF SURFACE DRAINAGE SPREAD AIR AVERAGE OF 1" SHARP SAND OVER ENTIRE AREA TO BE SOLID SODDED. HAND RAKE ENTIRE AREA PRIOR TO SODDING. OBTAIN OWNER'S REPRESENTATIVE'S APPROVAL OF GRADE PRIOR TO SODDING.
  - CONVENTIONAL SYSTEM. AN AUTOMATIC IRRIGATION PLAN WILL BE PROVIDED AND PERMITTED BY LANDSCAPE CONTRACTOR BASED ON ROCKWALL CITY UDC REGULATIONS.
  - ALL AREAS NOT COVERED WITH CONCRETE SHALL BE SOD WITH (SAN AGUSTIN)
  - ALLOW FOR FINISHED GRADE AT EDGE OF WALKS AND CURBS TO BE A MINIMUM OF 1" TO 1 1/2" BELOW TOP OF SIDEWALK AND CURBS AREAS SO GRASS WILL NOT HOLD WATER ON WALK AND SHALL BE CONSISTENT ALONG EDGE.
  - LANDSCAPE CONTRACTOR TO COORDINATE AND SCHEDULE HIS WORK WITH OTHER CONTRACTORS WORKING ON THE PROJECT SITE.
  - GENERAL CONTRACTOR TO PROTECT ALL EXISTING TREES TO REMAIN.
  - ALL LANDSCAPE BEDS SHALL BE RAISED TO PROVIDE ADEQUATE DRAINAGE
  - AFTER PLANTS/TREES HAVE BEEN INSTALLED PROVIDE AND INSTALL MULCH TO ALL LANDSCAPE BEDS.

**LANDSCAPE CALCULATIONS**

SITE AREA: 6.18 A.C.  
15% LANDSCAPING FRONT LOT: 40,380 SF MIN / 41,376 SF PROVIDED

STREET TREES REQUIRED: 1 TREE PER 50'-0" OF STREET FRONTAGE	
FRONTAGE ROAD 372' LF. CANOPY TREE	10 STREET TREES
FRONTAGE ROAD 372' LF. ACCENT TREE	18 STREET TREES
TOTAL STREET TREES PROVIDED	16 STREET TREES

NOTE 01: Canopy Trees shall be a minimum of four (4) caliper inches at DBH. Accent Trees shall be a minimum of four (4) feet in total height. Shrubs shall be a minimum of three (3) gallons in size

FRONTAGE SHRUBS	
TOTAL SHRUBS PROVIDED	17 STREET SHRUBS

Berms and shrubbery shall have a total minimum height of 30-inches.

PARKING LOT TREES REQUIRED: 1 LARGE TREE FOR EACH 10 SPACES.	
110 SPACES / 10	12 PKNG. LOT TREES
TOTAL PARKING LOT TREES PROVIDED	17 PKNG. LOT TREES

LANDSCAPE SCREENING REQUIRED: 1 TREE PER 20'-0"

87' LF. CANOPY TREE	5 STREET TREES
87' LF. ACCENT TREE	5 STREET TREES
TOTAL STREET TREES PROVIDED	10 STREET TREES

SCREENING SHRUBS PER AIRPORT REGULATION

TOTAL SHRUBS PROVIDED	155 STREET SHRUBS
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Berms and shrubbery shall have a total minimum height of 30-inches.

LANDSCAPE EASEMENT 10'-0"

CANOPY TREE	22 STREET TREES
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(SP2023 - 044)

**RSG ENGINEERING**

13501 KATY FREEWAY  
SUITE 3180  
HOUSTON, TEXAS 77079  
PH. 713-785-7777

TYPE FIRM #: 15498

project  
**ROCKWALL OFFICES WAREHOUSES**  
at  
1760 AIRPORT ROAD  
ROCKWALL, TX 75087

REVISIONS

NO.	DESCRIPTION	DATE

ISSUE DATE: 12/01/23

12/01/2023

SALEM NAZHI OREID  
118989  
LANDSCAPE ARCHITECT

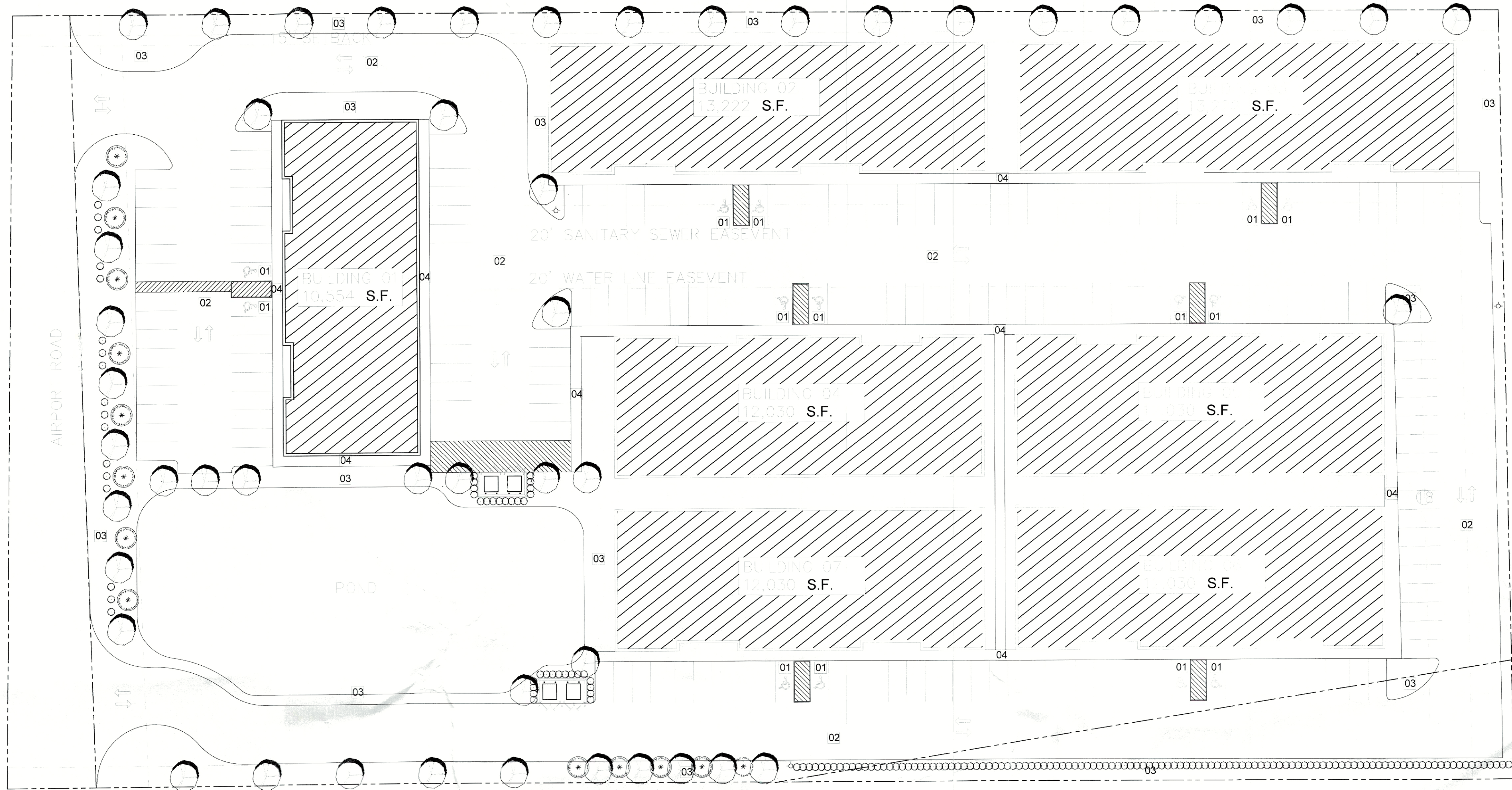
LANDSCAPE

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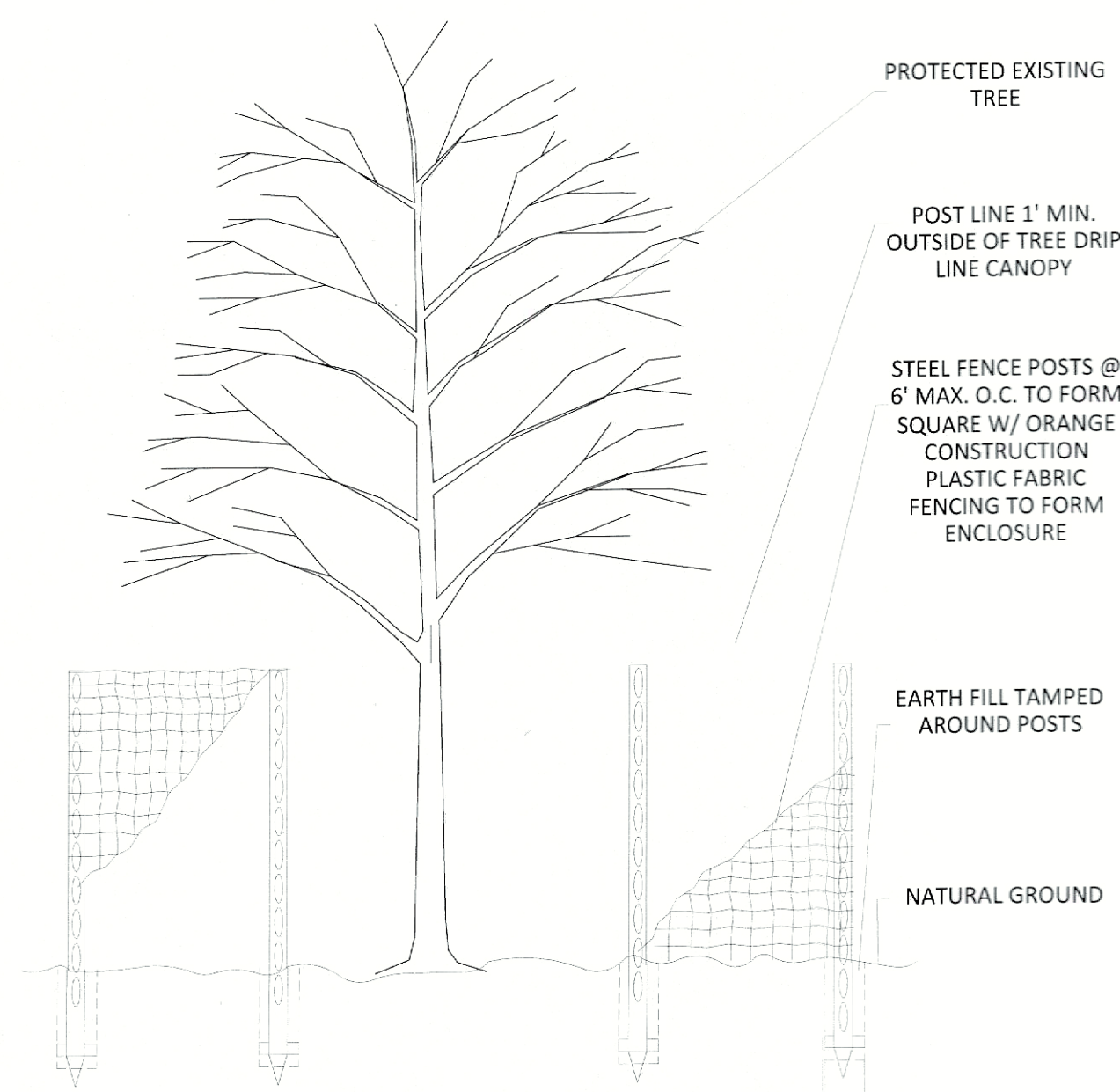
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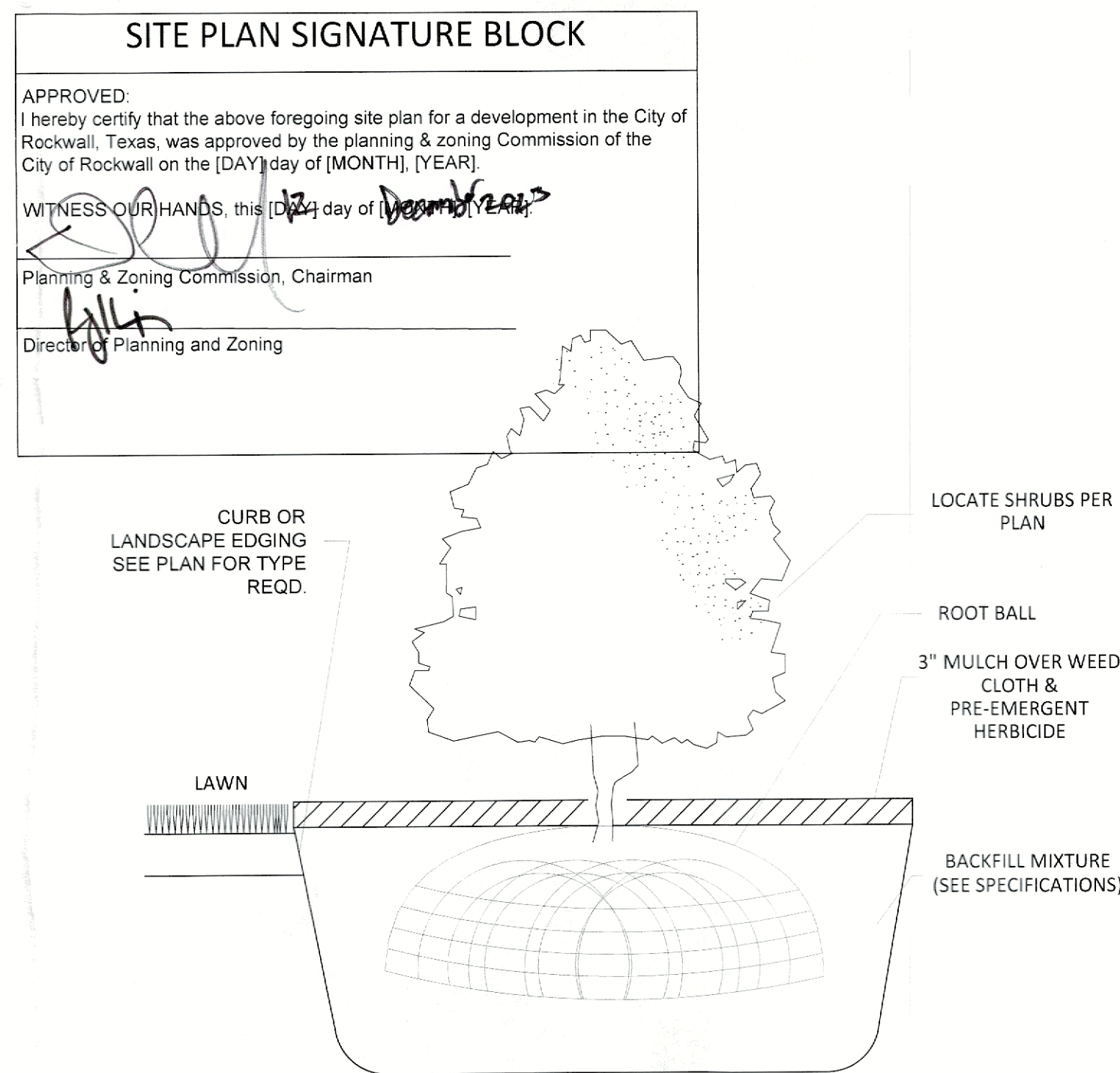




01 SITE PLAN  
Scale 1/32" = 1' - 0"



02 TREE PROTECTION BARRIER  
NOT TO SCALE



03 SHRUB PLANTING  
NOT TO SCALE

3 PIECE OF  
REINFORCED BLACK  
RUBBER HOSE

TREE WRAP

DOUBLE STRAND  
TWISTED #12 GAUGE  
WIRE OR 'CINCH' TIE

LOCATE SHRUBS PER  
PLAN

ROOT BALL

3\"/>

BACKFILL MIXTURE  
(SEE SPECIFICATIONS)

DEPTH OF BALL

04 TREE PLANTING  
NOT TO SCALE

SAUCER TO RECEIVE  
MULCH 3\"/>

REMOVE TOP 1/2 OF  
BURLAP & ALL WIRE.  
PLANT BALL SO TOP IS  
1\"/>

(3) 2\"/>

TOPSOIL BACKFILL AS  
REQUIRED

WEED BARRIER UNDER  
ALL PLANTS VERIFY  
TYPE W/ G.C.

TAMPED BOTTOM TO  
PREVENT SETTLING

## SYMBOL LEGEND

- 01 - CANOPY TREE - TEXAS ASH
- 02 - ACCENT TREE - OCTOBER GLORY MAPLE
- 03 - SHRUB

## KEYED NOTES

- 01 - HANDICAP SYMBOL & SIGN
- 02 - PAVING
- 03 - LANDSCAPING
- 04 - SIDEWALK SAME LEVEL / ACCESSIBLE ROUTE
- 05 - DUMPSTER

NOTE:NO EXISTING TREES, LAND IS CLEAR,  
REFER TO THIS PLAN FOR PROPOSED TREES

## NOTES

- CONTRACTOR SHALL APPLY FOR AND PROCURE ALL REQUIRED PERMITS TO COMMENCING WORK.
- CONTRACTOR SHALL LOCATE ALL UNDERGROUND UTILITIES PRIOR TO COMMENCING WORK. CONTRACT UTILITIES COMPANIES MINIMUM 48 HOURS PRIOR ANY WORK. CONTRACTOR SHALL BE RESPONSIBLE FOR BECOMING FAMILIAR WITH ALL UNDERGROUND UTILITIES, PIPES, STRUCTURES, ETC. CONTRACTOR SHALL TAKE SOLE RESPONSIBILITY FOR ANY COST INCURRED DUE TO DAMAGE OF THESE UTILITIES.
- CONTRACTOR SHALL NOT WILLFULLY PROCEED WITH CONSTRUCTION AS DESIGN WHEN IT IS OBVIOUS THAT UNKNOWN OBSTRUCTIONS AND/OR GRADE DIFFERENCES EXIST THAT MAY NOT HAVE BEEN FORESEEN IN THE DESIGN. SUCH CONDITIONS SHALL BE BROUGHT UP TO THE OWNERS REPRESENTATIVE. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY NECESSARY CHANGES DUE TO FAILURE TO GIVE SUCH NOTIFICATION.
- CONTRACTOR SHALL COORDINATE ALL WORK WITH OTHER SUBCONTRACTORS ON THE JOBSITE AS REQUIRED TO COMPLETE CONSTRUCTION.
- CONTRACTOR TO PROVIDE SAMPLES OF EACH SHRUB AND GROUND COVER SPECIES OR NURSERY SOURCE FOR APPROVAL BY LANDSCAPE DESIGNER PRIOR TO INSTALLATION. ALL PLANTS ARE TO BE SPECIMEN QUALITY. FULL POT AND HEAD, SYMMETRICAL FOLIAGE AND BRANCHING STRUCTURE. SHRUBS SHALL BE FULL TO GROUND. PLANT MATERIAL OF THE SAME SPECIES SHALL BE OBTAINED FROM THE SAME SOURCE. MATERIAL SHALL BE SHIPPED DIRECTLY FROM NURSERY AND NOT FROM CONTRACTOR'S HOLDING YARD AFTER AN EXTENDED PERIOD.
- CONTRACTORS SHALL BE RESPONSIBLE FOR QUANTITIES ON PLAN SHOWN BY SYMBOLS. THE PURPOSE IS FOR CONVENIENCE ONLY.

## GENERAL LANDSCAPE NOTES

- ALL PLANTS SHALL BE FULL POT AND HEAD. SYMMETRICAL FOLIAGE AND BRANCHING STRUCTURE.
- CONTRACTOR SHALL LOCATE ALL UNDERGROUND UTILITIES PRIOR TO EXCAVATION OR TRENCHING. CONTRACTOR SHALL BE RESPONSIBLE FOR PREPARING OR REPLACING ANY DAMAGE TO UTILITIES OR OTHER IMPROVEMENTS.
- GRADE SURFACE TO ENSURE AREAS DRAIN AWAY FROM STRUCTURES AND TO PREVENT PONDING AND POCKETS OF SURFACE DRAINAGE SPREAD AIR AVERAGE OF 1\"/>

## Treescape CALCULATIONS

SITE AREA: 6.18 A.C.  
15% LANDSCAPING FRONT LOT: 40,380 SF MIN / 41,376 SF PROVIDED

STREET TREES REQUIRED: 1 TREE PER 50'-0" OF STREET FRONTAGE	
FRONTAGE ROAD 372' LF. CANOPY TREE	8 STREET TREES
FRONTAGE ROAD 372' LF. ACCENT TREE	8 STREET TREES
TOTAL STREET TREES PROVIDED	16 STREET TREES

NOTE 01: Canopy Trees shall be a minimum of four (4) caliper inches at DBH. Accent Trees shall be a minimum of four (4) feet in total height. Shrubs shall be a minimum of three (3) gallons in size

FRONTAGE SHRUBS	
TOTAL SHRUBS PROVIDED	17 STREET SHRUBS

Berms and shrubbery shall have a total minimum height of 30-inches.

PARKING LOT TREES REQUIRED: 1 LARGE TREE FOR EACH 10 SPACES.	
114 SPACES / 10	12 PKNG. LOT TREES
TOTAL PARKING LOT TREES PROVIDED	15 PKNG. LOT TREES

LANDSCAPE SCREENING REQUIRED: 1 TREE PER 20'-0"	
87' LF. CANOPY TREE	5 STREET TREES
87' LF. ACCENT TREE	5 STREET TREES
TOTAL STREET TREES PROVIDED	10 STREET TREES

SCREENING SHRUBS PER AIRPORT REGULATION	
TOTAL SHRUBS PROVIDED	118 STREET SHRUBS

Berms and shrubbery shall have a total minimum height of 30-inches.

LANDSCAPE EASEMENT 10'-0"	
CANOPY TREE	22 STREET TREES

RS&G ENGINEERING

project  
ROCKWALL OFFICES WAREHOUSES  
at  
0 AIRPORT ROAD  
ROCKWALL, TX 75087

REVISIONS

ISSUE DATE: 05/19/23



05/19/2023

TREESCAPE

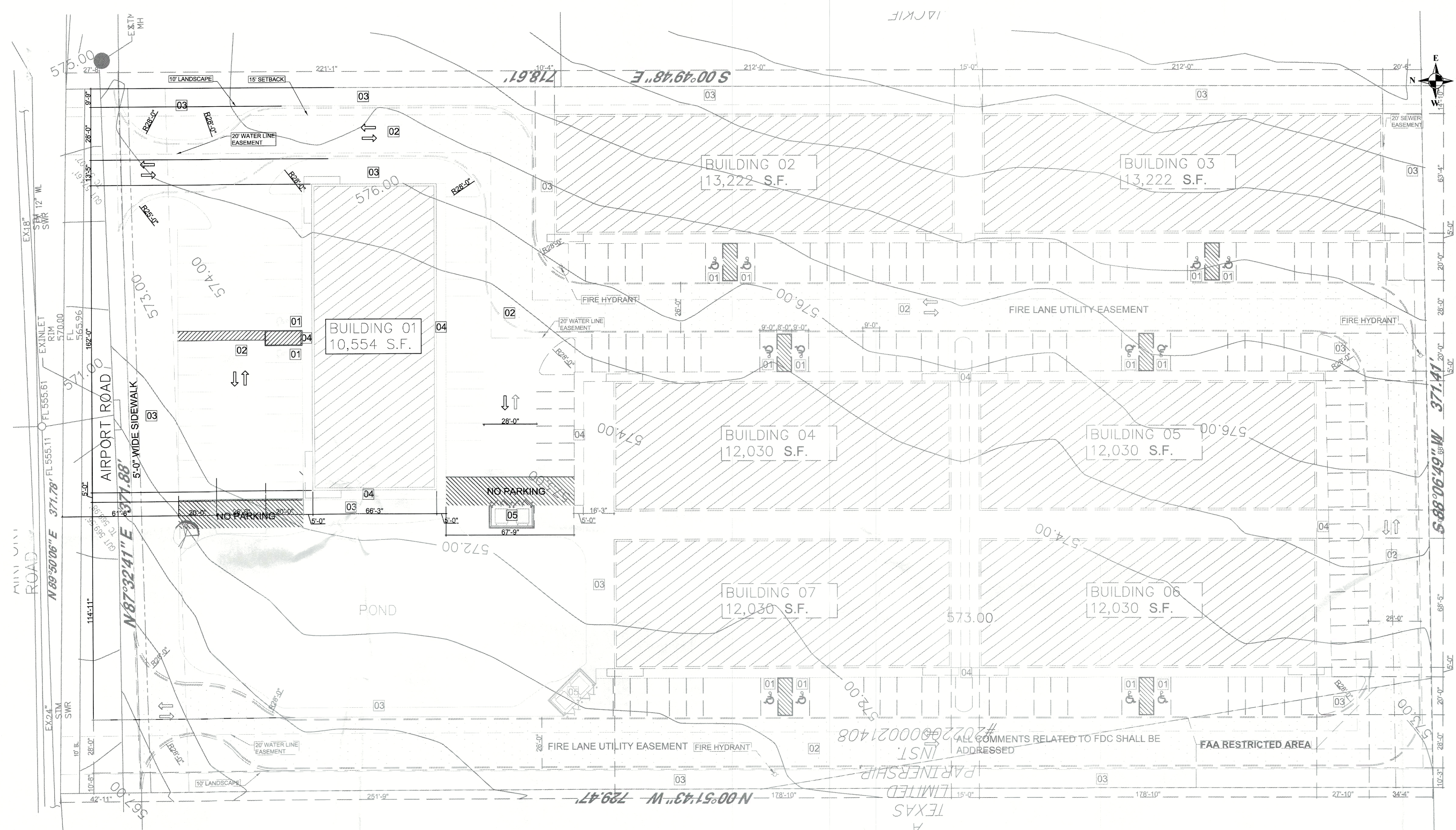
DRAWN BY: CHECKED:

PROJECT No: SHEET No:

23420.02 A0.3

TBPE FIRM #: 15498





01 PHASE 1: SITE PLAN  
Scale 1/32" = 1' - 0"

COLORED DETAIL REPRESENTS PHASE 1

GENERAL REFERENCE: SECTION 212.009 OF CHAPTER 212, MUNICIPAL REGULATION OF SUBDIVISIONS AND PROPERTY DEVELOPMENT, OF THE TEXAS LOCAL GOVERNMENT CODE

SITE PLAN SIGNATURE BLOCK

APPROVED:  
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the [DAY] day of [MONTH], [YEAR].

WITNESS OUR HANDS, this 10 day of December, 2023.

*[Signature]*  
Planning & Zoning Commission, Chairman

*[Signature]*

RSG ENGINEERING

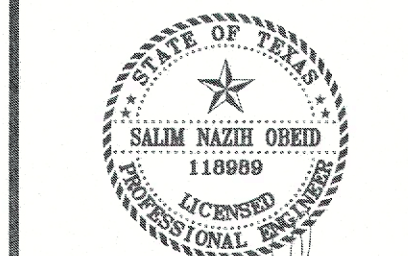
13501 KATY FREEWAY  
SUITE 3180  
HOUSTON, TEXAS 77079  
PH. 713-783-7777

TBPE FIRM #: 15498

project  
ROCKWALL OFFICES WAREHOUSES  
at  
0 AIRPORT ROAD  
ROCKWALL, TX 75087

REVISIONS

ISSUE DATE: 08/28/23



08/28/2023

PHASE 1  
SITE PLAN

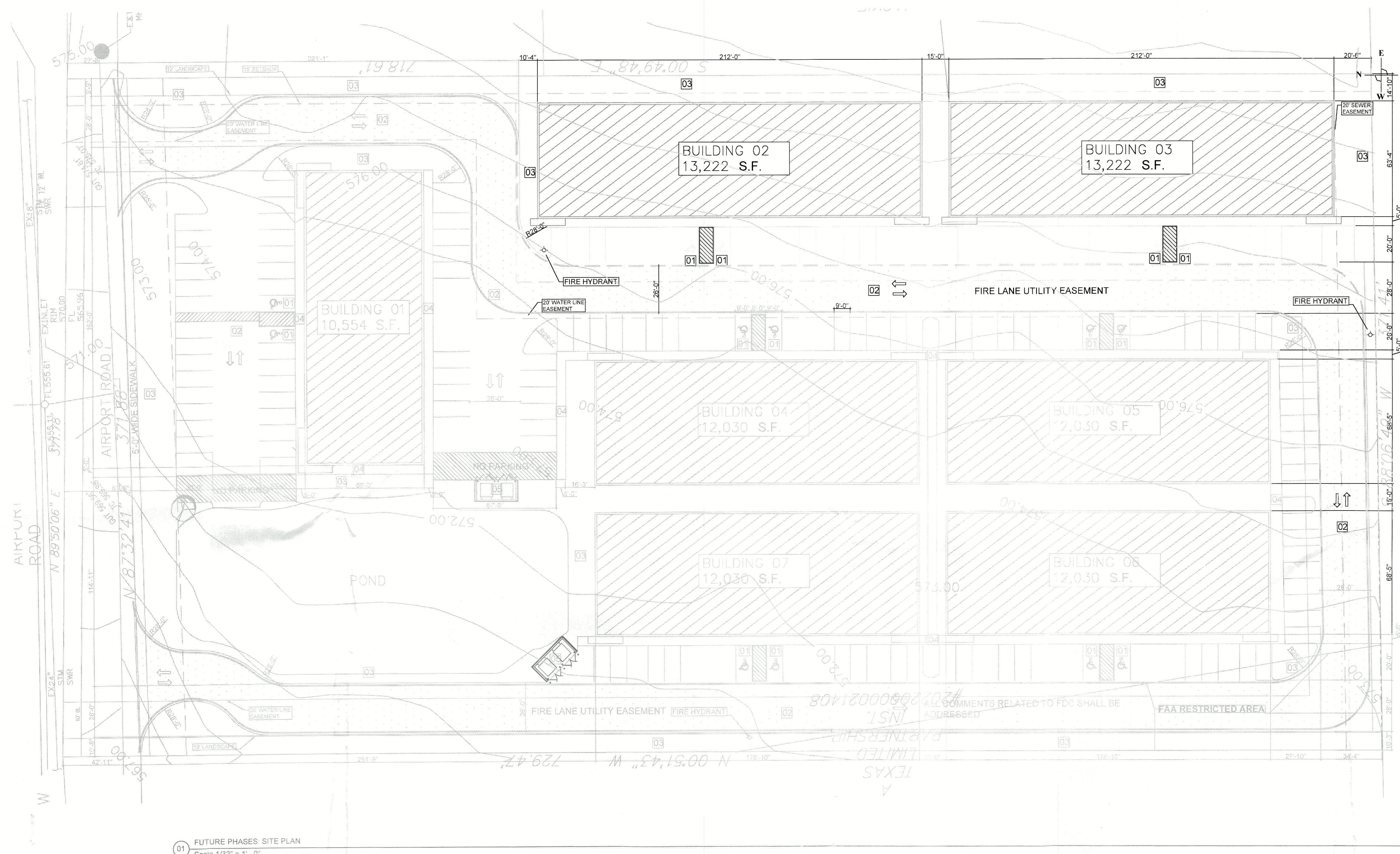
DRAWN BY: CHECKED:

PROJECT No: SHEET No:

23420.02 A0.1

SP2023-028





01 FUTURE PHASES: SITE PLAN  
Scale 1/32" = 1' - 0"

COLORED DETAIL REPRESENTS Phase2: BUILDINGS 02,03  
(NUMBER OF PHASES & BUILDINGS IN EACH PHASE TO BE DECIDED)

GENERAL REFERENCE: SECTION 212.009 OF CHAPTER 212, MUNICIPAL REGULATION OF SUBDIVISIONS AND PROPERTY DEVELOPMENT, OF THE TEXAS LOCAL GOVERNMENT CODE

SITE PLAN SIGNATURE BLOCK

APPROVED:  
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the [DAY] day of [MONTH], [YEAR].

WITNESS OUR HANDS, this 12 day of December, 2023.

Planning & Zoning Commission, Chairman

**RSG ENGINEERING**

13501 KATY FREEWAY  
SUITE 3160  
HOUSTON, TEXAS 77079  
PH. 713-763-7777

TBPE FIRM #: 15498

project  
**ROCKWALL OFFICES WAREHOUSES**  
at  
**0 AIRPORT ROAD**  
**ROCKWALL, TX 75087**

REVISIONS					

ISSUE DATE: 08/28/23

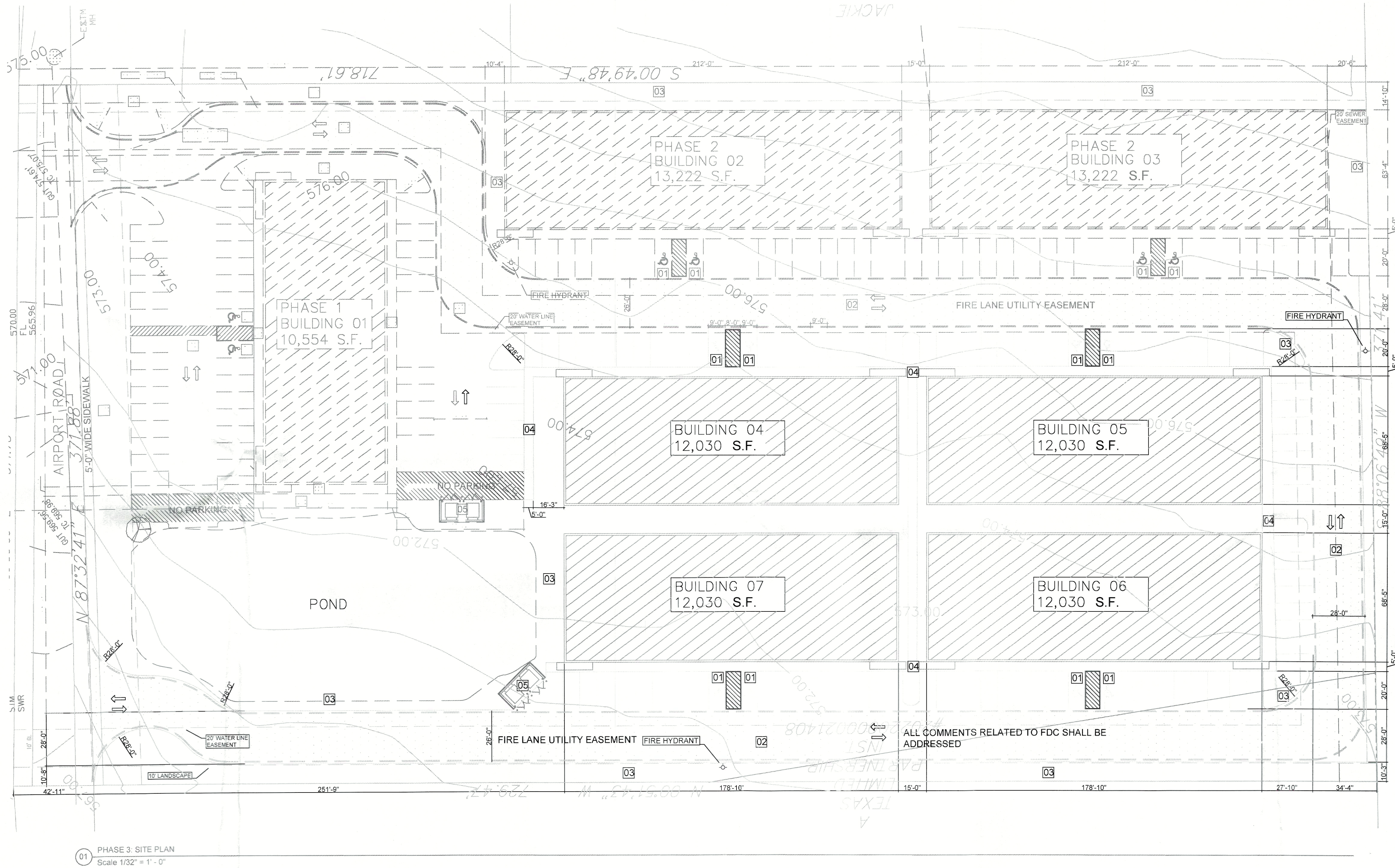
08/28/2023

PHASE 2  
SITE PLAN

DRAWN BY:	CHECKED:
PROJECT No: 23420.02	SHEET No: A0.1

SP2023-028





01 PHASE 3: SITE PLAN  
Scale 1/32" = 1' - 0"

COLORED DETAIL REPRESENTS PHASE 3

GENERAL REFERENCE: SECTION 212.009 OF CHAPTER 212, MUNICIPAL REGULATION OF SUBDIVISIONS AND PROPERTY DEVELOPMENT, OF THE TEXAS LOCAL GOVERNMENT CODE

SITE PLAN SIGNATURE BLOCK

APPROVED:  
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the [DAY] day of [MONTH], [YEAR].

WITNESS OUR HANDS, this 12 day of December, 2023.

*[Signature]*  
Planning & Zoning Commission, Chairman

*[Signature]*

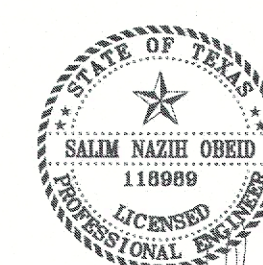
RSG ENGINEERING

13501 KATY FREEWAY  
SUITE 3180  
HOUSTON, TEXAS 77079  
PH. 713-783-7777

project  
ROCKWALL OFFICES WAREHOUSES  
at  
0 AIRPORT ROAD  
ROCKWALL, TX 75087

REVISIONS

ISSUE DATE: 08/07/23



05/19/2023

PHASE 3  
SITE PLAN

DRAWN BY: CHECKED:

PROJECT No. SHEET No.:

23420.02 A0.1

TBPE FIRM #: 15498



GENERAL REFERENCE: SECTION 212.009 OF CHAPTER 212, MUNICIPAL REGULATION OF SUBDIVISIONS AND PROPERTY DEVELOPMENT, OF THE TEXAS LOCAL GOVERNMENT CODE

SITE PLAN SIGNATURE BLOCK

APPROVED:

I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the [DAY] day of [MONTH], [YEAR].

WITNESS OUR HANDS, this 12 day of December, 2023.

*[Signature]*  
Planning & Zoning Commission, Chairman

*[Signature]*  
Director of Planning and Zoning

HVAC UNITS TO BE PLACED ON ROOF  
SCREENED BY PARAPET ON ALL FOUR SIDES

## GENERAL NOTES

- ALL PAINT SHALL BE APPROVED BY OWNER PRIOR TO APPLICATION. PREPARE SURFACE AND APPLY PAINT, PER PAINT MANUFACTURER RECOMMENDATIONS.
- ALL GLAZING TO BE TEMPERED. REFER WINDOW SCHEDULE.
- VERTICAL DIMENSIONS SHOWN ARE FOR REFERENCE TO TOP OF FRAMING. REFER WALL SECTIONS AND DETAILS FOR SPECIFICS.
- CONTRACTOR SHALL SUBMIT MANUFACTURER CUT SHEETS AND SAMPLES FOR ALL SYSTEM MATERIAL FOR REVIEW AND APPROVAL BEFORE PLACING ORDER. SUBSTITUTE PRODUCTS MUST BE EQUAL QUALITY IN FUNCTION AND APPEARANCE, AND MUST BE APPROVED BY DESIGNER AND OWNER.
- CONTRACTOR SHALL VERIFY AND COORDINATE ALL NEW AND EXISTING CONDITIONS AND DIMENSIONS AT JOB SITE FOR COMPARISON WITH DRAWINGS AND SPECIFICATIONS PRIOR TO COMMENCING ANY WORK. IF ANY DISCREPANCIES, INCONSISTENCIES OR OMISSIONS ARE FOUND, THE DESIGNER SHALL BE NOTIFIED IN WRITING FOR CLARIFICATION PRIOR TO PROCEEDING WITH WORK.
- CONTROL JOINT. NOT TO EXCEED 144 S.F.

BUILDING PARAPET  
ELEV.: 23'-0" AFF  
BUILDING PARAPET  
ELEV.: 22'-0" AFF  
BUILDING HEIGHT  
ELEV.: 19'-9" AFF

AWNING HEIGHT  
ELEV.: 12'-7" AFF

DOOR HEIGHT  
ELEV.: 8'-0" AFF

FINISH FLOOR  
ELEV.: 0'-0" AFF

## MATERIAL PERCENTAGES

- 1 STONE: = 22%  
2 3 4 STUCCO: = 50%  
19 BRICK: = 28%

01 FRONT ELEVATION  
Scale 1/8" = 1' - 0"

WILL PROVIDE FUTURE SUITE NUMBERS  
PER CITY REQUIREMENTS

BUILDING PARAPET  
ELEV.: 23'-0" AFF  
BUILDING HEIGHT  
ELEV.: 19'-9" AFF  
AWNING HEIGHT  
ELEV.: 12'-7" AFF  
DOOR HEIGHT  
ELEV.: 8'-0" AFF  
FINISH FLOOR  
ELEV.: 0'-0" AFF

02 RIGHT ELEVATION  
Scale 1/8" = 1' - 0"

## MATERIAL PERCENTAGES

- 1 STONE: = 24%  
2 3 STUCCO: = 50%  
19 BRICK: = 26%

03 LEFT ELEVATION  
Scale 1/8" = 1' - 0"

## MATERIAL PERCENTAGES

- 1 STONE: = 24%  
2 3 STUCCO: = 50%  
19 BRICK: = 26%

## EXTERIOR ELEVATION KEY NOTES

- NATURAL QUARRIED STONE: COLOR: SW 7066 (GRAY MATTERS)
- FINE STUCCO COLOR: SW 7074 (SOFTWARE)
- CLASSIC STUCCO COLOR: SW 7074 (SOFTWARE)
- STUCCO COLOR: SW 6257 (GIBRALTAR)
- CAP STONE
- PRE-FINISHED METAL CANOPY, COLOR: SW 7076 (CYBERSPACE)
- METAL COPING, COLOR: SW 7076 (CYBERSPACE)
- WINDOW/DOOR SYSTEM (RE. SCHEDULES)
- WALL SCOSCE
- WALL PACK LIGHT
- DOWNSPOUT
- WALL SUPPORT - PROVIDE WHERE IS NECESSARY
- EXTERIOR WALL-MOUNTED LIGHT
- PAINTED METAL DOOR, COLOR: SW 7664 (STEELY GRAY)
- SCUPPER
- OVERHEAD DOOR, COLOR: SW 7664 (STEELY GRAY)
- BOLLARDS
- 1/2" CORRUGATED METAL SIDING 10", COLOR: SW 7074 (SOFTWARE)
- ACCENT SMOOTH BRICK, COLOR: SW 7551 (GREEK VILLA)
- 1/2" CORRUGATED METAL SIDING 5", COLOR: SW 6257 (GIBRALTAR)

PARAPET  
1" AFF  
PARAPET  
1" AFF  
HEIGHT  
1" AFF

OR  
AFF

04 REAR ELEVATION  
Scale 1/8" = 1' - 0"

## MATERIAL PERCENTAGES

- 1 STONE: = 21%  
3 STUCCO: = 50%  
19 BRICK: = 20%  
18 METAL: = 9%

RSG ENGINEERING

13501 KATY FREEWAY  
SUITE 100  
ROCKWALL, TEXAS 75087  
PH: 713-763-7777

TYPE FIRM #: 15198

project  
ROCKWALL OFFICES WAREHOUSES

at  
1760 AIRPORT ROAD  
ROCKWALL, TX 75087

REVISIONS

ISSUE DATE: 12/04/23

BUILDING 01



12/04/2023

EXTERIOR ELEVATIONS

DRAWN BY: CHECKED:

PROJECT No: SHEET No:

23420.02 A2.0

(SP2023-044)



## EXTERIOR ELEVATION KEY NOTES

- 1 NATURAL QUARRIED STONE. COLOR: SW 7066 (GRAY MATTERS)
- 2 FINE STUCCO COLOR: SW 7074 (SOFTWARE)
- 3 CLASSIC STUCCO COLOR: SW 7074 (SOFTWARE)
- 4 STUCCO COLOR: SW 6257 (GIBALTAR)
- 5 CAP STONE
- 6 PRE-FINISHED METAL CANOPY. COLOR: SW 7075 (CYBERSPACE)
- 7 METAL COPING. COLOR: SW 7075 (CYBERSPACE)
- 8 WINDOW/DOOR SYSTEM (RE. SCHEDULES)
- 9 WALL SCOSCE
- 10 WALL PACK LIGHT

- 11 DOWNSPOUT
- 12 WALL SUPPORT - PROVIDE WHERE IS NECESSARY
- 13 EXTERIOR WALL-MOUNTED LIGHT
- 14 PAINTED METAL DOOR. COLOR: SW 7664 (STEELY GRAY)
- 15 SCUPPER
- 16 OVERHEAD DOOR. COLOR: SW 7664 (STEELY GRAY)
- 17 BOLLARDS
- 18 1/2" CORRUGATED METAL SIDING 10". COLOR: SW 7074 (SOFTWARE)
- 19 ACCENT SMOOTH BRICK. COLOR: SW 7551 (GREEK VILLA)
- 20 1/2" CORRUGATED METAL SIDING 5". COLOR: SW 6257 (GIBALTAR)

GENERAL REFERENCE: SECTION 212.009 OF CHAPTER 212, MUNICIPAL REGULATION OF SUBDIVISIONS AND PROPERTY DEVELOPMENT, OF THE TEXAS LOCAL GOVERNMENT CODE

## SITE PLAN SIGNATURE BLOCK

## APPROVED:

I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the [DAY] day of [MONTH], [YEAR].

WITNESS OUR HANDS, this 17 day of December, 2023.

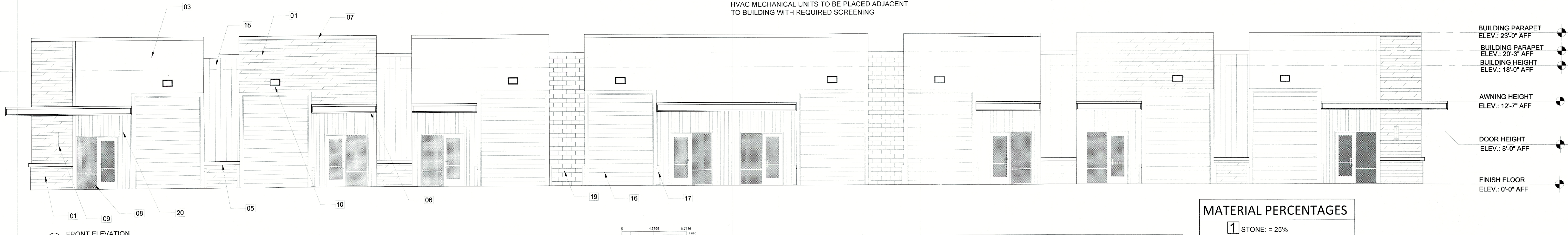
*[Signature]*  
Planning & Zoning Commission, Chairman

*[Signature]*  
Director of Planning and Zoning

## GENERAL NOTES

1. ALL PAINT SHALL BE APPROVED BY OWNER PRIOR TO APPLICATION. PREPARE SURFACE AND APPLY PAINT, PER PAINT MANUFACTURER RECOMMENDATIONS.
2. ALL GLAZING TO BE TEMPERED. REFER WINDOW SCHEDULE.
3. VERTICAL DIMENSIONS SHOWN ARE FOR REFERENCE TO TOP OF FRAMING. REFER WALL SECTIONS AND DETAILS FOR SPECIFICS.
4. CONTRACTOR SHALL SUBMIT MANUFACTURER CUT SHEETS AND SAMPLES FOR ALL SYSTEM MATERIAL FOR REVIEW AND APPROVAL BEFORE PLACING ORDER. SUBSTITUTE PRODUCTS MUST BE EQUAL QUALITY IN FUNCTION AND APPEARANCE, AND MUST BE APPROVED BY DESIGNER AND OWNER.
5. CONTRACTOR SHALL VERIFY AND COORDINATE ALL NEW AND EXISTING CONDITIONS AND DIMENSIONS AT JOB SITE FOR COMPARISON WITH DRAWINGS AND SPECIFICATIONS PRIOR TO COMMENCING ANY WORK. IF ANY DISCREPANCIES, INCONSISTENCIES OR OMISSIONS ARE FOUND, THE DESIGNER SHALL BE NOTIFIED IN WRITING FOR CLARIFICATION PRIOR TO PROCEEDING WITH WORK.
6. CONTROL JOINT: NOT TO EXCEED 144 S.F.

NO ROOF MOUNTED HVAC UNITS.  
HVAC MECHANICAL UNITS TO BE PLACED ADJACENT TO BUILDING WITH REQUIRED SCREENING



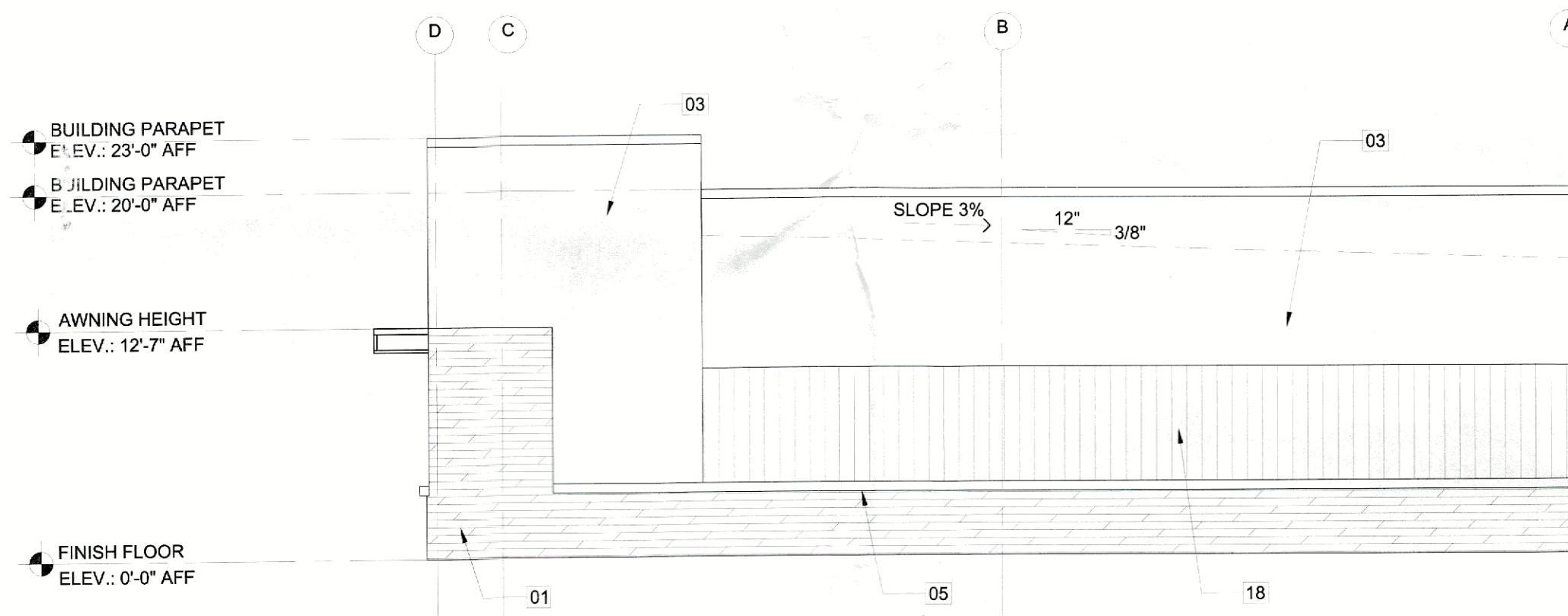
01 FRONT ELEVATION  
Scale 1/8" = 1' - 0"

WILL PROVIDE FUTURE SUITE NUMBERS  
PER CITY REQUIREMENTS

## MATERIAL PERCENTAGES

- 1 STONE = 25%  
3 4 METAL SIDING = 18%  
21 STUCCO: 50%  
22 BRICK: 7%

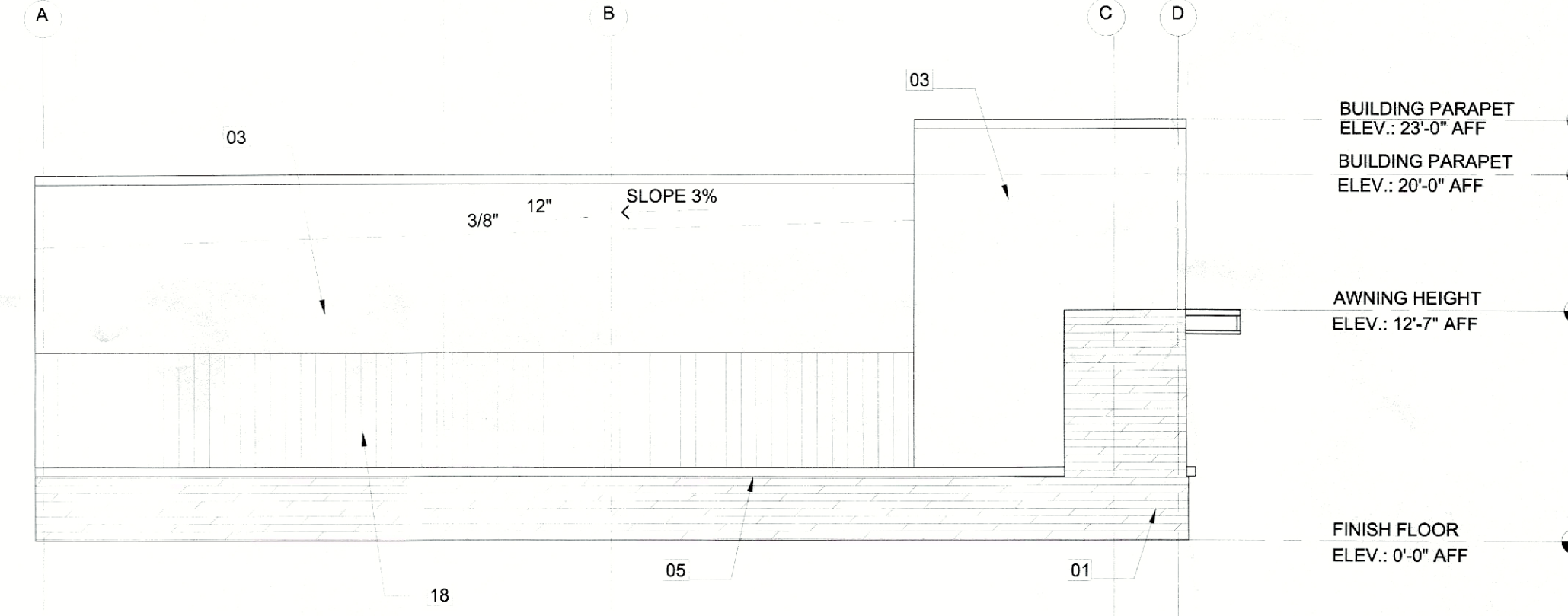
- BUILDING PARAPET  
ELEV.: 23'-0" AFF  
BUILDING PARAPET  
ELEV.: 20'-3" AFF  
BUILDING HEIGHT  
ELEV.: 18'-0" AFF  
AWNING HEIGHT  
ELEV.: 12'-7" AFF  
DOOR HEIGHT  
ELEV.: 8'-0" AFF  
FINISH FLOOR  
ELEV.: 0'-0" AFF



02 RIGHT ELEVATION  
Scale 1/8" = 1' - 0"

## MATERIAL PERCENTAGES

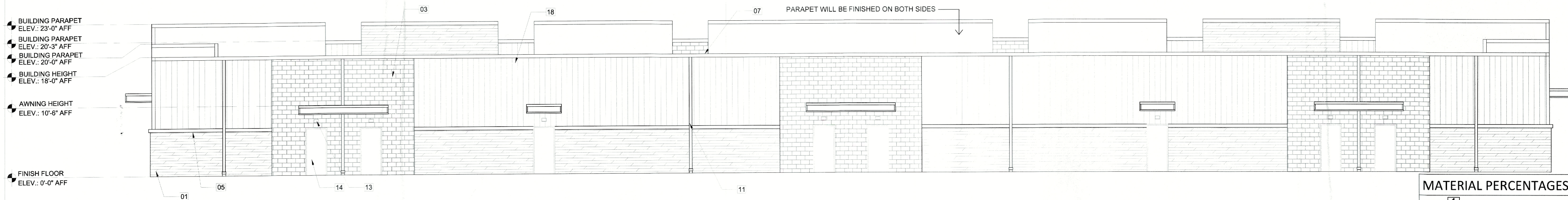
- 1 STONE = 22%  
3 METAL SIDING = 28%  
21 STUCCO: 50%



03 LEFT ELEVATION  
Scale 1/8" = 1' - 0"

## MATERIAL PERCENTAGES

- 1 STONE = 22%  
3 METAL SIDING = 28%  
21 STUCCO: 50%



04 REAR ELEVATION  
Scale 1/8" = 1' - 0"

## MATERIAL PERCENTAGES

- 1 STONE = 25%  
3 METAL SIDING = 48%  
21 BRICK = 27%

(SP2023-044)

RSG ENGINEERING

13501 KATY FREEWAY  
SUITE 3160  
HOUSTON, TEXAS 77079  
PH. 713-763-7777

TBPE FIRM #: 15498

project  
ROCKWALL OFFICES WAREHOUSES  
at  
1760 AIRPORT ROAD  
ROCKWALL, TX 75087

REVISIONS

ISSUE DATE: 12/01/23

BUILDINGS 02 & 03



12/01/2023

EXTERIOR ELEVATIONS

DRAWN BY: CHECKED:

PROJECT No: SHEET No:

23420.02 A2.0



EXTERIOR ELEVATION KEY NOTES

- 1 NATURAL QUARRIED STONE, COLOR: SW 7066 (GRAY MATTERS)
- 2 FINE STUCCO COLOR: SW 7074 (SOFTWARE)
- 3 CLASSIC STUCCO COLOR: SW 7074 (SOFTWARE)
- 4 STUCCO COLOR: SW 6257 (GIBALTAR)
- 5 CAP STONE
- 6 PRE-FINISHED METAL CANOPY, COLOR: SW 7076 (CYBERSPACE)
- 7 METAL COPING, COLOR: SW 7076 (CYBERSPACE)
- 8 WINDOW/DOOR SYSTEM (RE. SCHEDULES)
- 9 WALL SCONCE
- 10 WALL PACK LIGHT

- 12 WALL SUPPORT - PROVIDE WHERE IS NECESSARY
- 13 EXTERIOR WALL-MOUNTED LIGHT
- 14 PAINTED METAL DOOR, COLOR: SW 7664 (STEELY GRAY)
- 15 SCUPPER
- 16 OVERHEAD DOOR, COLOR: SW 7664 (STEELY GRAY)
- 17 BOLLARDS
- 18 1/2" CORRUGATED METAL SIDING 10", COLOR: SW 7074 (SOFTWARE)
- 19 ACCENT SMOOTH BRICK, COLOR: SW 7551 (GREEK VILLA)
- 20 1/2" CORRUGATED METAL SIDING 5", COLOR: SW 6257 (GIBALTAR)

GENERAL REFERENCE: SECTION 212.009 OF CHAPTER 212, MUNICIPAL REGULATION OF SUBDIVISIONS AND PROPERTY DEVELOPMENT, OF THE TEXAS LOCAL GOVERNMENT CODE

SITE PLAN SIGNATURE BLOCK

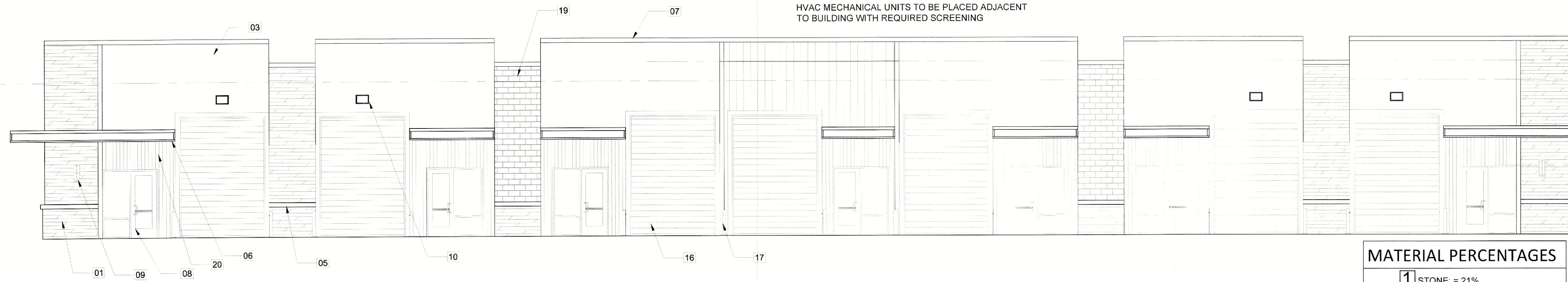
APPROVED:  
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the [DAY] day of [MONTH], [YEAR].

WITNESS OUR HANDS, this 12 day of December, 2023.

Planning & Zoning Commission, Chairman  
Director of Planning and Zoning

GENERAL NOTES

1. ALL PAINT SHALL BE APPROVED BY OWNER PRIOR TO APPLICATION. PREPARE SURFACE AND APPLY PAINT, PER PAINT MANUFACTURER RECOMMENDATIONS.
2. ALL GLAZING TO BE TEMPERED, REFER WINDOW SCHEDULE.
3. VERTICAL DIMENSIONS SHOWN ARE FOR REFERENCE TO TOP OF FRAMING. REFER WALL SECTIONS AND DETAILS FOR SPECIFICS.
4. CONTRACTOR SHALL SUBMIT MANUFACTURER CUT SHEETS AND SAMPLES FOR ALL SYSTEM MATERIAL FOR REVIEW AND APPROVAL BEFORE PLACING ORDER. SUBSTITUTE PRODUCTS MUST BE EQUAL QUALITY IN FUNCTION AND APPEARANCE, AND MUST BE APPROVED BY DESIGNER AND OWNER.
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6. CONTROL JOINT. NOT TO EXCEED 144 S.F.



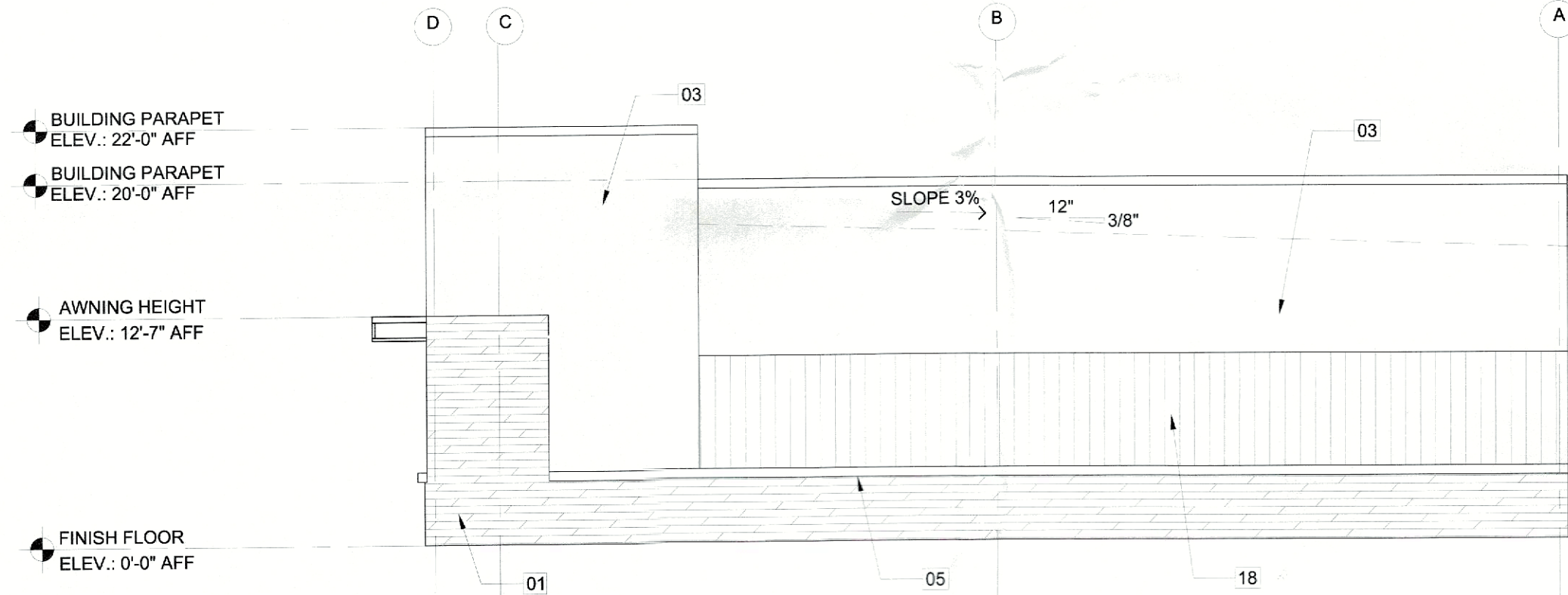
- BUILDING PARAPET ELEV.: 22'-0" AFF
- BUILDING PARAPET ELEV.: 20'-3" AFF
- BUILDING HEIGHT ELEV.: 18'-0" AFF
- AWNING HEIGHT ELEV.: 12'-7" AFF
- DOOR HEIGHT ELEV.: 8'-0" AFF
- FINISH FLOOR ELEV.: 0'-0" AFF

MATERIAL PERCENTAGES

- 1 STONE: = 21%
- 3 4 METAL SIDING: = 27%
- 21 STUCCO: = 45%
- 22 BRICK: = 7%

01 FRONT ELEVATION  
Scale 1/8" = 1' - 0"

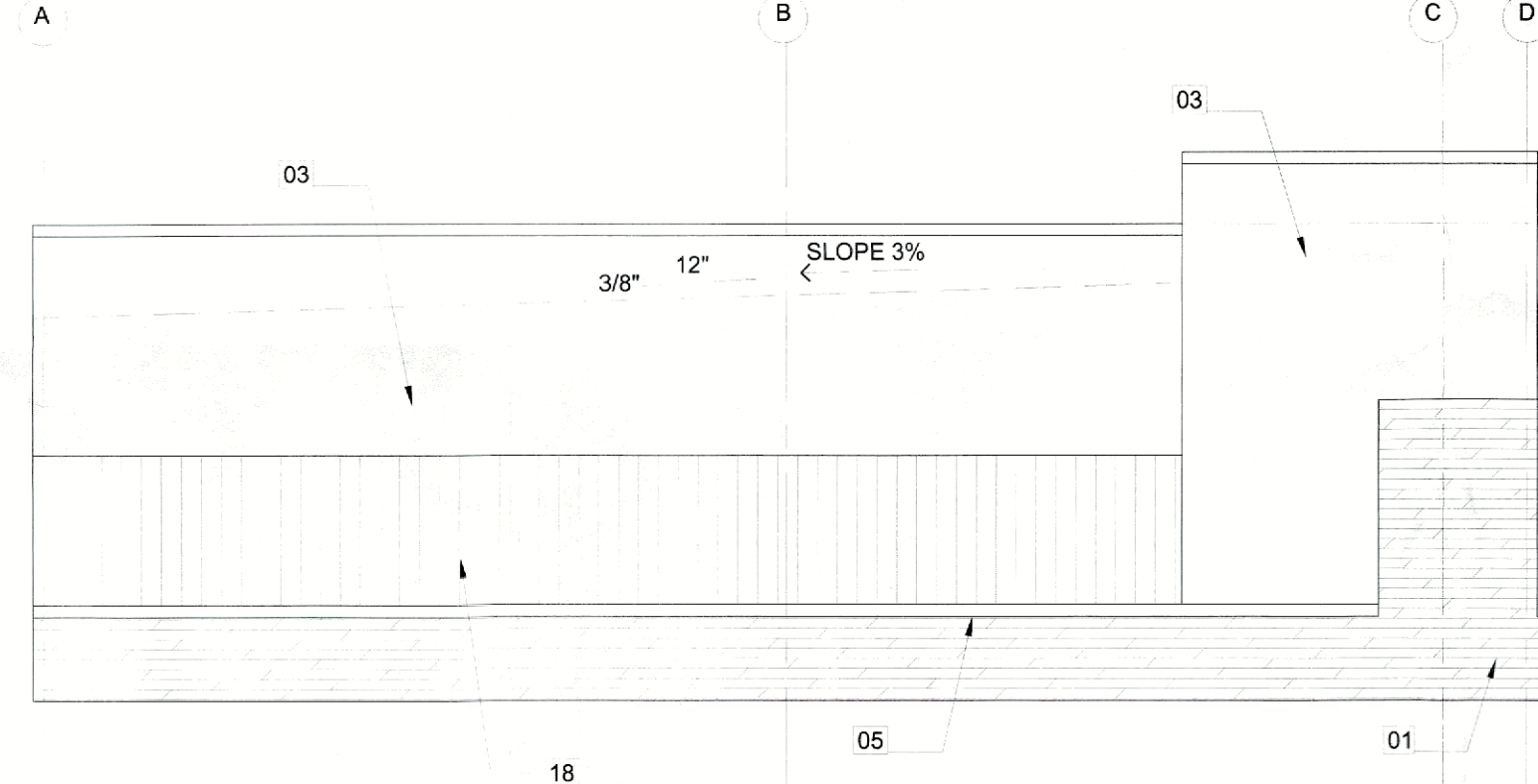
WILL PROVIDE FUTURE SUITE NUMBERS  
PER CITY REQUIREMENTS



02 RIGHT ELEVATION  
Scale 1/8" = 1' - 0"

MATERIAL PERCENTAGES

- 1 STONE: = 22%
- 3 METAL SIDING: = 28%
- 21 STUCCO: 50%

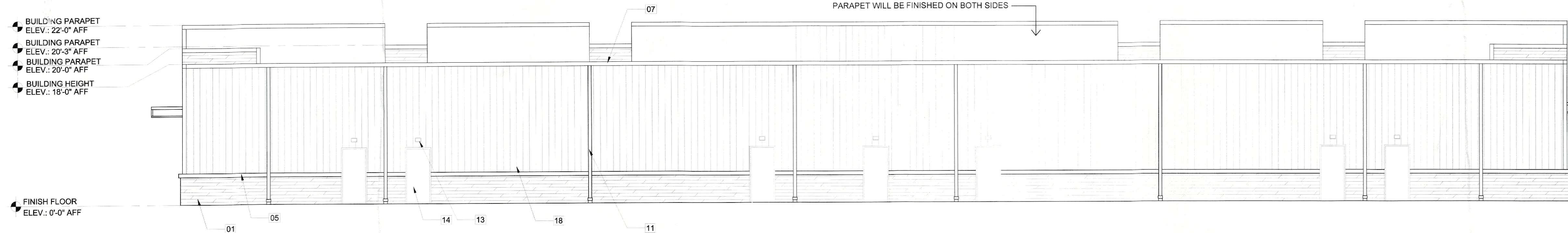


03 LEFT ELEVATION  
Scale 1/8" = 1' - 0"

- BUILDING PARAPET ELEV.: 22'-0" AFF
- BUILDING PARAPET ELEV.: 20'-0" AFF
- AWNING HEIGHT ELEV.: 12'-7" AFF
- FINISH FLOOR ELEV.: 0'-0" AFF

MATERIAL PERCENTAGES

- 1 STONE: = 22%
- 3 METAL SIDING: = 28%
- 21 STUCCO: 50%



04 REAR ELEVATION  
Scale 1/8" = 1' - 0"

MATERIAL PERCENTAGES

- 1 STONE: = 20%
- 3 METAL SIDING: = 80%

RS&G ENGINEERING

project  
ROCKWALL OFFICES WAREHOUSES  
at  
1760 AIRPORT ROAD  
ROCKWALL, TX 75087

REVISIONS

ISSUE DATE: 12/04/23

BUILDINGS  
04, 05, 06 & 07



12/04/2023

EXTERIOR ELEVATIONS

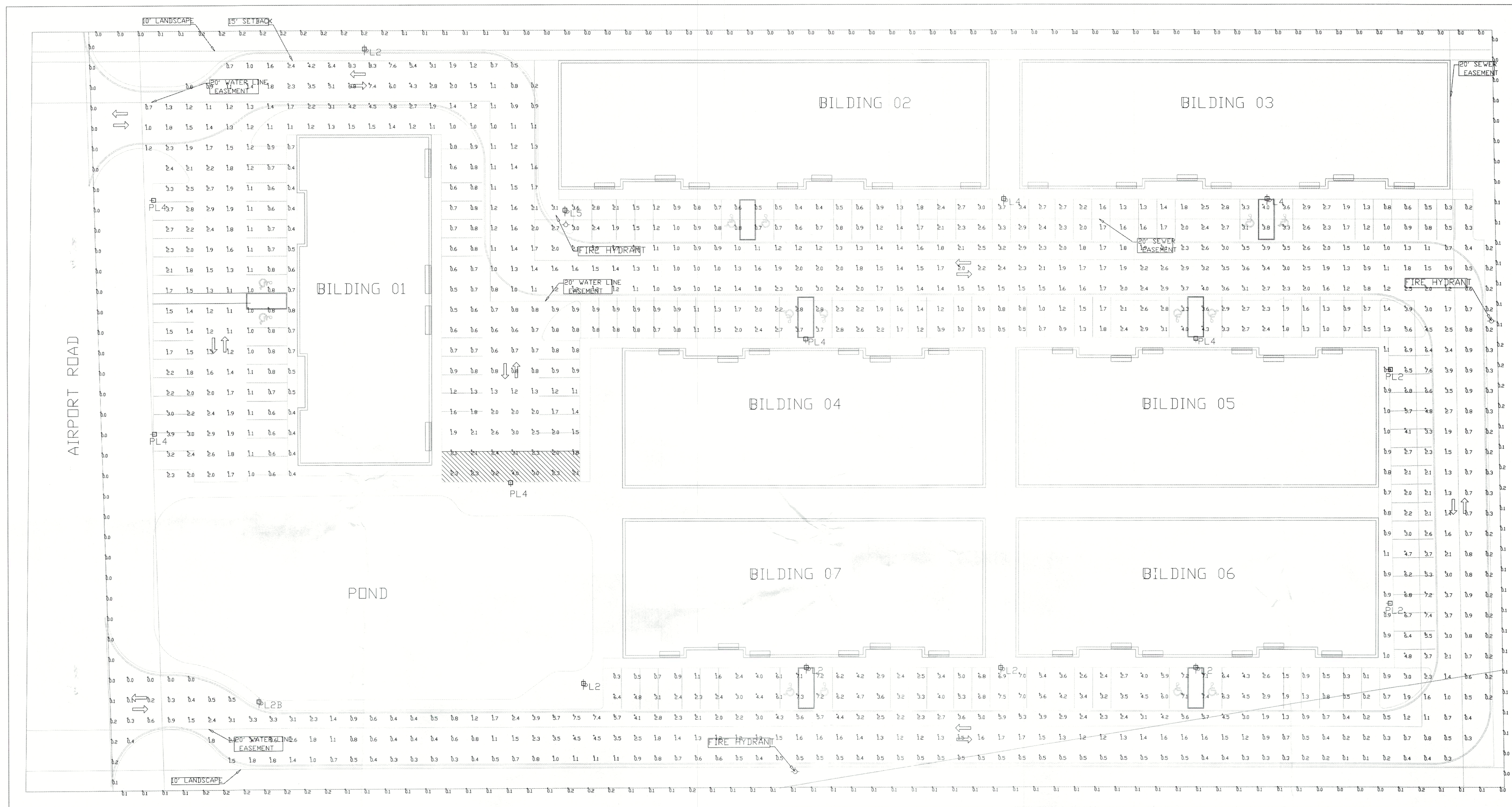
DRAWN BY: CHECKED:

PROJECT No: SHEET No:

23420.02 A2.0

(SP2023-044)





Luminaire Schedule						
Symbol	Label	Qty	Arrangement	Lum. Lumens	Lum. Watts	LLF
□	PL2	7	Single	15594	151	0.950
□	PL2B	1	Single	7815	74	0.950
□	PL4	7	Single	14072	151	0.950
□	PL5	1	Single	20332	151	0.950
Description						
Lunark PRV-PA2B-740-VOLT-T2R-HSS-FINISH						
Lunark PRV-PA1B-740-VOLT-T2R-HSS-FINISH						
Lunark PRV-PA2B-740-VOLT-T4W-HSS-FINISH						
Lunark PRV-PA2B-740-VOLT-SWG-FINISH						

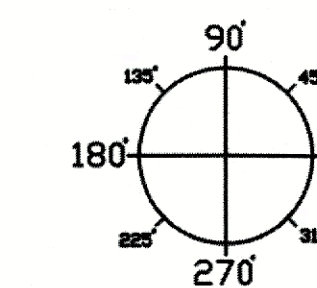
Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Property Line - Ground	Illuminance	Fc	0.07	0.2	0.0	N.A.	N.A.
SITE Paved Parking - Ground	Illuminance	Fc	1.90	8.3	0.0	N.A.	N.A.

Luminaire Location Summary	
Label	Mounting HT
PL2	22.5(30in Base Included)
PL2B	22.5(30in Base Included)
PL4	22.5(30in Base Included)
PL5	22.5(30in Base Included)

Peterson, Scharck & Assoc. / Keith Peterson / 08-08-23

Luminaire data is obtained according to IES procedures under laboratory conditions. Field results may differ from computer model due to many factors, including: ambient temperature, line voltage variations, lamp performance, installation, reflectances, and other site specific conditions.

APPROVED:  
I hereby certify that the above and foregoing site plan for development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission on the 12 day of December 2023.  
*[Signature]*  
Planning & Zoning Commission, Chairman



**DRAWINGS FOR REVIEW ONLY  
DO NOT USE AS CONSTRUCTION DOCUMENTS**

Peterson, Scharck, & Associates, Inc.

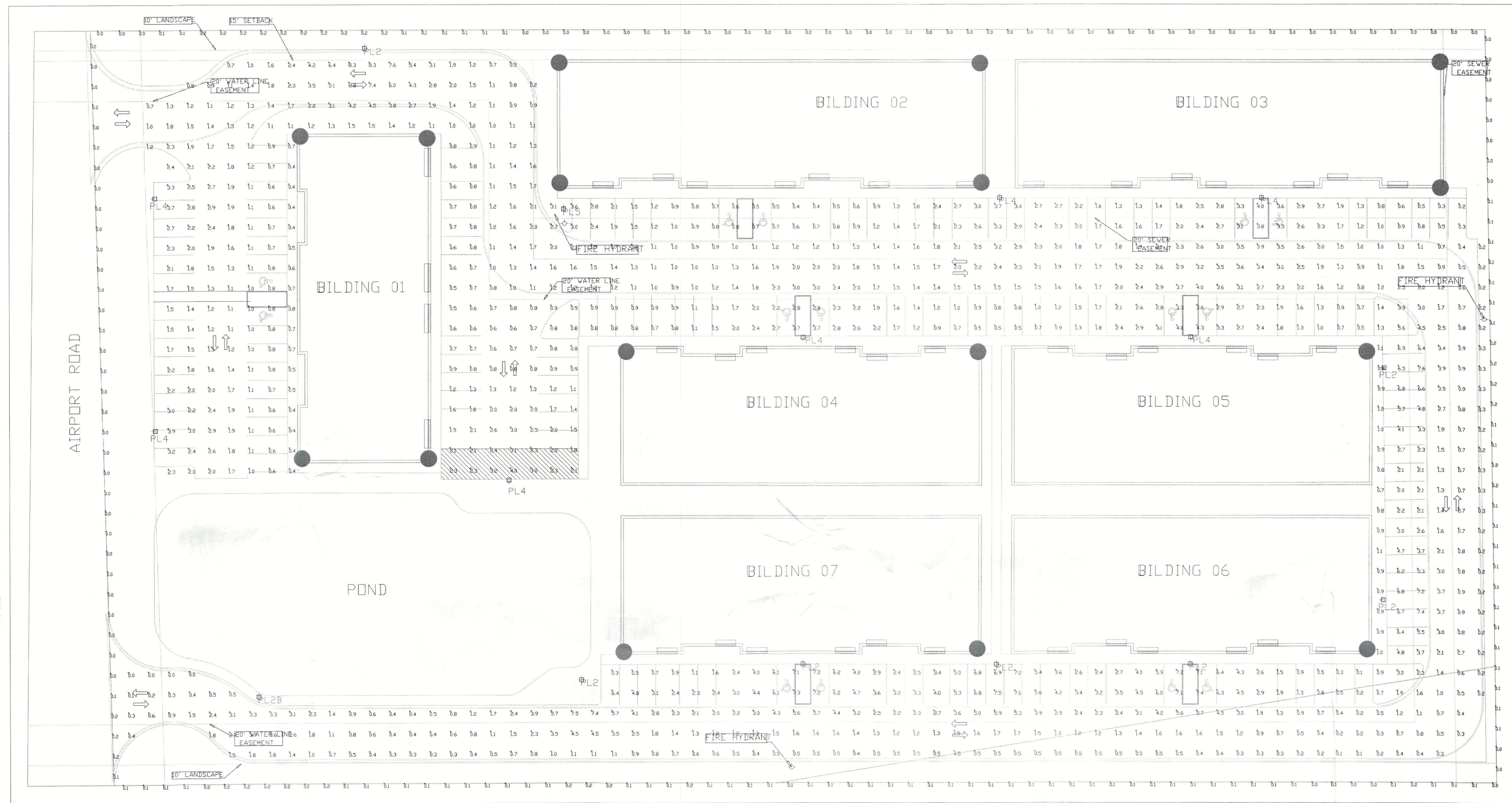
10855 Tanner Rd.  
Houston, TX 77041  
applications@psahtg.com

XXX  
XXX

Project Name  
Rockwall  
Flexspace Center  
Site Litg

Date  
08-08-23  
Drawing by  
SR





Luminaire Schedule						
Symbol	Label	Qty	Arrangement	Lum. Lumens	Lum. Watts	Description
□	PL2	7	Single	15594	151	0.950 Lumark PRV-PA2B-740-VOLT-T2R-HSS-FINISH
□	PL2B	1	Single	7815	74	0.950 Lumark PRV-PA1B-740-VOLT-T2R-HSS-FINISH
□	PL4	7	Single	14072	151	0.950 Lumark PRV-PA2B-740-VOLT-T4V-HSS-FINISH
□	PL5	1	Single	20332	151	0.950 Lumark PRV-PA2B-740-VOLT-SWQ-FINISH

Calculation Summary								
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min	
Property Line - Ground	Illuminance	Fc	0.07	0.2	0.0	N.A.	N.A.	
SITE Paved Parking - Ground	Illuminance	Fc	1.90	8.3	0.0	N.A.	N.A.	

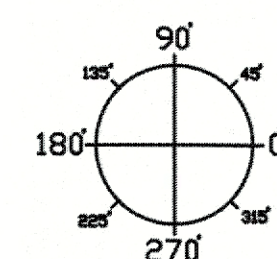
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Peterson, Scharck & Assoc. / Keith Peterson / 08-08-23

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*[Signature]* *[Signature]*  
Planning & Zoning Commission, Chairman Director of Planning & Zoning



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Houston, TX 77041  
applications@psahlighting.com

XXX  
XXX

Rockwall  
Flexspace Center  
Site Lig

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