2. PRIOR TO ANY CONSTRUCTION ACTIVITIES, THE CONTRACTOR SHALL BE FAMILIAN WITH THE PLANS INCLUDING ALL NOTES, STANDARD SPECIFICATIONS, DETAILS,

TESTING AND INSPECTION OF MATERIALS SHALL BE PERFORMED BY A COMMERCIAL TESTING LABORATORY APPROVED BY THE CLIENT AND CITY. CONTRACTOR SHALL FURNISH MATERIALS OR SPECIMENS FOR TESTING, AND SHALL FURNISH SUITABLE EVIDENCE THAT THE MATERIALS PROPOSED TO BE INCORPORATED INTO THE WORK ARE IN ACCORDANCE WITH THE

4. CONTRACTOR SHALL NOTIFY THE CITY AT LEAST 48 HOURS PRIOR TO BEGINNING

5. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS PRIOR TO BEGINNING ANY CONSTRUCTION.

6. CONTRACTOR MUST KEEP AVAILABLE ON-SITE AT ALL TIMES APPROVED CONSTRUCTION PLANS AND COPIES OF ANY REQUIRED PERMITS ALONG WITH THE CURRENT VERSIONS OF THE FOLLOWING REFERENCES: CITY OF ROCKWALL

REOUIRE REVIEW BY THE CITY SHALL BE SUBMITTED BY THE CONTRACTOR SUFFICIENTLY IN ADVANCE OF SCHEDULED CONSTRUCTION TO ALLOW NO LES

SURVEYING AND STAKING AND SHALL NOTIFY THE CLIENT AND CITY OF ANY DISCREPANCIES PRIOR TO PROCEEDING WITH ANY WORK

CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL SURVEY MARKERS INCLUDING IRON RODS, PROPERTY CORNERS, OR SURVEY MONUMENTS WITHIN THE LIMITS OF CONSTRUCTION AND OUTSIDE ROW DURING CONSTRUCTION. ANY SURVEY MARKERS DISTURBED DURING CONSTRUCTION SHALL BE REPLACED BY THE CONTRACTOR AT NO COST TO THE CLIENT.

10. CONTRACTOR IS RESPONSIBLE FOR KEEPING STREETS AND DRIVEWAYS ADJACEN TO THE PROJECT FREE OF MUD AND DEBRIS AT ALL TIMES. CONTRACTOR SHALL CLEAN UP AND REMOVE ALL LOOSE MATERIAL RESULTING FROM CONSTRUCTION

SHOWN ON THE DRAWINGS WERE OBTAINED FROM AVAILABLE RECORDS AND ARE APPROXIMATE. THE CONTRACTOR SHALL DETERMINE THE DEPTH AND LOCATION OF EXISTING UNDERGROUND UTILITIES PRIOR TO EXCAVATING TRENCHING, OR DRILLING AND SHALL BE REQUIRED TO TAKE ANY PRECAUTIONARY MEASURES TO PROTECT ALL LINES SHOWN AND / OR ANY OTHER UNDERGROUND UTILITIES NOT OF RECORD OR NOT SHOWN ON THE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING ALL PUBLIC AGENCIES AND FRANCHISE UTILITIES 48 HOURS PRIOR TO CONSTRUCTION. (DIG-TESS 1-800-344-8377) THE CONTRACTOR MAY BE REQUIRED TO EXPOSE THESE FACILITIES AT NO COST TO THE CITY. THE CONTRACTOR WILL BE RESPONSIBLE FOR DAMAGES TO UTILITIES IF THE DAMAGE IS CAUSED BY NEGLIGENCE OR FAILURE TO HAVE

12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING FACILITIES OR ADIACENT PROPERTIES DURING CONSTRUCTION. ANY REMOVAL OR DAMAGE TO EXISTING FACILITIES SHALL BE REPLACED OR REPAIRED TO EQUAL OR BETTER CONDITION BY THE CONTRACTOR.

CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING AND INSTALLING ALI TEMPORARY AND PERMANENT TRAFFIC CONTROL IN ACCORDANCE WITH THE MINIMUM REQUIREMENTS OF THE LATEST REVISION OF THE TEXAS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (TMUTCD) AND TXDOT BARRICADE AND

CONTRACTOR SHALL NOT IMPEDE TRAFFIC ON EXISTING STREETS, DRIVEWAYS ALLEYS, OR FIRE LANES OPEN TO THE PUBLIC. IN THE EVENT THE CONSTRUCTION WORK REQUIRES THE CLOSURE OF AN EXISTING STREET, ALLEY, OR FIRE LANE. THE CONTRACTOR SHALL REQUEST THE ROAD CLOSURE THROUGH THE CITY

15. CONTRACTOR SHALL NOT STORE MATERIALS, EQUIPMENT OR OTHER CONSTRUCTION ITEMS ON ADJACENT PROPERTIES OR RIGHT-OF-WAY WITHOUT

THE PRIOR WRITTEN CONSENT OF THE PROPERTY OWNER AND THE CITY. TEMPORARY FENCING SHALL BE INSTALLED PRIOR TO THE REMOVAL OF EXISTING FENCING. TEMPORARY FENCING SHALL BE REMOVED AFTER PROPOSED FENCING IS APPROVED BY THE CITY. ALL TEMPORARY AND PROPOSED FENCING LOCATIONS

SHALL BE SUBJECT TO FIELD REVISIONS AS DIRECTED BY THE CITY. UNUSABLE EXCAVATED MATERIAL, OR CONSTRUCTION DEBRIS SHALL BE REMOVED AND DISPOSED OF OFFSITE AT AN APPROVED DISPOSAL FACILITY BY THE CONTRACTOR AT HIS EXPENSE

18. CONTRACTOR SHALL AVOID DAMAGE TO EXISTING TREES. WHEN NECESSARY TREES AND SHRUB TRIMMING FOR CONSTRUCTION SHALL BE PERFORMED BY CERTIFIED TREE WORKER OR UNDER THE DIRECTION OF A REGISTERED LANDSCAPE ARCHITECT OR CERTIFIED ARBORIST.

EROSION CONTROL DEVICES SHALL BE INSTALLED ON ALL PROJECTS PRIOR TO BEGINNING CONSTRUCTION AND SHALL BE MAINTAINED THROUGHOUT THE PROIECT IN A CONDITION ACCEPTABLE TO THE CITY.

20. CONTRACTOR SHALL LOCATE AND PROTECT ALL EXISTING LANDSCAPE IRRIGATION SYSTEMS. DAMAGE TO EXISTING IRRIGATION SYSTEMS AND LANDSCAPE MATERIALS SHALL BE RESTORED TO EQUAL OR BETTER CONDITION AT NO COST TO CITY OR CLIENT.

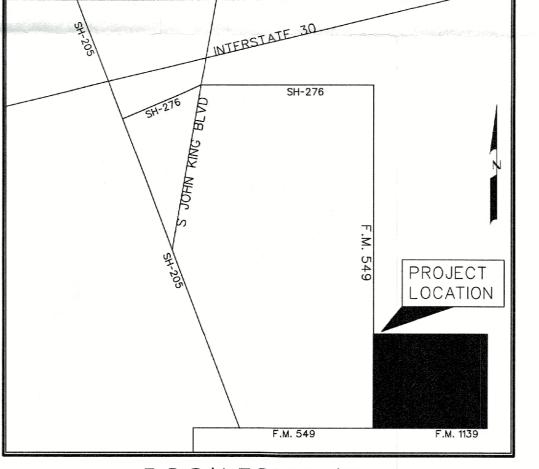
IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN A NEAT AND ACCURATE RECORD OF CONSTRUCTION FOR THE CLIENT'S AND CITY'S RECORDS.

## CONSTRUCTION PLANS AMENITY CENTER FACILITY

### ~HOMESTEAD, PHASE 1~

CITY OF ROCKWALL ROCKWALL COUNTY, TEXAS

SUBMITTAL DATE: December 05, 2023



LOCATION MAP NOT TO SCALE

	SHEET INDEX
SP1	SITE PLAN
L4-L8	SITE DETAILS
LS1	LANDSCAPE PLAN
LS2	LANDSCAPE SCHEDULE AND DETAILS
A4.00	FACADE PLANS
E1.00	PHOTOMETRIC PLAN

#### GENERAL LANDSCAPE NOTES:

1. NO EXCAVATION SHALL OCCUR IN CITY R.O.W. WITHOUT A R.O.W. PERMIT--CONTACT

THE PUBLIC WORKS DEPARTMENT.

2. THE CONTRACTOR SHALL MARK ALL WATER LINES, SEWER LINES, AND TREE LOCATIONS PRIOR TO CALLING FOR ROW INSPECTION AND PERMIT. 3. THE LANDSCAPE INSTALLATION SHALL COMPLY WITH APPROVED LANDSCAPE

WATER METERS, CLEANOUTS AND OTHER APPURTENANCES, SHALL BE ACCESSIBLE, ADJUSTED TO GRADE, CLEARLY MARKED WITH FLAGGING AND COMPLIANT WITH PUBLIC WORKS DEPARTMENT STANDARDS PRIOR TO CALLING FOR FINAL LANDSCAPE AND ROW INSPECTIONS.

DRAWINGS PRIOR TO FINAL ACCEPTANCE BY THE CITY AND ISSUANCE OF A

#### LANDSCAPE STANDARDS:

1. PLANTINGS AND LANDSCAPE ELEMENTS SHALL COMPLY WITH THE CITY'S

ENGINEERING DESIGN STANDARDS, PUBLIC R.O.W. VISIBILITY REQUIREMENTS. 2. UNLESS OTHERWISE SPECIFIED, TREES SHALL BE PLANTED NO LESS THAN 4' FROM CURBS, SIDEWALKS, UTILITY LINES, SCREENING WALLS AND OTHER STRUCTURES THE CITY HAS FINAL APPROVAL FOR ALL TREE PLACEMENTS.

3. A MINIMUM FIVE FEET (5') RADIUS AROUND A FIRE HYDRANT MUST REMAIN CLEAR

STREET TREES, WHERE REQUIRED, SHALL BE (10') MINIMUM FROM THE EDGE OF A STORM SEWER CURB INLET BOX AND THE EDGE OF THE ROOT BALL SHALL BE (4')

5. THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1-2014) SPECIFICATIONS HALL GOVERN PLANT QUALIFICATIONS, GRADES, AND STANDARDS

6. TREE PLANTING SHALL COMPLY WITH DETAILS HEREIN AND THE INTERNATIONAL 7. A 2-3" LAYER OF MULCH SHALL BE PROVIDED AROUND THE BASE OF THE PLANTED

TREE. THE MULCH SHALL BE PULLED BACK 4" FROM THE TRUNK OF THE TREE. 8. TREE PITS SHALL BE TESTED FOR WATER PERCOLATION. IF WATER DOES NOT

DRAIN OUT OF TREE PIT WITHIN 24-HOURS, THE TREE SHALL BE MOVED OR DRAINAGE SHALL BE PROVIDED. 9. ALL BEDS TO HAVE 3" OF COMPOSTED SOIL, LIVING EARTH TECHNOLOGY, OR

APPROVED EQUAL TILLED AND TURNED TO A DEPTH OF 8" MINIMUM. 10. ALL PLANT BEDS SHALL BE TOP-DRESSED WITH A MINIMUM OF 3 INCHES OF

11. NATIVE SITE TOPSOIL IS TO BE PROTECTED FROM EROSION OR STOCKPILED. NATIVE SITE TOPSOIL SHALL BE LABORATORY TESTED BY AND ACCREDITED LABORATORY AND AMENDED PER SAID LABORATORY'S RECOMMENDATIONS

#### MAINTENANCE STANDARDS:

1. THE OWNER SHALL BE RESPONSIBLE FOR THE ESTABLISHMENT, MAINTENANCE, AND VIGOR OF PLANT MATERIAL IN ACCORDANCE WITH THE DESIGN INTENT AND AS APPROPRIATE FOR THE SEASON OF THE YEAR.

2. LANDSCAPE AND OPEN AREAS SHALL BE FREE OF TRASH, LITTER AND WEEDS. NO PLANT MATERIAL SHALL BE ALLOWED TO ENCROACH ON R.O.W., SIDEWALKS OR EASEMENTS TO THE EXTENT THAT VISION OR ROUTE OF TRAVEL FOR VEHICULAR, PEDESTRIAN, OR BICYCLE TRAFFIC IS IMPEDED.

4. TREE MAINTENANCE SHALL BE IN ACCORDANCE WITH THE STANDARDS OF THE INTERNATIONAL SOCIETY OF ARBORICULTURE.

5. TREE STAKING MATERIALS, IF USED, SHALL BE REMOVED AFTER (1) GROWING SEASON, NO MORE THAN (1) YEAR AFTER INSTALLATION (STEEL TREE STAKES, WIRES, AND HOSES ARE PROHIBITED).

#### TREE PROTECTION NOTES:

1. CONTACT DEVELOPMENT SERVICES FOR A TREE REMOVAL PERMIT PRIOR TO REMOVAL OR TRANSPLANTING OF ANY TREES.

2. ALL TREES WHICH ARE TO REMAIN ON SITE SHALL BE PROTECTED WITH A (4') TALL BRIGHTLY COLORED PLASTIC FENCE, OR SILT FENCE, PLACED AT THE DRIP LINE OF

3. PRIOR TO THE PRE-CONSTRUCTION MEETING OR OBTAINING A GRADING PERMIT, ALL TREE MARKINGS AND PROTECTIVE FENCING SHALL BE INSTALLED BY THE OWNER AND BE INSPECTED BY DEVELOPMENT SERVICES.

4. NO EQUIPMENT SHALL BE CLEANED, OR HARMFUL LIQUIDS DEPOSITED WITHIN THE LIMITS OF THE ROOT ZONE OF TREES WHICH REMAIN ON SITE.

5. NO SIGNS, WIRES, OR OTHER ATTACHMENTS SHALL BE ATTACHED TO ANY TREE TO

6. VEHICULAR AND CONSTRUCTION EQUIPMENT SHALL NOT PARK OR DRIVE WITHIN THE LIMITS OF THE DRIP LINE. 7. GRADE CHANGES IN EXCESS OF 3 INCHES (CUT OR FILL) SHALL NOT BE ALLOWED

WITHIN A ROOT ZONE, UNLESS ADEQUATE TREE PRESERVATION METHODS ARE 8. NO TRENCHING SHALL BE ALLOWED WITHIN THE DRIP-LINE OF A TREE, UNLESS

APPROVED BY THE CITY. 9. ALL REMOVED TREES SHALL BE CHIPPED AND USED FOR MULCH ON SITE OR

10. ALL TREE MAINTENANCE TECHNIQUES SHALL BE IN CONFORMANCE WITH INDUSTRY IDENTIFIED STANDARDS. IMPROPER OR MALICIOUS PRUNING

TECHNIQUES ARE STRICTLY PROHIBITED.

IRRIGATION PLANS SHOWN HEREIN ARE TO PROVIDE A COMPLETE PACKAGE ONLY. IRRIGATION PLANS SHALL BE SUBMITTED BY THE CONTRACTOR TO THE BUILDING DEPARTMENT AND APPLY FOR A SEPARATE PERMIT.

#### OWNER / DEVELOPER:

SHADDOCK HOMES, INC 2400 DALLAS PARKWAY, SUITE 460 MCKINNEY, TEXAS 75093 **CONTACT: LORA ERDMAN** PHONE: 972-526-7645 EMAIL: LORAERDMAN@SHADDOCKHOMES.COM

#### **CIVIL ENGINEER:**

**CORWIN ENGINEERING, INC** 200 W. BELMONT, SUITE E **ALLEN, TEXAS 75013** PH. 972-396-1200 **CONTACT: WARREN CORWIN** EMAIL: WCORWIN@CORWINENGINEERING.COM

#### LANDSCAPE ARCHITECT:

JOHNSON VOLK CONSULTING 704 CENTRAL PARKWAY EAST, SUITE 1200 PLANO, TEXAS 75074 PH. (972) 201-3100 CONTACT: CODY JOHNSON, RLA, ASLA, LI EMAIL: CODY.JOHNSON@JOHNSONVOLK.COM

APPROVED: I hereby certify that the above and foregoing site plan for development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission on the 12 day of December



ASE

BEING 1.600 ACRES OUT OF THE J.A. RAMSEY SURVEY ABSTRACT NO. 186 IN THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

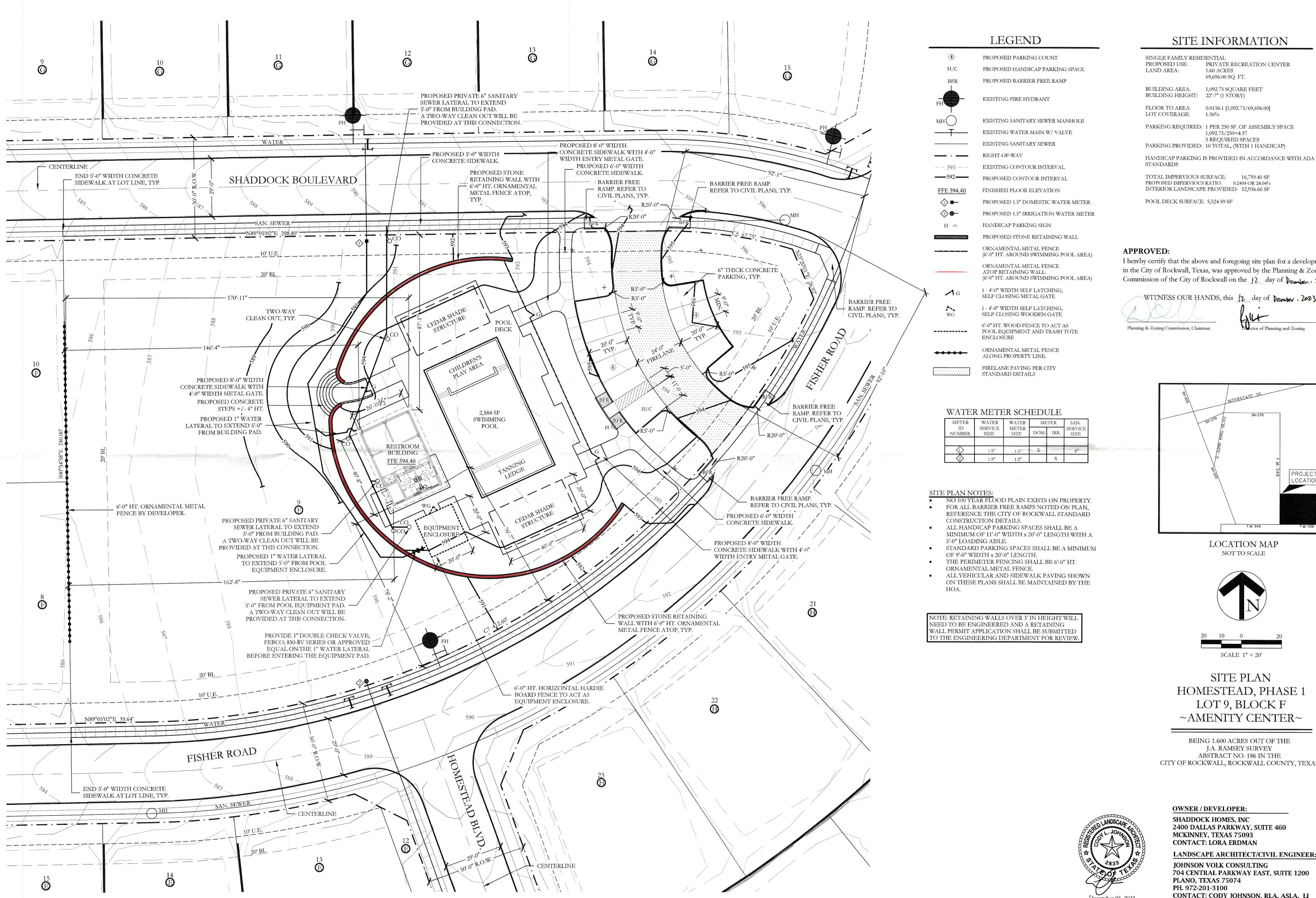
LOT 9 BLOCK F PROPOSED START DATE OF CONSTRUCTION APRIL 2024.

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.

BENCHMARK VIEW LN. AND DIAMOND WAY DR. +1' NORTH OF CURB LINE IN

CENTER OF CURVE. ELEV.=600.48





#### SITE INFORMATION

SINGLE FAMILY RESIDENTIAL PROPOSED USE:

PRIVATE RECREATION CENTER LAND AREA: 1.60 ACRES

69,696.00 SQ. FT. BUILDING AREA: 1,092.73 SQUARE FEET

FLOOR TO AREA: 0.0156:1 [1,092.73/69,696.00] LOT COVERAGE: 1.56%

PARKING REQUIRED: 1 PER 250 SF. OF ASSEMBLY SPACE

1,092.73/250=4.37 5 REQUIRED SPACES

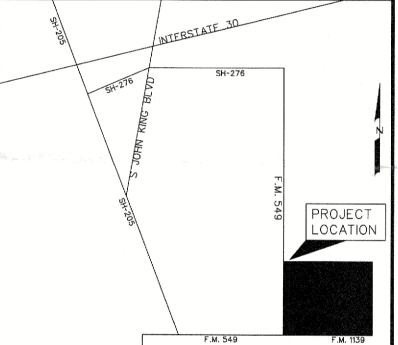
PARKING PROVIDED: 10 TOTAL, (WITH 1 HANDICAP)

PROPOSED IMPERVIOUS RATIO: 0.2404 OR 24.04% INTERIOR LANDSCAPE PROVIDED: 52,936.60 SF

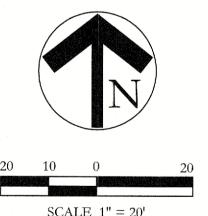
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the 12 day of Decorber, 2023

WITNESS OUR HANDS, this 12 day of Dawser, 2013

Planning & Zoning Commission, Chairman



LOCATION MAP NOT TO SCALE



SITE PLAN HOMESTEAD, PHASE 1 LOT 9, BLOCK F ~AMENITY CENTER~

BEING 1.600 ACRES OUT OF THE J.A. RAMSEY SURVEY ABSTRACT NO. 186 IN THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS



OWNER / DEVELOPER: SHADDOCK HOMES, INC

2400 DALLAS PARKWAY, SUITE 460 MCKINNEY, TEXAS 75093 CONTACT: LORA ERDMAN

LANDSCAPE ARCHITECT/CIVIL ENGINEER: JOHNSON VOLK CONSULTING 704 CENTRAL PARKWAY EAST, SUITE 1200 PLANO, TEXAS 75074 PH. 972-201-3100 CONTACT: CODY JOHNSON, RLA, ASLA, LI

DEWITT 4.1 OZ LANDSCAPE FABRIC CONTINUOUS BENEATH CRUSHED ROCK BASE

– 8'-0" MAX. POST SPACING —— 2"X2" HARDIE BOARD MEMBER IN CENTER OF EACH PANEL ON TOP OF 2" X 8" HARDIE BOARD TOP CAP 1" X 6" HORIZONTAL HARDIE BOARD PICKETS STEP TOP OF FENCE IN 6" INCREMENTS TO MAINTAIN THE CORRECT HORIZONTAL PICKET SPACING. 2"X8" HARDIE BOARD MEMBER SECURED TO POST WITH FENCE BRACKETS. PROVIDE A VERTICAL 1"X6" HARDIE BOARD FENCE MEMBER ON TOP OF HORIZONTAL PICKETS AT EACH POST TO COVER ALL FENCE JOINTS. FINISH GRADE - 2-3/8" DIA. GALV. POST W/CAP - 8" DIA. CONCRETE FOOTING

6'-0" HT. HORIZONTAL HARDIE BOARD FENCE

#### HORIZONTAL HARDIE BOARD FENCE NOTES

- 1. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIMSELF FAMILIAR WITH ALL UNDERGROUND UTILITIES, PIPES, AND STRUCTURES EITHER SHOWN OR NOT SHOWN ON THE PLANS. THE CONTRACTOR WILL BE RESPONSIBLE FOR ANY COST INCURRED DUE TO DAMAGE OR REPLACEMENT OF SAID UTILITIES AND STRUCTURES CAUSED BY HIS FORCES VERIFY LOCATION OF ALL UTILITIES WITH THE TOWN AND VARIOUS UTILITY COMPANIES BEFORE DRILLING PIERS.
- 2. ALL CONCRETE USED IN FOOTINGS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3,000 PSI @ 28
- 3. THE CONTRACTOR IS RESPONSIBLE FOR ALL NECESSARY AND REQUIRED PERMITS AND INSPECTIONS. CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF ROCKWALL CODES AND REQUIREMENTS. 4. HARDIE BOARD MATERIAL FOR FENCE
- 4.1. STRINGERS HARDIE BOARD MATERIAL OR BETTER.
- 4.2. PICKETS HARDIE BOARD MATERIAL OR BETTER.
- 4.3. CAPS HARDIE BOARD MATERIAL OR BETTER.
- 5. ALL FENCE POST TO BE SCHEDULE 40 GALVANIZED. 6. ALL FASTENERS, NAILS, BRACKETS, STEEL POSTS, ETC.. ARE TO BE HOT DIPPED GALVANIZED
- 7. ALL PICKETS ARE TO BE FASTENED TO THE RAILS USING GALVANIZED SCREWS. STAPLES AND/OR NAILS WILL NOT BE ALLOWED. SCREW WITHOUT SPLITTING MEMBERS; DRILL PILOT HOLES IF NECESSARY. ALL
- SPLIT MEMBERS WILL BE REQUIRED TO BE REPLACED AT NO ADDITIONAL COST TO THE OWNER. 8. ACCURATELY CUT, FIT FASTEN MEMBERS, MAKE PLUMB, LEVEL, TRUE, AND RIGID. DO NOT SPLICE INDIVIDUAL FRAMING MEMBERS BETWEEN SUPPORTS. ERECT FACES OF FRAMING MEMBERS IN STRAIGHT EVEN PLANES TO RECEIVE FINISH MATERIALS. INSTALL STRINGERS WITH BOTTOM EDGES FREE OF DEFECTS. MITER ALL EXPOSED FINISHED JOINTS.
- 9. REMOVE ALL MARKS, STAMPS, DIRT, LOOSE FIBERS FROM ALL MATERIAL SURFACES.
- 10. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS. 11. ALL HARDIE BOARD MEMBERS SHALL RECEIVE TWO COATS OF MARINE GRADE PAINT; FINISH AND COLOR

#### SHALL MATCH THE BUILDING FACILITY.

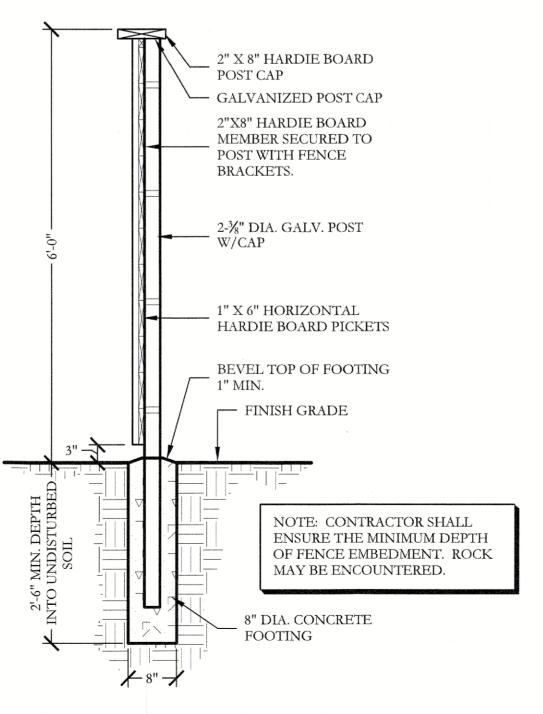
- 1. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIMSELF FAMILIAR WITH ALL UNDERGROUND UTILITIES, PIPES, AND STRUCTURES EITHER SHOWN OR NOT SHOWN ON THE PLANS. THE CONTRACTOR WILL BE RESPONSIBLE FOR ANY COST INCURRED DUE TO DAMAGE OR REPLACEMENT OF SAID UTILITIES AND STRUCTURES CAUSED BY HIS FORCES.
- 2. ALL CONCRETE USED IN FOOTING AND PIERS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI

ORNAMENTAL METAL FENCE NOTES

- THE CONTRACTOR IS RESPONSIBLE FOR ALL REQUIRED PERMITS AND CITY INSPECTIONS.
- 4. ALL ORNAMENTAL METAL TUBES, POSTS, RAILS AND PICKETS SHALL BE FLUSH AND FREE OF ALL DENTS, SPURS, AND SHARP EDGES AND SHALL BE INSTALLED LEVEL, PLUMB, AND SQUARE.
- 5. PROVIDE CONTINUOUS WELDS ALONG ALL EDGES OF FENCE MEMBERS. GRIND SMOOTH ALL WELDS.
- 6. ALL METAL SURFACES SHALL BE PRIMED AND PAINTED WITH TWO COATS OF URBANE BRONZE (SW7048) BY
- SHERWIN WILLIAMS PAINT CO., COLOR TO BE FLAT BLACK. CONTRACTOR TO SUBMIT SAMPLES AS REQUIRED. 7. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL DIMENSIONS BEFORE MANUFACTURING GATES AND
- FENCE.
- 8. ALL ORNAMENTAL METAL FENCE MEMBERS ARE TO BE TUBULAR MEMBERS IN ACCORDANCE WITH ASTM 513 HOT ROLLED STRUCTURAL STEEL 50,000 PSI TENSILE STRENGTH, 60,000 PSI YIELD STRENGTH FENCE MEMBER SIZES TO BE AS FOLLOWS:
- 9.1. PICKETS, 3/4" SQUARE 16 GA.
- 9.2. RAILS, 1-1/2" X 1-1/2" TUBE 16 GA.
- 9.3. POSTS, 2" SQUARE 11 GA.

SCALE: 3/4"=1'-0"

- 10. CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR ALL FENCE GATES AND OPENERS. SHOP DRAWINGS SHALL INCLUDE ALL PRODUCT CUT SHEETS AS WELL AS INSTALLATION AND MANUFACTURING DETAILS. CONTRACTOR TO BE RESPONSIBLE FOR STRUCTURAL DESIGN OF GATES. 11. CONCRETE FOOTING FOR POSTS SHALL BE 3X POST WIDTH.
- 12. GATE IS TO BE SELF CLOSING. FALCON B561DBD626 SATIN CHROME DANE SFIC CLASSROOM LOCK BY A&H TURF OR APPROVED EQUAL. DEADLOCKING LATCH BOLT BY LEVERS. OUTSIDE LEVER IS LOCKED BY KEY IN OUTSIDE LEVER. INSIDE LEVER IS ALWAYS FREE
- 13. POSTS SHALL BE PLACED AT A MINIMUM DISTANCE OF 6'-0" O.C AND A MAXIMUM DISTANCE OF 7'-0" O.C.
- 14. POOL FENCE SHALL MEET LOCAL CODES AND REQUIREMENTS. CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING COMPLIANCE INCLUDING NECESSARY UP-SIZING OF POSTS, PICKETS AND HORIZONTAL BARS AND INCREASING THE HEIGHT OF THE FENCE AS IT APPEARS IN THIS DETAIL AT NO ADDITIONAL COST TO THE OWNER FOR MATERIALS AND/OR LABOR
- 15. LATCH SHALL BE SELF LATCHING, ON POOL SIDE OF ENCLOSURE AT A MIN. 42" ABOVE FINISH PAVING.
- 16. RESTRICTIVE MESH SHALL HAVE NO OPENINGS GREATER THAN 1/2".



6'-0" HT. HARDIE BOARD FENCE

CONCRETE SIDWALK PER CITY STANDARDS. PROVIDE EXPANSION JOINT AT EDGE OF STEPS. 2-#3 BARS TOP AND BOTTOM WITH #3 STIRRUPS SPACED 18" O.C. FOR TOP AND BOTTOM STEPS. #3 BARS EACH WAY SPACED AT TREAD NOSES AND 18" ON CENTER FOR MIDDLE SECTION OF STEPS. 2-#3 BARS TOP AND BOTTOM WITH - #3 STIRRUPS SPACED 18" O.C. FOR NOTE: REFER TO GRADING PLANS AND TOP AND BOTTOM STEPS. FIELD VERIFY FOR LENGTH OF CHEEK WALL AND NUMBER OF STEPS. TYPICAL CONCRETE STAIR DETAIL NOT TO SCALE

NOTE: RETAINING/CHEEK WALL

BEYOND. REFER TO SITE

HEIGHTS AND DETAIL.

PROVIDE  $\frac{1}{2}$ " CHAMFER

ON ALL STEPS

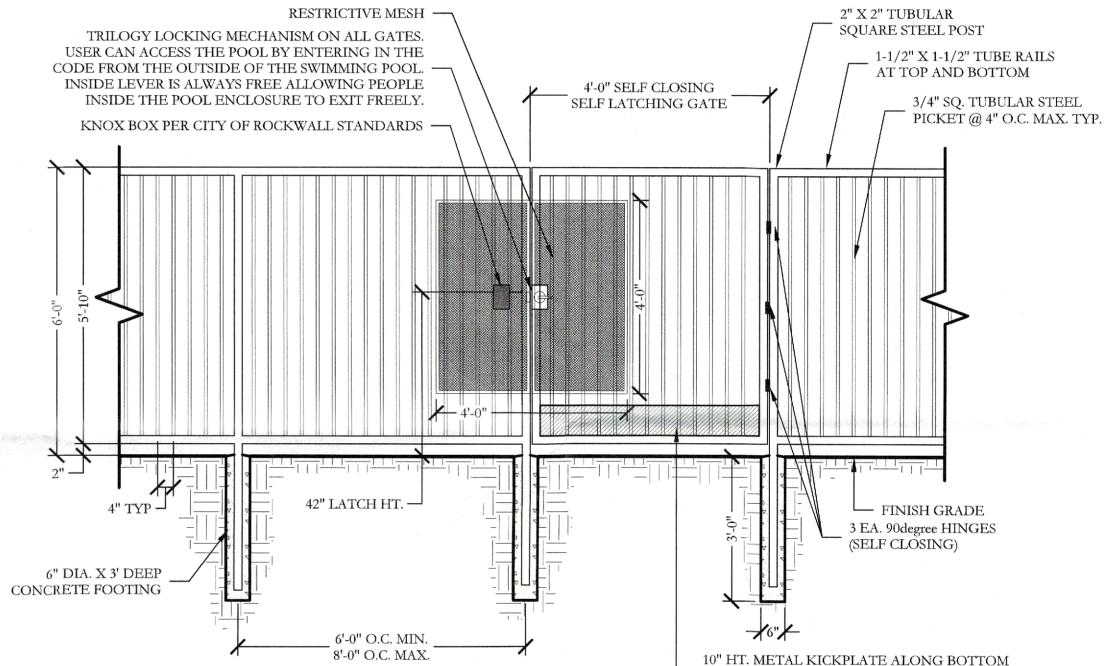
GRADING PLANS FOR WALL

CONCRETE SIDEWALK PER CITY

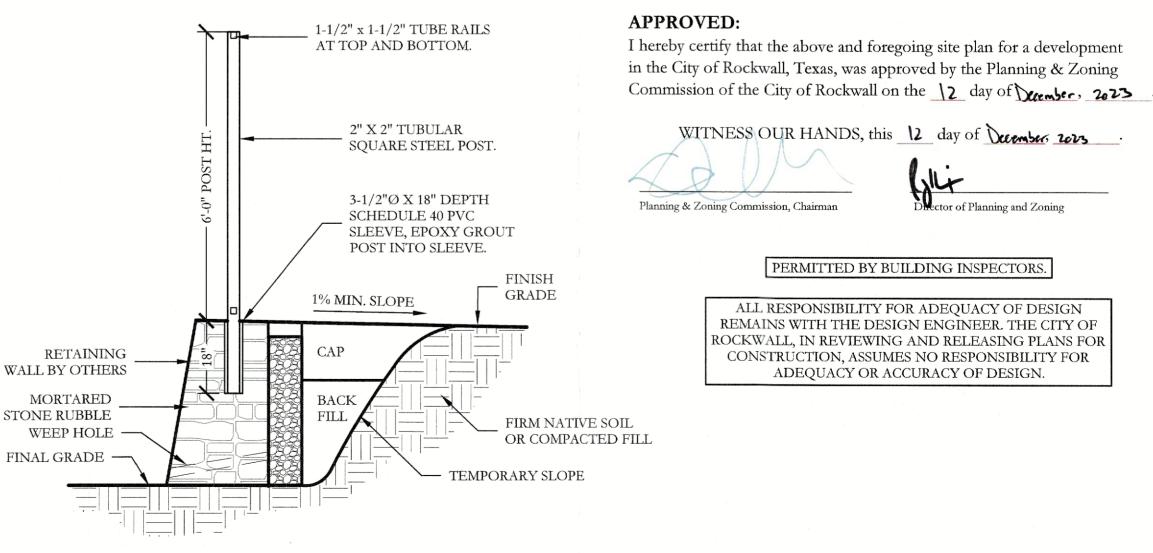
JOINT AT EDGE OF STEPS.

SLOPE TO DRAIN

STANDARDS. PROVIDE EXPANSION



SIDE OF GATE. INSTALL ON PUSH SIDE. 6'-0" HT. ORNAMENTAL METAL FENCE AND GATE SCALE: 1/2"= 1'-0"



6'-0" HT. ORN. METAL FENCE ATOP RET. WALL SCALE: 1/2"=1'-0" DETAIL SITE

> SCALE: REFER TO DETAILS One Inch

JVC No SHA012A

December 05, 2023 SCALE:

REFER TO DETAILS One Inch

JVC No SHA012A

CEDAR SHADE STRUCTURE NOTES THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIMSELF FAMILIAR WITH ALL UNDERGROUND

3. THE CONTRACTOR IS RESPONSIBLE FOR ALL NECESSARY AND REQUIRED PERMITS AND INSPECTIONS. CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY CODES AND

4.1. JOIST-CEDAR, #2 GRADE OR BETTER.

5. ALL FASTENERS, NAILS, BRACKETS, STEEL POSTS, ETC... ARE TO BE HOT DIPPED GALVANIZED.

7. ACCURATELY CUT, FIT FASTEN MEMBERS, MAKE PLUMB, LEVEL, TRUE, AND RIGID. DO NOT SPLICE INDIVIDUAL FRAMING MEMBERS BETWEEN SUPPORTS. ERECT FACES OF FRAMING MEMBERS IN STRAIGHT EVEN PLANES TO RECEIVE FINISH MATERIALS. REMOVE ALL MARKS,

8. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS.

FINISH AND COLOR SHALL MATCH THE BUILDING FACILITY.

UTILITIES, PIPES, AND STRUCTURES EITHER SHOWN OR NOT SHOWN ON THE PLANS. THE CONTRACTOR WILL BE RESPONSIBLE FOR ANY COST INCURRED DUE TO DAMAGE OR REPLACEMENT OF SAID UTILITIES AND STRUCTURES CAUSED BY HIS FORCES VERIFY LOCATION OF ALL UTILITIES WITH THE CITY AND VARIOUS UTILITY COMPANIES BEFORE DRILLING PIERS.

REQUIREMENTS.

4. WOOD MATERIAL FOR FENCE

4.2. BEAM-CEDAR, #2 GRADE OR BETTER.

4.3. POST- CEDAR, #2 GRADE OR, BETTER

6. IF SIMPSON STRONG TIES ARE USED FOR SECURING THE BEAMS TO POSTS, CONTRACTOR SHALL HIDE THE BRACKETS WITH CEDAR TRIM.

STAMPS, DIRT, LOOSE FIBERS FROM ALL WOOD SURFACES.

9. ALL WOOD MEMBERS SHALL RECEIVE TWO COATS OF PREMIUM STAIN OR MARINE GRADE PAINT;

# —— 2"x4" LATHING @ 6" O.C

SCALE: 1/4'' = 1'-0''

TYP.

- 1'-4"

1'-8"

— 2"x8" JOISTS AT 18" O.C. MAX.

6"x12" BEAM ON TOP OF POST.

2"x8" AND 2"x4" CEDAR WRAP

NOTE: CONTRACTOR MAY USE

18" DIA. x 6'-0" OVERALL DEPTH

· CONCRETE PIER IN CENTER OF

POST. REFER TO DETAIL 3/L5.

APPROVED SIMPSON STRONG TIE

CONNECTION TO CONCRETE PIER.

COLUMN BASE FOR 8"X"8" WOOD POST

ON BOTTOM OF POST.

PROVIDE SIMPSON STRONG

- TIE FOR ALL POST/BEAM

WITH WOOD TRIM, TYP.

- 8"x8" CEDAR POST

— POOL DECK

CONNECTIONS AND WRAP

\_\_\_\_ 2"x4" LATHING @ 6" O.C.

—— 12'-3" POST SPACING ——

20'-0" x 40'-0" CEDAR SHADE STRUCTURE

\_\_\_\_ 2"x8" JOISTS AT 18" O.C. MAX

6"x12" BEAM ON TOP OF POST.

PROVIDE SIMPSON STRONG

- TIE FOR ALL POST/BEAM

WITH WOOD TRIM, TYP.

---- 8"x8" CEDAR POST

CONNECTIONS AND WRAP

2"x8" AND 2"x4" CEDAR WRAP

ON BOTTOM OF POST.

POOL DECK

EXTEND CEDAR POST A

MINIMUM OF 5'-0" INTO PIER.

18" DIA. x 6'-0" OVERALL DEPTH

CONCRETE PIER IN CENTER OF

POST. REFER TO DETAIL 3/L5.

- 2"x4" LATHING @ 6" O.C.

8"x8" CEDAR POST.

(4) EACH SIDE

6"x12" BEAM ON TOP

OF POST EACH WAY.

---- 12'-3" POST SPACING ----

— 12'-3" POST SPACING ——

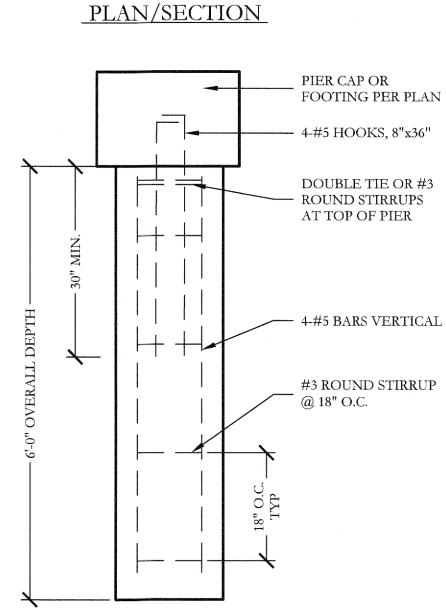
8"x8" CEDAR POST.

6"x12" BEAM ON TOP

OF POST EACH WAY.

(4) EACH SIDE

1'-6" 12"-4-#5 VERTICAL @ 90Deg. SPACING AROUND SPIRAL #3 ROUND STIRRUP @ 18" O.C.



FOOTING PER PLAN

PIER (18" DIA.)

SECTION

SCALE: 3/4'' = 1'-0''

FULL CAP DEPTH (C) FULL GRAVEL DEPTH (D) N/AN/A GENERAL NOTES: 1. NO STRUCTURAL SURCHARGE ANTICIPATED FOR STRUCTURES LOCATED DISTANCE EQUAL TO 1.5H FROM 2. TYPE S MORTAR REQUIRED. CONTROL JOINTS AT 25' MAXIMUM SPACING.
 INSTALL 2" PVC WEEP HOLES FOR ALL WALLS 2'-0" HEIGHT

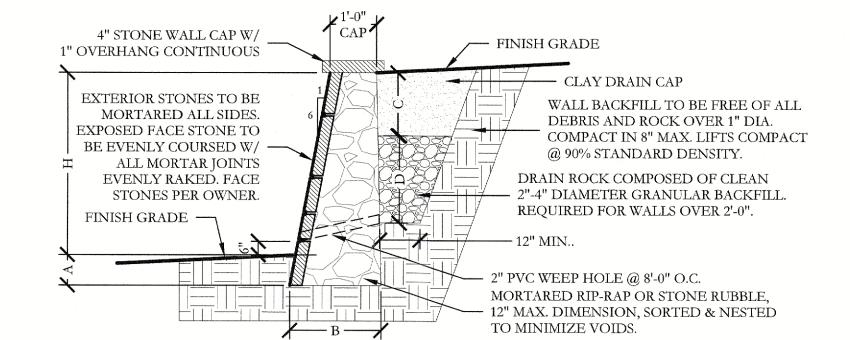
WALL DIMENSION SCHEDULE (BASED ON CLAY (CH) SOIL)

HEIGHT (H)

BASE DEPTH (A)

BASE WIDTH (B)

AND OVER @ 8'-0" O.C. SPACING. 5. MINIMUM 2% AND MAXIMUM 4:1 TOE SLOPE AT FINISH



3' MAX. HEIGHT GRAVITY RETAINING WALL DETAIL SECTION

#### RETAINING WALL NOTES

1. DESIGN BASED ON JOHNSON VOLK CONSULTING GRADING AND DRAINAGE PLAN DATED December 05, 2023 AND SUBSURFACE EXPLORATION, FOUNDATION ANALYSIS AND PAVEMENT RECOMMENDATIONS REPORT (NO. D211141) DATED NOVEMBER 01, 2021 BY TERRADYNE ENGINEERING, INC. AS PROVIDED BY CLIENT.

2. NO STRUCTURAL SURCHARGE ANTICIPATED FOR STRUCTURES LOCATED DISTANCE EQUAL TO

3. ALL CONCRETE USED IN FOOTINGS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000

PSI @ 28 DAYS.

4. ALL MORTAR SHALL BE TYPE S. 5. CONTROL JOINTS AT 25' MAXIMUM SPACING.

6. 4" STONE VENEER TO MATCH BUILDING FACADE PER ARCHITECTURE PLANS.

7. MINIMUM 2% TOP & TOE SLOPE AT FINISH GRADE.

8. CONTRACTOR RESPONSIBLE FOR ALL REQUIRED PERMITS, APPLICABLE FEES, AND CITY INSPECTIONS.

9. LAYOUT OF PROPOSED WALL SHALL BE PERFORMED IN THE FIELD BY THE OWNER'S

REPRESENTATIVE AND THE CONTRACTOR PRIOR TO BEGINNING CONSTRUCTION. 10. WALL SUBGRADE SHOULD BE CLOSELY MONITORED DURING EXCAVATION. UNSUITABLE MATERIALS AT THE FOUNDATION LEVEL SHOULD BE REMOVED AND REPLACED WITH LEAN

CONCRETE (MIN. 2000 PSI @ 28 DAYS) OR COMPACTED FLEX BASE MATERIAL. 11. PERIODIC OBSERVATION BY ENGINEER OR RECORD DURING CONSTRUCTION IS RECOMMENDED IN ORDER TO PROVIDE OVERALL OPINION AS TO CONTRACTOR'S ADHERENCE TO PLANS AND

SPECIFICATIONS. THIS IN NO WAY IS A GUARANTEE OR WARRANTY AS TO CONTRACTOR'S WORK. 12. CONTRACTOR SHALL PROVIDE ENGINEER MINIMUM 72 HOURS NOTICE PRIOR TO BEGINNING CONSTRUCTION TO SCHEDULE REQUIRED INSPECTIONS.

13. DUE TO EXPANSIVE CLAY SOILS IN THIS AREA IT IS RECOMMENDED THAT PROPERTY OWNER(S) MAINTAIN GOOD WATERING PRACTICES TO LIMIT SOIL MOVEMENTS AND EXCESSIVE PRESSURES

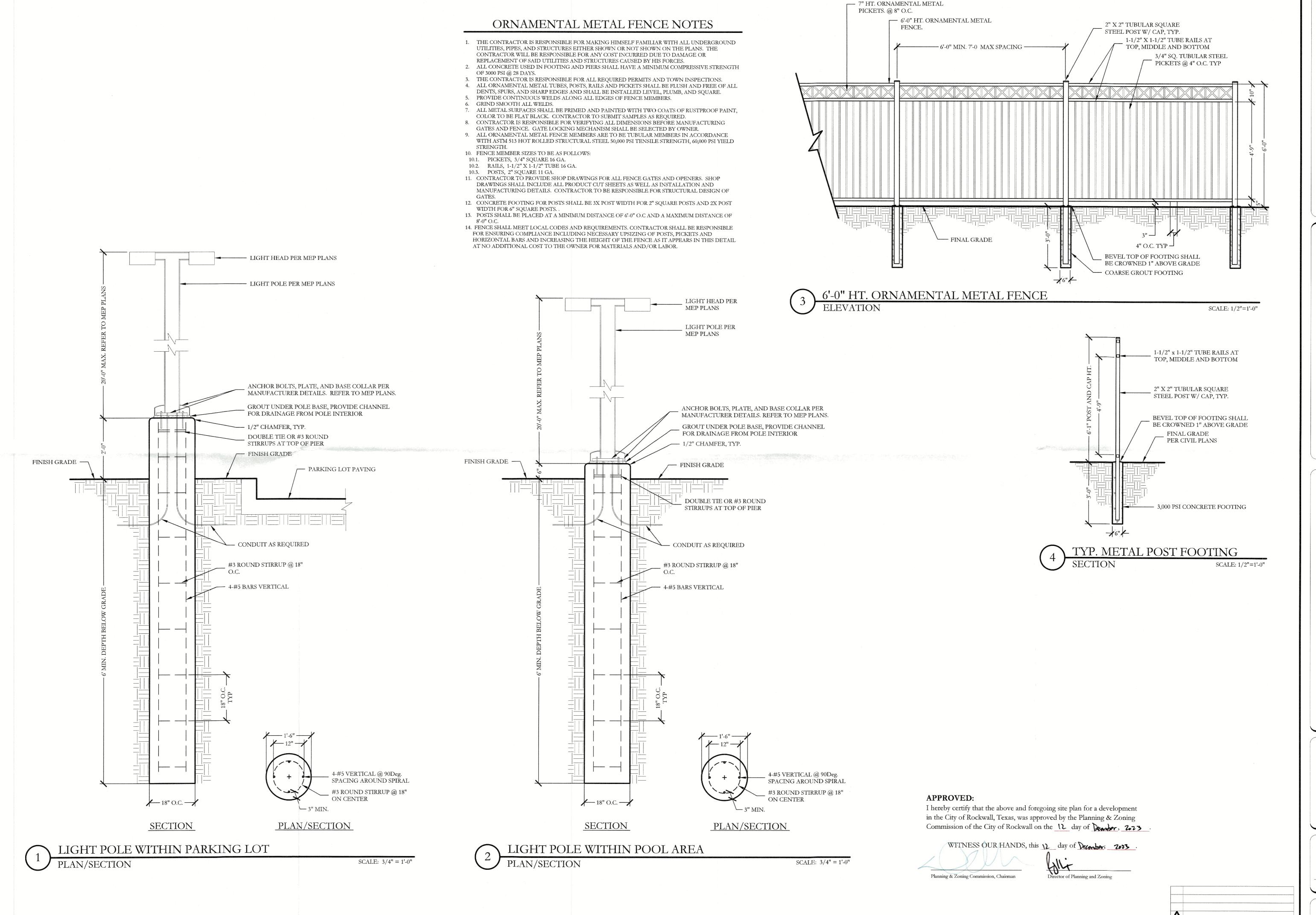
#### APPROVED:

I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the 12 day of Duember, 2023

WITNESS OUR HANDS, this 12 day of December 2013.

Planning & Zoning Commission, Chairman

2 20'-0" x 40'-0" CEDAR SHADE STRUCTURE SECTION



9

SE

CENTER FACILIT

**THESE DOCUMENTS** ARE FOR INTERIM REVIEW ONLY AND NOT INTENDED FOR CONSTRUCTION OR BIDDING

PURPOSES. December 05, 2023

SCALE: REFER TO DETAILS One Inch

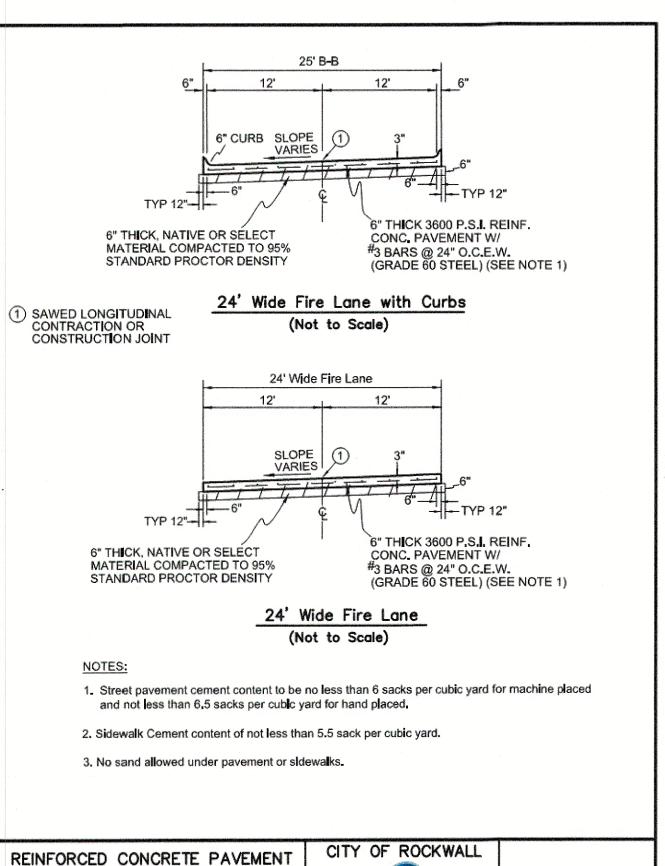
JVC No SHA012A

December 05, 2023 SCALE:

REFER TO DETAILS

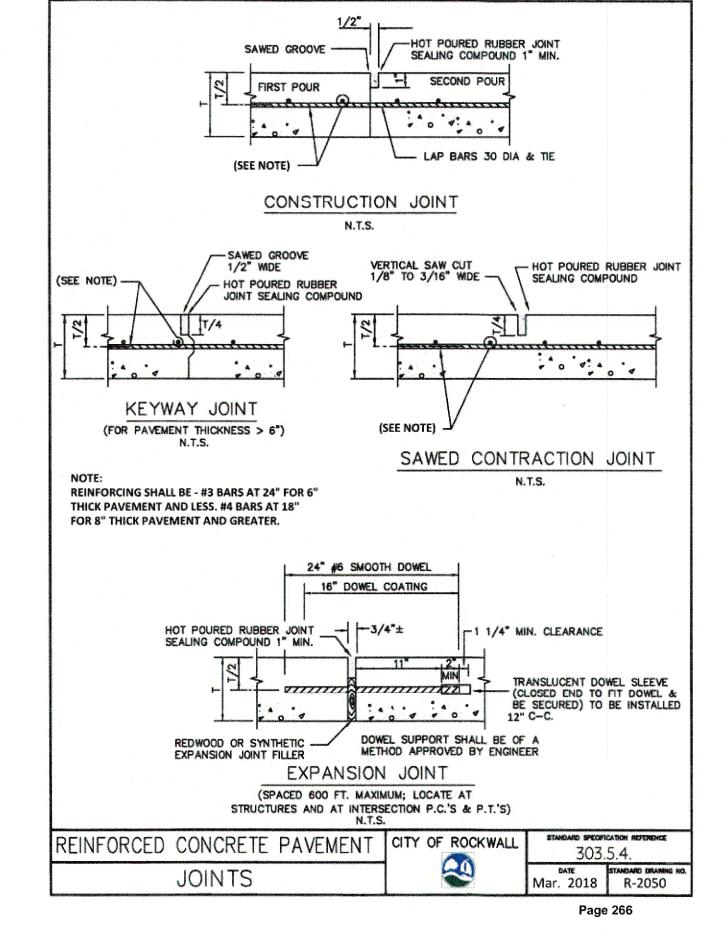
One Inch

JVC No SHA012A



FIRE LANE

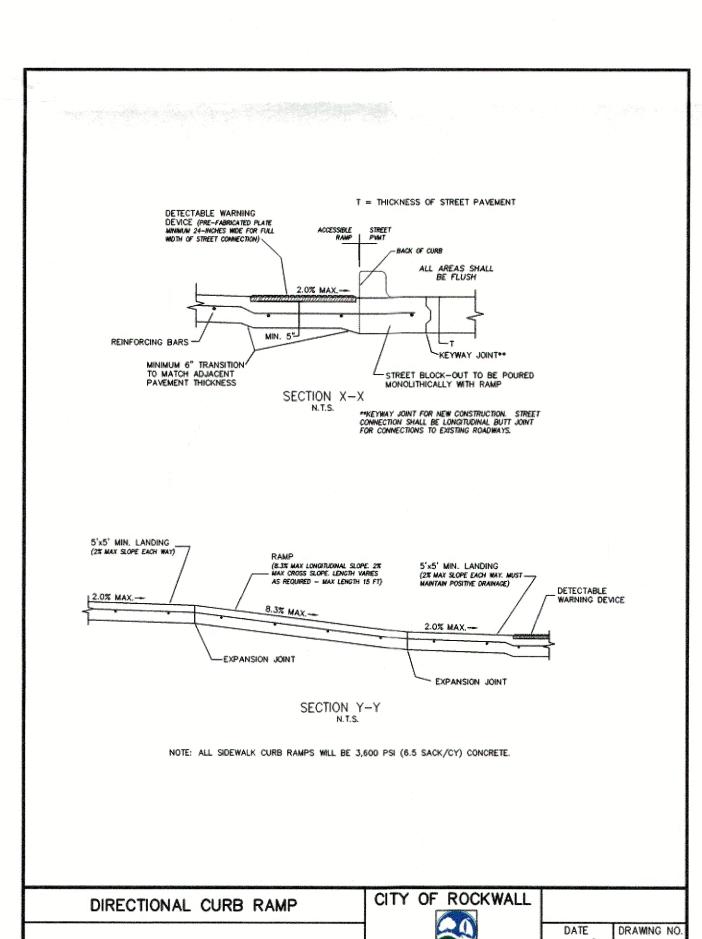




- than 5% and less than 8.3%. The ramp shall also have a cross slope of no more than 2.0%. Length of ramp can vary, but shall not exceed 15 feet to achieve desired elevation change.
- shall be at the top of every ramp. This landing (turning) space shall have a cross slope in both directions that does not exceed 2.0%. Landing must match width of sidewalk and length shall be the same distance ("Squared" Landing).
- the bottom grade break is greater than 5 feet, the DWD shall be placed behind the back of the
- measured from back of curb. Block out shall be poured monolithically with Curb Ramp. Concrete shall tie to street paving with a keyway joint per NCTCOG detail 2050. No curb shall be constructed where a DWD is provided. The curb on either side shall have a typical 5 foot taper to transition from the standard 6-inch curb height to be flush with ramp.
- All work associated with accessible routes shall be installed flush with all features to minimize vertical surface discontinuities. Each segment along accessible route shall be flush with no more (zero tolerance) than a 1/4-inch grade separation (elevation difference), or 1/2-inch grade separation if beveled (bevel slope shall not be steeper than 50%).
- A sidewalk header shall be constructed at ends of all work performed.
- Street crossings shall adhere to same guidelines as other accessible routes within public right-of-way, and shall be for the full width of the in-line accessible route. Cross slope shall not exceed 2%\*. New street construction shall incorporate all ADA design requirements. It shall be the responsibility of the Design Professional and Contractor to ensure all street crossings meet the requirements of PROWAG. Street alterations on existing streets to bring to compliance shall be at the City Engineer's discretion.
- All curbs constructed as part of an ADA Ramp shall match City curb standards.

* See PROWAG special design considerations	when street crossing has no st	op or yield condition.
DIRECTIONAL CURB RAMP	CITY OF ROCKWALL	
	<b>E</b>	DATE DRAWING NO. MAR. '17 R-2125B

Page 270



MAR. '17 R-2125C

STANDARDS OF DESIGN AND CONSTRUCTION

DEFORMED DOWEL SPACED ON ONE (1

FOOT CENTER TO CENTER.

6" OFF TIE BARS

24" LUBRICATED SMOOTH

NO. 6 DEFORMED DOWEL BAR

1. LONGITUDINAL BUTT CONSTRUCTION MAY BE UTILIZED IN PLACE

OF LONGITUDINAL HINGED (KEYWAY) JOINT AT CONTRACTORS OPTION.

3. DRILLING BY HAND IS NOT ACCEPTABLE, PUSHING DOWEL BARS INTO

LONGITUDINAL BUTT JOINT

NOT TO SCALE

2. DEFORMED DOWEL BARS SHALL BE DRILLED INTO PAVEMENT HORIZONTALLY

CITY OF ROCKWALL

R - 205

EXISTING

HOT POURED RUBBER

PAVING

1' - 3" MIN.

NOTES: T = PAVEMENT

REINFORCED CONCRETE PAVEMENT

LONGITUDINAL BUTT JOINT

CITY OF ROCKWALL

BY USE OF A MECHANICAL RIG.

GREEN CONCRETE NOT ACCEPTABLE.

1/4" T

JOINT SEALING COMPOUND,

TOP 1/4"

NO SEALING

COMPOUND

APPROVED:

I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the 12 day of Duember 223

12. Detectable warning surfaces must be slip resistant and not allow water to accumulate. 13. Detectable warning surfaces shall be a minimum of 24" in depth in the direction of pedestrian travel, and extend the full width of the curb ramp or landing where the pedestrian access route enters the street. 14. Detectable warning surfaces shall be located so that the edge nearest the curb line is at the back of curb. When placed on the ramp, align the rows of domes to be perpendicular to the grade break between the ramp run and the street. Where detectable warning surfaces are provided on a surface with a slope that is less than 5 percent, dome orientation is less critical. Detectable warning surfaces may be curved along the corner radius. 15. Provide clear ground space at operable parts, including pedestrian push buttons. Operable parts shall be placed within one or more reach ranges specified in TAS 308. 16 Place traffic signal or illumination poles, ground boxes, controller boxes, signs, drainage facilities and other items so as not to obstruct the pedestrian access route or clear ground 17. Street grades and cross slopes shall be as shown elsewhere in the plans. 18. Changes in level greater than 1/4 inch are not permitted (1/2 inch with bevel). pedestrian routes. CITY OF ROCKWALL DIRECTIONAL CURB RAMP

EXPANSION JOINT FILLER -

CLEAN & DOWELS COATED WITH

EPOXY RESIN

REINF. CONC. PVMT. -

RAILROAD HEADER IS TO HAVE A TWO (2) INCH NOTCH INTO THE CONCRETE PAVEMENT FOR THE INSTALLATION OF A HMAC OVERLAY. THE

CONCRETE UNDER THE HMAC IS TO BE THE FULL

THE END OF THE PAVEMETN AND GO TWENTY (20)

REINFORCED CONCRETE PAVEMENT

PEDESTRIAN ACCESSIBILITY (WITHIN PUBLIC R.O.W.)

Handrails are not required on curb ramps.

and must follow all applicable guidelines.

STREET HEADERS

longitudinal directions..

DETECTABLE WARNING DEVICE

FEET UP THE ROAD AWAY FROM THE CROSSING.

FUTURE

EXISTING PAVEMENT

BARS EQUAL SIZE OF BARS -

SPECIFIED IN PAVEMENT REINFORCEMENT

PAVEMENT .

PAVEMENT

1. PAVEMENT BARS TO BE BENT

SPECIFIED IN PAVEMENT

SPECIFIED IN PAVEMENT

-SYMETRICAL

ABOUT

305.4

Mar. 2018

STANDARD DRAWING N

R-2070

CENTER LINE

REINFORCEMENT

- NO FORM

ALL WORK BETWEEN HEADERS TO

BE DONE BY OTHERS UNLESS OTHERWISE SPECIFIED.

ROUNDED TO 1/4" RAD.

CITY OF ROCKWALL

All newly constructed sidewalks, curb ramps and crosswalks installed within City of Rockwall public

1. All slopes shown are MAXIMUM ALLOWABLE. Lesser slopes that will still drain properly should

2. Landings shall be 5'x 5' minimum with a maximum 2% slope in the transverse and

3. Clear space at the bottom of curb ramps shall be a minimum of 5'x 5' wholly contained

5. Additional information on curb ramp location, design, light reflective value and texture may be found in the most current edition of the Texas Accessibility Standards (TAS) and 16 TAC

6. Crosswalk dimensions, crosswalk markings and stop bar locations shall be as shown elsewhere

9. Accessible routes are considered "ramps" when longitudinal slopes are between 5% and 8.3%

10. Curb ramps must contain a detectable warning surface that consists of raised truncated domes complying with Section 705 of the TAS. The surface must contrast visually with

11. Detectable Warning Materials shall be truncated dome plates in the color approved by the

(maximum allowable). Sidewalks under 5% longitudinal slope are deemed accessible routes

adjoining surfaces. Furnish and install an approved cast-in-place dark red detectable

warning surface material adjacent to uncolored concrete, unless specified elsewhere in the

accessible routes shall align with theoretical crosswalks unless otherwise directed.

in the plans. At intersections where crosswalk markings are not required, curb ramps and

rights-of-way shall be considered a pedestrian access route and shall conform to the most

urrent Guidelines for Public Rights-of-Way created by the United States Access Board.

be used. Adjust curb ramp length or grade of approach sidewalks as directed.

within the crosswalk and wholly outside the parallel vehicular travel path.

Maximum allowable cross slope on sidewalk and curb ramp surfaces is 2%.

8. Provide a flush transition where the curb ramps connect to the street.

City. Install products in accordance with manufacturer's specifications.

68.102. Federal guidelines shall supersede any conflicts.

2. HEADER AND PAVEMENT TO BE MONOLITHIC.

DOWN INTO HEADER.

PAVEMENT -

- PAVEMENT BAR

NEW PAVEMENT

AT SAME SPACING AS

PAVEMENT REINFORCEMENT

STREET HEADER FOR FUTURE PAVEMENT

STREET HEADER AT EXISTING PAVEMENT

STREET THICKNESS. THE NOTCH SHOULD START AT STREET HEADER AT RAILROAD

WITNESS OUR HANDS, this 12 day of Durnles 2023

AUG. '19 R-2041

EJ - Expansion Joint (See 2170MA for more details) CJ - Construction Joint sasasas - Required limits of construction with street installation PROWAG = Public Rights-of-Way Accessibility Guidelines The following is a typical detail for a directional curb ramp on a standard residential street and does not fit all scenarios in the City of Rockwall. It shall be the responsibility of the design consultant and contractor to ensure that all ramps constructed meet current ADA (D 5'x5' LANDING\_ R.O.W. OR EASEMENT CLIP (DIMENSIONS VARY REF. STD.) 8.3X MAX E GRADE BREAKS MINIMUM 0.50% SLOPE TOWARDS STREET TO MAINTAIN POSITIVE DRAINAGE. (G) VERTICAL SURFACE DISCONTINUITIES F BLOCK OUT STREET GRADES NOT TO EXCEED 2.030 ACROSS ACCESSIBLE MOUTES NOTES: All newly constructed sidewalks, curb ramps and crosswalks installed within City of Rockwall public rights-of-way shall be considered a pedestrian access route and shall conform to the most current "Draft" Guidelines for Public Rights-of-Way created by the United States Access Board. 1. SEE DETAIL R-2125B FOR RAMP FEATURE DESCRIPTIONS SEE DETAIL R-2125C FOR SECTIONS X-X AND Y-Y SEE DETAIL R-2125D FOR ADDITIONAL NOTES CITY OF ROCKWALL DIRECTIONAL CURB RAMP DRAWING NO MAR. '17 R-2125A

Detectable Warning Devices (DWD) shall be pre-manufactured cast-in-place truncated dome plates installed to the manufacturer's specifications, and shall meet all ADA requirements. No Brick Pavers allowed. Color to be approved by the City. DWD shall be 24 inches in length for the full width of the street connection starting at the back of curb. A maximum 2-inch border shall be allowed on the sides of the DWD for proper installation. Also known as "Clear Space" per ADA PROWAG, the City requires a minimum landing space of

5-foot by 5-foot at the bottom of every ramp. This landing space shall have a cross slope in both directions that does not exceed 2.0% and shall be wholly outside the parallel vehicular travel

The ramp component of the directional curb ramp shall have a continuous longitudinal slope more

Also known as "Turning Space" per ADA PROWAG, a minimum landing space of 5-foot by 5-foot

All curb ramps shall have grade breaks at the top and bottom that are perpendicular to the direction of the ramp run. Where the ends of the bottom grade break are less than or equal to 5 feet, the DWD shall be placed within the ramp at the bottom grade break. Where either end of

Paving contractor shall leave block out with a keyway joint installed, minimum of 18 inches

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

19. The least possible grade should be used to maximize accessibility. The running slope of sidewalks and crosswalks within the public right of way may follow the grade of the parallel roadway. Where a continuous grade greater than 5% must be provided, handrails may be desirable to improve accessibility. Handrails may also be needed to protect pedestrians from potentially hazardous conditions. If provided, handrails shall comply with TAS 505. 20. Handrail extensions shall not protrude into the usable landing area or into intersecting

MAR. '17 R-2125D

Page 272

ONLY AND NOT INTENDED FOR CONSTRUCTION

PURPOSES.

½" DOWELED EXPANSION JOINT EVERY 40' MAX W AND J TO BE EQUAL SIDEWALK PANELS SHALL BE Y GROOVED %" DEEP AND SPACED PER TABLE NOTES:
1. CROSS SLOPE OF SIDEWALK SHALL BE
NO GREATER THAN 2%
2. SIDEWALK CONCRETE WITHIN CITY R.O.W. /-LIGHT BRUSH FINISH AS SPECIFIED ----SHALL BE MINIMUM 3,000 PSI (5.5 SACK/C.Y.) CONCRETE. 3. ALL SIDEWALKS SHALL MAINTAIN POSITIVE 4. ALL HONEYCOMB IN BACK OD CURB TO BE TROWEL-PLASTERED BEFORE POURING SIDEWALK. ∠#3 BARS ON 24" 5. MINIMUM WIDTH OF 6' IF SIDEWALK CENTERS BOTH WAYS 1 1/2" ADJACENT TO CURB A LUGGED INTO THE CURB. 6. STEEL WIRE MESH IS NOT ACCEPTABLE. %" SEALED NON-EXTRUDED
PRE-FORMED EXPANSION MATERIAL
WITH SEALING COMPOUND

24" #4 SMOOTH ROUND
DOWEL 18" O.C.
%"R-#3 BARS ON 24" CENTERS BOTH WAYS TRANSLUCENT PVC
FYPANSION CAP

REINFORCING STEEL
MAT FREE OF DOWEL
BAR REINFORCING STEEL MAT-THIS HALF OF DOWEL TO BE COATED WITH GREASE MATCH ROUNDED EDGE RADIUS ON CURB USE EDGER-BOTH SIDES DOWEL #3 BAR @ 24" CENTERS

8" INTO PAVEMENT, TO BE PLACE 1 THICKNESS OF PAVEMENT LIME STABILIZED SUBGRADE JOINT LUG DETAIL FOR MEDIAN PAVEMENT LEAD WALK CONNECTIONS OR SIDEWALK ADJACENT TO CURB N.T.S. CITY OF ROCKWALL REINFORCED CONCRETE SIDEWALKS DATE DRAWING NO.
AUG '19 R-2170 JOINTS AND SPACING

Page 277

APPROVED:

I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the 12 day of December, 2023.

WITNESS OUR HANDS, this 12 day of Duenber 2023.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

HOMESTEAD
PHASE I - AMENITY CENTER
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

JOHNSON VOLK
CONSULTING
TBPELS: Engineering Firm No. 11962 / Land Surveying Firway East | Suite 1200 | Plano, TX 75074 | 972.201.310

CITY OF ROCKWALL CONSTRUCTION DETAILS

THESE
DOCUMENTS
ARE FOR
INTERIM REVIEW
ONLY AND NOT
INTENDED FOR
CONSTRUCTION
OR BIDDING

PURPOSES.

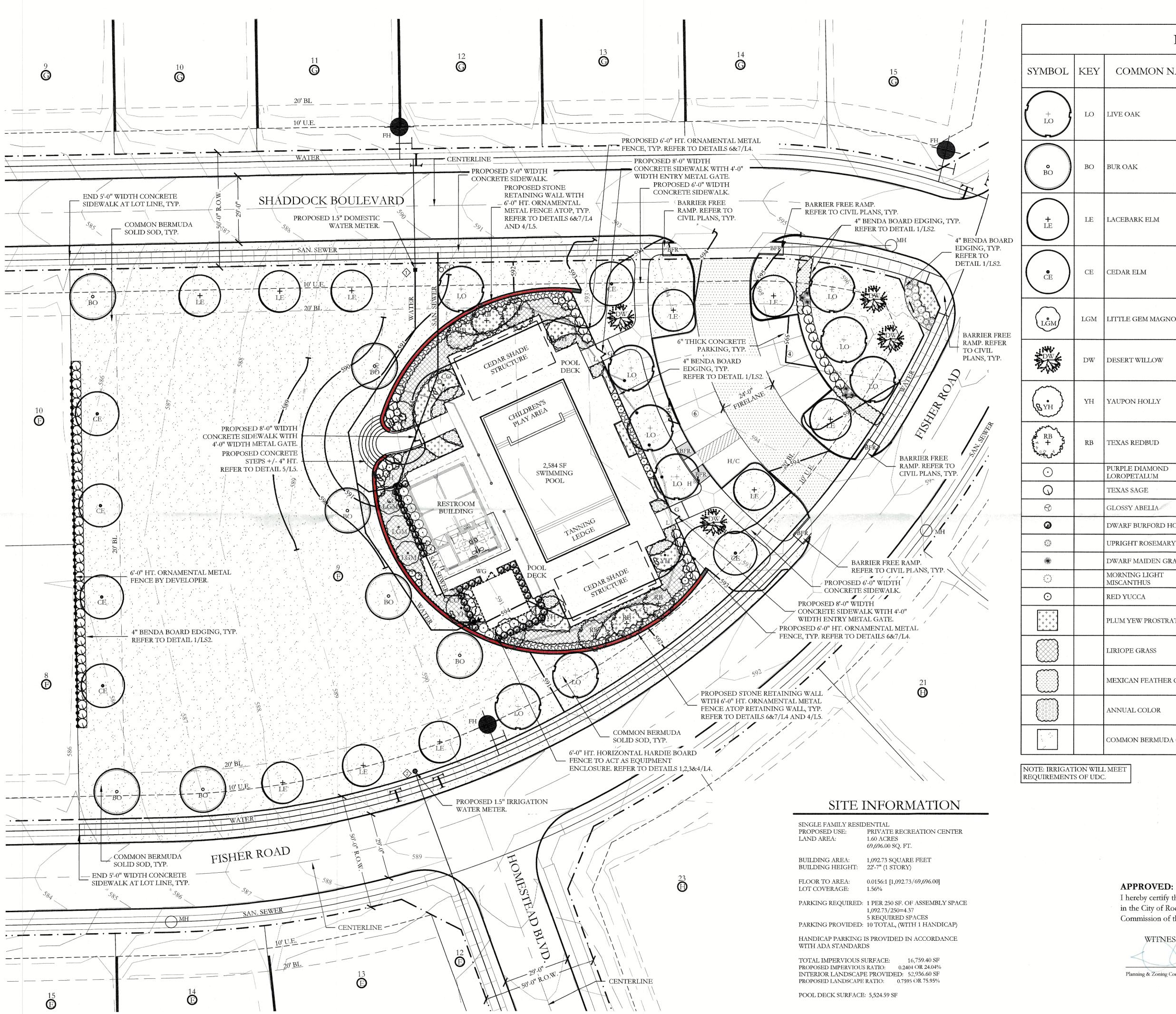
December 05, 2023

ALE: REFER TO DETAILS

One Inch

JVC No SHA012A

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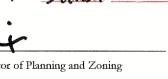
			NT LEGEND				
	SYMBOL	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING	
	LO LO	LO	LIVE OAK	QUERCUS VIRGINIANA	4" CALIPER	AS SHOWN	
	© BO	ВО	BUR OAK	QUERCUS MACROCARPA	4" CALIPER	AS SHOWN	
RD	t <sub>E</sub>	LE	LACEBARK ELM	ULMUS PARVIFOLIA	4" CALIPER	AS SHOWN	
	© CE	CE	CEDAR ELM	ULMUS CRASSIFOLIA	4" CALIPER	AS SHOWN	
ΞE	LĠM	LGM	LITTLE GEM MAGNOLIA	MAGNOLIA GRANDIFLORA 'LITTLE GEM'	2" CALIPER	AS SHOWN	
₹	DW	DW	DESERT WILLOW	CHILOPSIS LINEARIS	2" CALIPER	AS SHOWN	
	(BYH)	ΥH	YAUPON HOLLY	ILEX VOMITORIA	2" CALIPER	AS SHOWN	
	4 RB + 22	RB	TEXAS REDBUD	CERCIS CANADENSIS VAR. TEXENSIS	2" CALIPER	AS SHOWN	
	0	-	PURPLE DIAMOND LOROPETALUM	LOROPETALUM CHINENSIS ' PURPLE DIAMOND'	7 GALLON	48" O.C.	
	0		TEXAS SAGE	LEUCOPHYLLUM FRUTESCENS	7 GALLON	48" O.C.	
- 10 March	8		GLOSSY ABELIA	LINNAEA X GRANDIFLORA	7 GALLON	36" O.C.	
	Ø		DWARF BURFORD HOLLY	ILEX CORNUTA' DWARF BURFORD'	7 GALLON	36" O.C.	
	3000 2000		UPRIGHT ROSEMARY	ROSMARINUS OFFICINALIS 'UPRIGHT'	3 GALLON	36" O.C.	
	*		DWARF MAIDEN GRASS	MISCANTHUS SINENSIS ADAGIO'	3 GALLON	36" O.C.	
	£		MORNING LIGHT MISCANTHUS	MISCANTHUS SINENSIS 'MORNING LIGHT'	3 GALLON	36" O.C.	
	0		RED YUCCA	HESPERALOE PARVIFLORA	3 GALLON	36" O.C.	
	+ + + + + + + + + + + + + + + + + + + +		PLUM YEW PROSTRATA	CEPHALOTAXUS HARRINGTONIA 'PROSTRATA'	3 GALLON	48" O.C.	
			LIRIOPE GRASS	LIRIOPE MUSCARI	1 GALLON	18" O.C.	
			MEXICAN FEATHER GRASS	NASSELLA TENUISSIMA	1 GALLON	18" O.C.	
			ANNUAL COLOR	TO BE SELECTED BY OWNER	4" POT	8" O.C.	
			COMMON BERMUDA GRASS	CYNODON DACTYLON	SQUARE FEET	SOLID SOD	

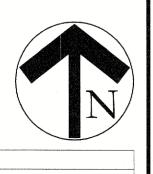
ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.

I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the 12 day of Darmer, 2023

WITNESS OUR HANDS, this V day of December 2023







One Inch JVC No SHA012A

NOSNHO

LS1 of <u>2</u>

SCALE: REFER TO DETAILS One Inch

JVC No SHA012A

LS2 of 2

PLANT LIST ESTIMATED COMMON NAME SCIENTIFIC NAME SPACING REMARKS SIZE QUANTITY URSERY GROWN; FULL HEAD; MINIMUM BRANCHING LO LIVE OAK QUERCUS VIRGINIANA 4" CALIPER AS SHOWN HEIGHT AT 6'-0"; MINIMUM 10'-0" OVERALL HEIGHT. BO BUR OAK QUERCUS MACROCARPA AS SHOWN 4" CALIPER

NURSERY GROWN; FULL HEAD; MINIMUM BRANCHING HEIGHT AT 6'-0": MINIMUM 10'-0" OVERALL HEIGHT. NURSERY GROWN; FULL HEAD; MINIMUM BRANCHING ACEBARK ELM ULMUS PARVIFOLIA AS SHOWN 4" CALIPER HEIGHT AT 6'-0"; MINIMUM 10'-0" OVERALL HEIGHT. NURSERY GROWN; FULL HEAD; MINIMUM BRANCHING ULMUS CRASSIFOLIA AS SHOWN EDAR ELM 4" CALIPER HEIGHT AT 6'-0"; MINIMUM 10'-0" OVERALL HEIGHT. MAGNOLIA GRANDIFLORA LGM LITTLE GEM MAGNOLIA 2" CALIPER AS SHOWN 'LITTLE GEM' OVERALL HEIGHT DESERT WILLOW CHILOPSIS LINEARIS 2" CALIPER AS SHOWN OVERALL HEIGHT

NURSERY GROWN; FULL HEAD; MINIMUM 8'-0" NURSERY GROWN; FULL HEAD; MINIMUM 8'-0" JURSERY GROWN; FULL HEAD; MINIMUM 8'-0" AUPON HOLLY ILEX VOMITORIA 2" CALIPER AS SHOWN OVERALL HEIGHT URSERY GROWN; FULL HEAD; MINIMUM 8'-0" CERCIS CANADENSIS VAR. TEXAS REDBUD 2" CALIPER AS SHOWN **TEXENSIS** OVERALL HEIGHT

PURPLE DIAMOND LOROPETALUM CHINENSIS' CONTAINER GROWN; FULL PLANT. 21 7 GALLON 48" O.C. OROPETALUM PURPLE DIAMOND'

74 TEXAS SAGE LEUCOPHYLLUM FRUTESCENS 7 GALLON 48" O.C. CONTAINER GROWN; FULL PLANT. GLOSSY ABELIA LINNAEA X GRANDIFLORA 7 GALLON 36" O.C. CONTAINER GROWN; FULL PLANT. ILEX CORNUTA' DWARF 42 DWARF BURFORD HOLLY 7 GALLON 36" O.C. CONTAINER GROWN; FULL PLANT.

BURFORD' ROSMARINUS OFFICINALIS PRIGHT ROSEMARY 3 GALLON 36" O.C. CONTAINER GROWN; FULL PLANT. 'UPRIGHT' DWARF MAIDEN GRASS MISCANTHUS SINENSIS ADAGIO 3 GALLON 36" O.C. CONTAINER GROWN; FULL PLANT.

MORNING LIGHT MISCANTHUS SINENSIS 10 36" O.C. CONTAINER GROWN; FULL PLANT. 3 GALLON MISCANTHUS 'MORNING LIGHT' 21 RED YUCCA HESPERALOE PARVIFLORA 3 GALLON 36" O.C. CONTAINER GROWN; FULL PLANT. CEPHALOTAXUS 70 PLUM YEW PROSTRATA 48" O.C. CONTAINER GROWN; FULL PLANT. 3 GALLON HARRINGTONIA 'PROSTRATA'

825 LIRIOPE GRASS LIRIOPE MUSCARI 1 GALLON 18" O.C. CONTAINER GROWN; FULL PLANT. CONTAINER GROWN; FULL PLANT. 85 MEXICAN FEATHER GRASS NASSELLA TENUISSIMA 18" O.C. 1 GALLON

825 ANNUAL COLOR TO BE SELECTED BY OWNER 4" POT 8" O.C. CONTAINER GROWN; FULL PLANT. SQUARE 50,135 OMMON BERMUDA GRASS YNODON DACTYLON SOLID SOD MINIMUM 100% COVERAGE ALL AREAS SHOWN

**FEET** REMOVE BURLAP FROM TOP HALF OF ROOT BALI

- MULCH LAYER AS SPECIFIED — 4" EARTHEN WATERING RING MINIMUM 2"x2"x36" WOOD STAKE. POSITION TO SECURELY STABILIZE TREE. PROVIDE (3) TOTAL ON EACH

PLANTING MIX AS SPECIFIED

— UNDISTURBED NATIVE SOIL

- 2X ROOT BALL TYPICAL TREE PLANTING

ROOT

BALL

NOT TO SCALE

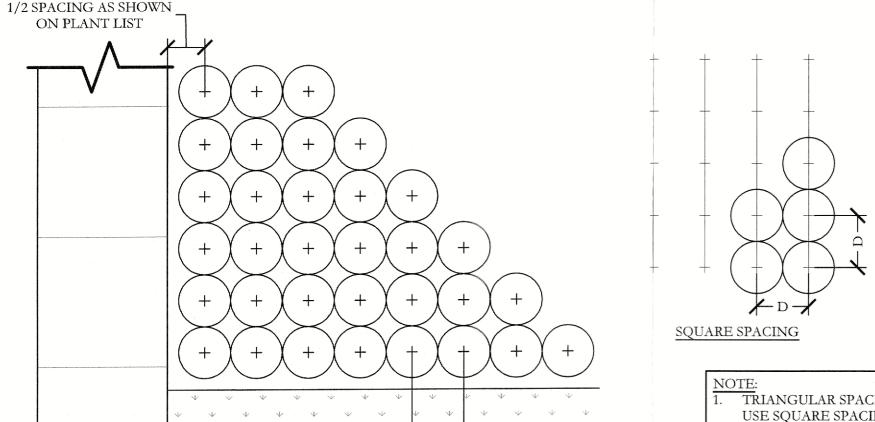
LE

CE

DW

YH

RB



SPACING AS SHOWN

TAPER PLANTING BED DOWN TO TOP OF

IS HIGHER THAN MULCH TO CONTAIN.

MULCH LAYER AS SPECIFIED

4" BENDA BOARD EDGING AS SPECIFIED

PLANTING SIDE OF EDGE

TYPICAL BED EDGING DETAIL

DECK SCREWS FOR ATTACHMENT, LOCATE ON

MAX. 1" DOWN —

DO NOT CUT CENTRAL LEADER

BLACK, 1/2" WIDE

TRUNK FLARE SHALL

NYLON TAPE

REMAIN VISIBLE

FINISH GRADE -

TOP OF ROOTBALL AT THE SURFACE

GRADE

EDGING. CONTRACTOR TO CONFIRM EDGING

PLASTIC EDGING STAKES @ 3'-0" O.C. MAX. WITH PLATED

PLANTING MIX

AS SPECIFIED

NOT TO SCALE

TRIANGULAR SPACING

TRIANGULAR SPACING IS PREFERRED. USE SQUARE SPACING ONLY IN SMALL RECTILINEAR AREAS. "D" EQUALS THE SPACING DISTANCE AS SPECIFIED ON THE PLANT LEGEND.



REMOVE CONTAINER AND PRUNE ANY CIRCLING ROOT

— CONCRETE SIDEWALK

1/2 ROOTBALL DIAMETER -

SPACING AS SHOWN ON PLANT LIST

> PLANTING MIX AS SPECIFIED UNDISTURBED

TOP OF MULCH SHALL BE 1/2" BELOW SIDEWALK

NATIVE SOIL

### TYPICAL SHRUB AND GROUNDCOVER PLANTING

#### GENERAL LANDSCAPE NOTES

**INSPECTIONS:** 

1. NO EXCAVATION SHALL OCCUR IN CITY R.O.W. WITHOUT A R.O.W. PERMIT--CONTACT THE PUBLIC WORKS DEPARTMENT.

2. THE CONTRACTOR SHALL MARK ALL WATER LINES, SEWER LINES, AND TREE LOCATIONS PRIOR TO CALLING FOR ROW INSPECTION AND PERMIT.

3. THE LANDSCAPE INSTALLATION SHALL COMPLY WITH APPROVED LANDSCAPE DRAWINGS PRIOR TO FINAL ACCEPTANCE BY THE CITY AND ISSUANCE OF A CERTIFICATE OF OCCUPANCY.

4. WATER METERS, CLEANOUTS AND OTHER APPURTENANCES, SHALL BE ACCESSIBLE, ADJUSTED TO GRADE, CLEARLY MARKED WITH FLAGGING AND COMPLIANT WITH PUBLIC WORKS DEPARTMENT STANDARDS PRIOR TO CALLING FOR FINAL LANDSCAPE AND ROW INSPECTIONS.

LANDSCAPE STANDARDS:

1. PLANTINGS AND LANDSCAPE ELEMENTS SHALL COMPLY WITH THE CITY'S ENGINEERING DESIGN

STANDARDS, PUBLIC R.O.W. VISIBILITY REQUIREMENTS.

2. UNLESS OTHERWISE SPECIFIED, TREES SHALL BE PLANTED NO LESS THAN 4' FROM CURBS, SIDEWALKS, UTILITY LINES, SCREENING WALLS AND OTHER STRUCTURES. THE CITY HAS FINAL APPROVAL FOR ALL TREE PLACEMENTS.

3. A MINIMUM THREE FEET (3') RADIUS AROUND A FIRE HYDRANT MUST REMAIN CLEAR OF LANDSCAPE PURSUANT TO THE FIRE CODE.

4. STREET TREES, WHERE REQUIRED, SHALL BE (10') MINIMUM FROM THE EDGE OF A STORM SEWER CURB INLET BOX AND THE EDGE OF THE ROOT BALL SHALL BE (4') MINIMUM FROM THE WATER METER.

THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1-2004) SPECIFICATIONS SHALL GOVERN PLANT QUALIFICATIONS, GRADES, AND STANDARDS.

6. TREE PLANTING SHALL COMPLY WITH DETAILS HEREIN AND THE INTERNATIONAL SOCIETY OF ARBORICULTURE (ISA) STANDARDS.

7. A 2-3" LAYER OF MULCH SHALL BE PROVIDED AROUND THE BASE OF THE PLANTED TREE. THE MULCH SHALL BE PULLED BACK 4" FROM THE TRUNK OF THE TREE.

TREE PITS SHALL BE TESTED FOR WATER PERCOLATION. IF WATER DOES NOT DRAIN OUT OF TREE PIT WITHIN 24-HOURS, THE TREE SHALL BE MOVED OR DRAINAGE SHALL BE PROVIDED.

ALL BEDS TO HAVE 3" OF COMPOSTED SOIL, LIVING EARTH TECHNOLOGY, OR APPROVED EQUAL

TILLED AND TURNED TO A DEPTH OF 8" MINIMUM. 10. ALL PLANT BEDS SHALL BE TOP-DRESSED WITH A MINIMUM OF 3 INCHES OF HARDWOOD MULCH.

11. NATIVE SITE TOPSOIL IS TO BE PROTECTED FROM EROSION OR STOCKPILED. NATIVE SITE TOPSOIL SHALL BE LABORATORY TESTED BY AND ACCREDITED LABORATORY AND AMENDED PER SAID LABORATORY'S RECOMMENDATIONS.

**IRRIGATION STANDARDS:** 

ANY CHANGES TO THESE APPROVED IRRIGATION DRAWINGS SHALL BE AUTHORIZED BY THE CITY. CONTACT DEVELOPMENT SERVICES FOR AN IRRIGATION PERMIT PRIOR TO INSTALLING THE

IRRIGATION SYSTEM. IRRIGATION OVER-SPRAY ON STREETS AND WALKS IS PROHIBITED

MAINLINES, VALVES, OR CONTROL WIRES SHALL NOT BE LOCATED IN THE CITY'S ROW. 5. ET IRRIGATION CONTROLLERS SHALL BE PROGRAMMED AND ADJUSTED TO NOT EXCEED THE

LANDSCAPE WATER ALLOWANCE (LWA) PRIOR TO APPROVAL OF LANDSCAPE INSTALLATION. 6. VALVES SHALL BE LOCATED A MINIMUM OF (3') AWAY FROM STORM SEWERS, AND SANITARY SEWER LINES AND 5 FEET FROM CITY FIRE HYDRANTS AND WATER VALVES.

7. THE BORE DEPTH UNDER STREETS, DRIVE AISLES, AND FIRE LANES SHALL PROVIDE (2') OF CLEARANCE IRRIGATION HEADS THAT RUN PARALLEL AND NEAR PUBLIC WATER AND SANITARY SEWER LINES;

SHALL BE FED FROM STUBBED LATERALS OR BULL-BEADS. A MINIMUM FIVE FOOT (5') SEPARATION IS REQUIRED BETWEEN IRRIGATION MAIN LINES AND LATERALS THAT RUN PARALLEL TO PUBLIC WATER AND SANITARY SEWER LINES.

9. NO VALVES, BACKFLOW PREVENTION ASSEMBLIES, QUICK COUPLERS ETC. SHALL BE LOCATED CLOSER THAN 10' FROM THE CURB AT STREET OR DRIVE INTERSECTION.

THE OWNER SHALL BE RESPONSIBLE FOR THE ESTABLISHMENT, MAINTENANCE, AND VIGOR OF PLANT MATERIAL IN ACCORDANCE WITH THE DESIGN INTENT AND AS APPROPRIATE FOR THE SEASON OF

2. LANDSCAPE AND OPEN AREAS SHALL BE FREE OF TRASH, LITTER AND WEEDS.

3. NO PLANT MATERIAL SHALL BE ALLOWED TO ENCROACH ON R.O.W., SIDEWALKS OR EASEMENTS TO THE EXTENT THAT VISION OR ROUTE OF TRAVEL FOR VEHICULAR, PEDESTRIAN, OR BICYCLE TRAFFIC

4. TREE MAINTENANCE SHALL BE IN ACCORDANCE WITH THE STANDARDS OF THE INTERNATIONAL

SOCIETY OF ARBORICULTURE

5. TREE STAKING MATERIALS, IF USED, SHALL BE REMOVED AFTER (1) GROWING SEASON, NO MORE THAN (1) YEAR AFTER INSTALLATION (STEEL TREE STAKES, WIRES, AND HOSES ARE PROHIBITED).

TREE PROTECTION NOTES:

1. CONTACT DEVELOPMENT SERVICES FOR A TREE REMOVAL PERMIT PRIOR TO REMOVAL OR TRANSPLANTING OF ANY TREES.

2. ALL TREES WHICH ARE TO REMAIN ON SITE SHALL BE PROTECTED WITH A (4') TALL BRIGHTLY

COLORED PLASTIC FENCE, OR SILT FENCE, PLACED AT THE DRIP LINE OF THE TREES. 3. PRIOR TO THE PRE-CONSTRUCTION MEETING OR OBTAINING A GRADING PERMIT, ALL TREE

MARKINGS AND PROTECTIVE FENCING SHALL BE INSTALLED BY THE OWNER AND BE INSPECTED BY 4. NO EQUIPMENT SHALL BE CLEANED, OR HARMFUL LIQUIDS DEPOSITED WITHIN THE LIMITS OF THE

ROOT ZONE OF TREES WHICH REMAIN ON SITE. 5. NO SIGNS, WIRES, OR OTHER ATTACHMENTS SHALL BE ATTACHED TO ANY TREE TO REMAIN ON SITE.

6. VEHICULAR AND CONSTRUCTION EQUIPMENT SHALL NOT PARK OR DRIVE WITHIN THE LIMITS OF THE 7. GRADE CHANGES IN EXCESS OF 3 INCHES (CUT OR FILL) SHALL NOT BE ALLOWED WITHIN A ROOT

ZONE, UNLESS ADEQUATE TREE PRESERVATION METHODS ARE APPROVED BY THE CITY. 8. NO TRENCHING SHALL BE ALLOWED WITHIN THE DRIP-LINE OF A TREE, UNLESS APPROVED BY THE

9. ALL REMOVED TREES SHALL BE CHIPPED AND USED FOR MULCH ON SITE OR HAULED OFF-SITE. 10. ALL TREE MAINTENANCE TECHNIQUES SHALL BE IN CONFORMANCE WITH INDUSTRY IDENTIFIED STANDARDS. IMPROPER OR MALICIOUS PRUNING TECHNIQUES ARE STRICTLY PROHIBITED.

> ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR

> > ADEQUACY OR ACCURACY OF DESIGN.

APPROVED:

I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the 12 day of Deember, 2023

Planning & Zoning Commission, Chairman

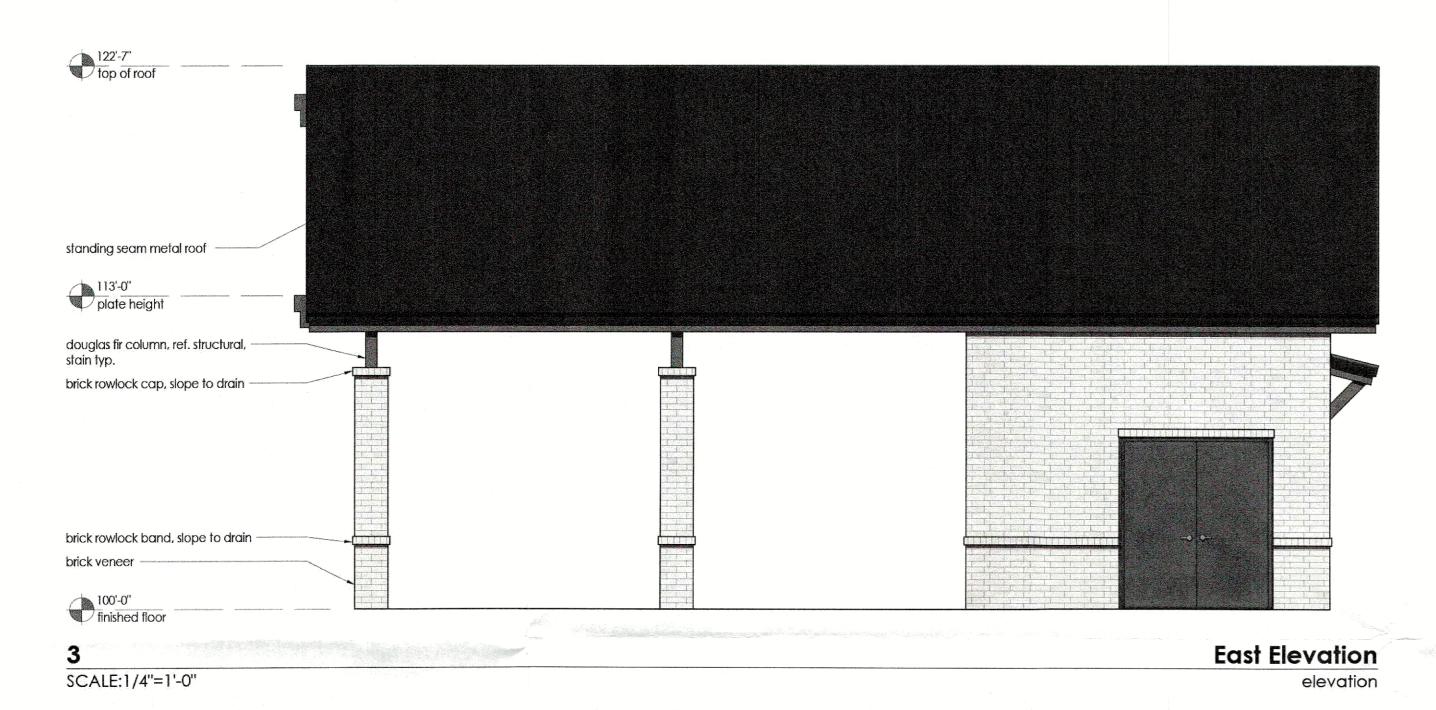


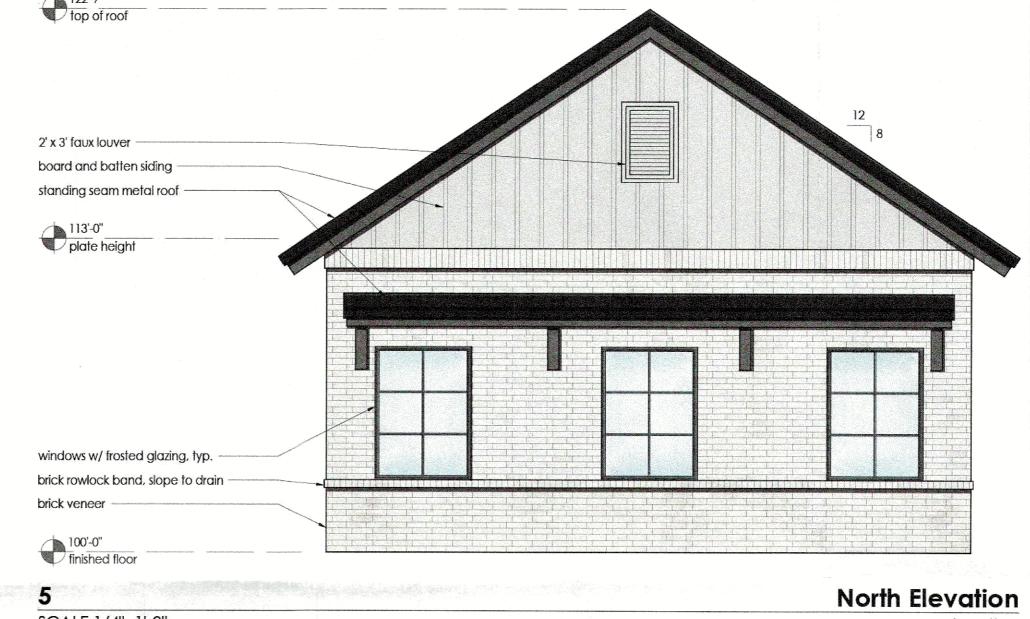
PLAN/SECTION

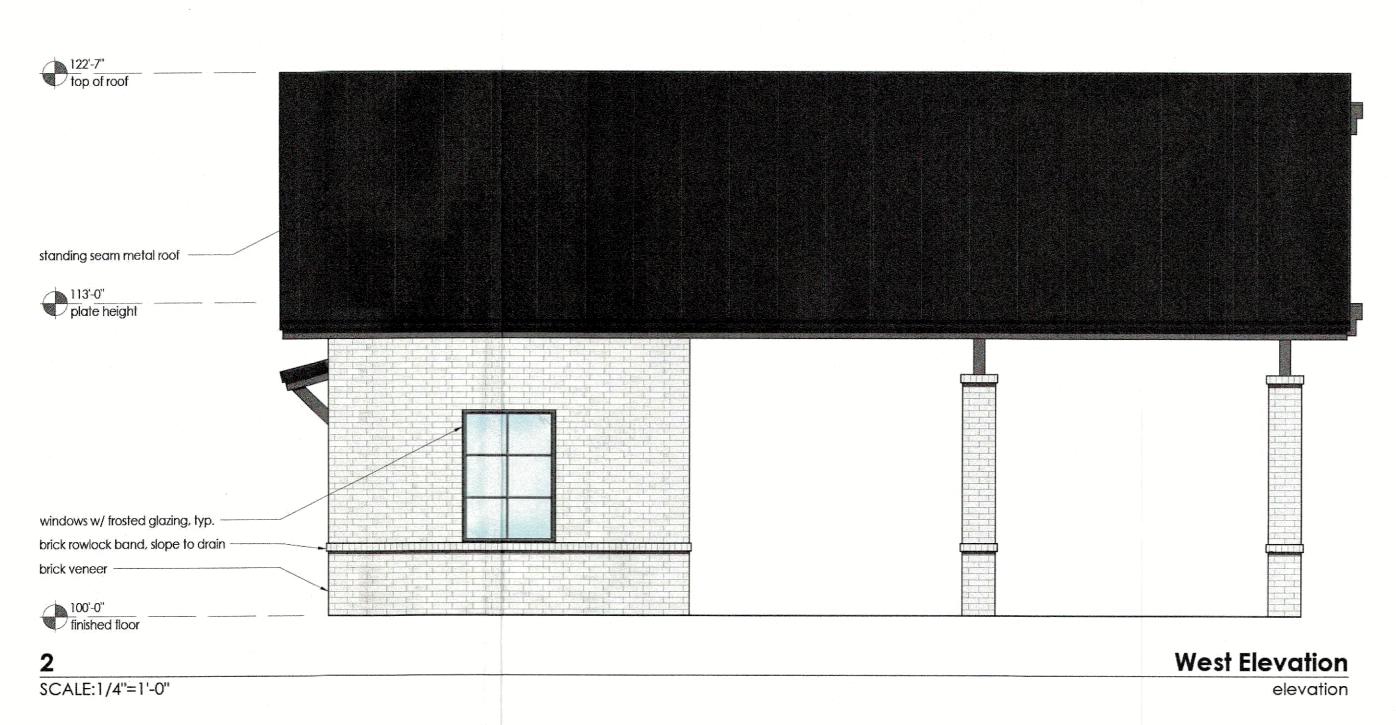
CONCRETE SIDEWALK

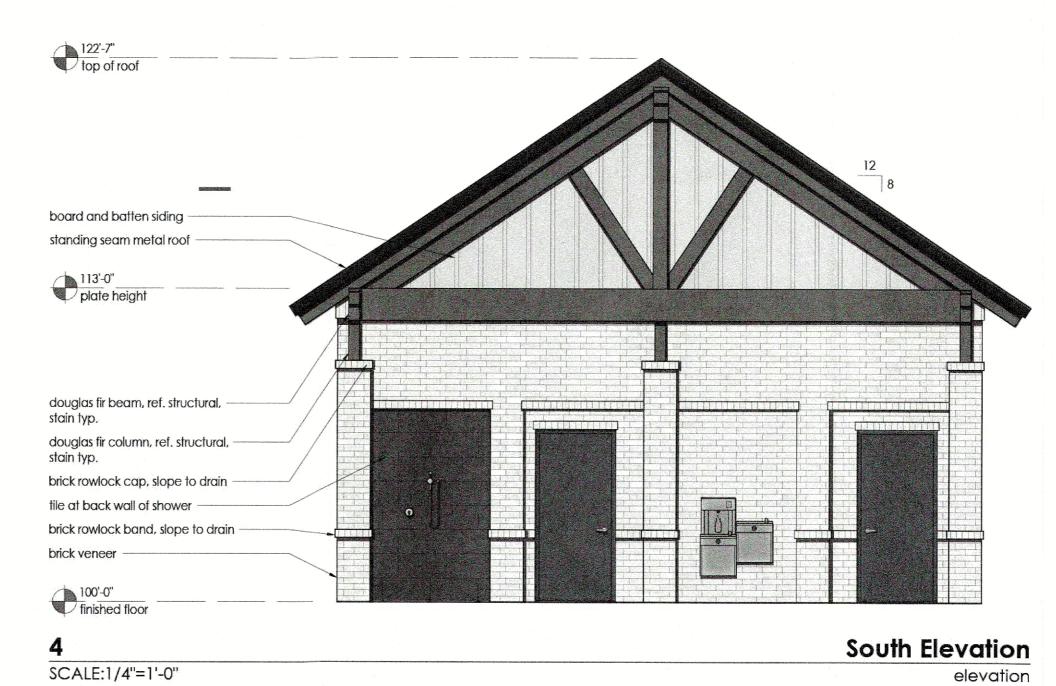
NOT TO SCALE

BUILDING MATERIAL CALCULATIONS								
Material	North	Percent	South	Percent	East	Percent	West	Percent
TOTAL SQ FT. (EXCLUDING DOORS/WINDOWS/TRIM/ROOF AREA)	341 S.F.	-	400 S.F.	_	141 S.F.	-	164 S.F.	_
PRIMARY MATERIAL TOTALS	338 S.F.	99.12%	288 S.F.	72.00%	139 S.F.	98.58%	162 S.F.	98.78%
BRICK VENEER	229 S.F.	67.16%	226 S.F.	56.50%	139 S.F.	98.58%	162 S.F.	98.78%
BOARD AND BATTEN FIBER CEMENT SIDING	109 S.F.	31.96%	62 S.F.	15.50%	-	-	-	-
SECONDARY MATERIALS	3 S.F.	0.88%	112 S.F.	28.00%	2 S.F.	1.42%	2 S.F.	1.22%
DOUGLAS FIR BEAMS/COLUMNS	3 S.F.	0.88%	72 S.F.	18.00%	2 S.F.	1.42%	2 S.F.	1.22%
TILE AT SHOWER	-	-	40 S.F.	10.00%	-	-	-	-
DOORS/WINDOWS/TRIM (COLOR TO MATCH ADJACENT MATERIALS)	72 S.F.	-	48 S.F.	_	45 S.F.		22 S.F.	-
STANDING SEAM METAL ROOF	-	_	-	_	<u>-</u>	-	-	-









FACADE PLAN
HOMESTEAD, PHASE 1
LOT 9, BLOCK F
~AMENITY CENTER~

BEING 1.600 ACRES OUT OF THE
J.A. RAMSEY SURVEY
ABSTRACT NO. 186 IN THE
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

#### APPROVED:

I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the \(\bigvarD\) day of \(\bigvarD\) cember \(\bigvarD\).

WITNESS OUR HANDS, this 12 day of Jamber 2023.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

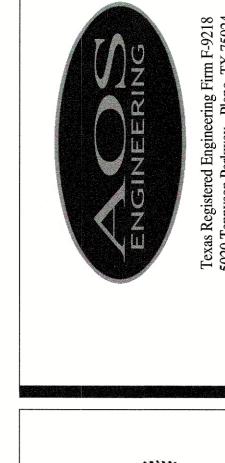
OWNER / DEVELOPER:
SHADDOCK HOMES, INC.

SHADDOCK HOMES, INC 2400 DALLAS PARKWAY, SUITE 460 MCKINNEY, TEXAS 75093 CONTACT: LORA ERDMAN

LANDSCAPE ARCHITECT/CIVIL ENGINEER:

JOHNSON VOLK CONSULTING 704 CENTRAL PARKWAY EAST, SUITE 1200 PLANO, TEXAS 75074 PH. 972-201-3100 CONTACT: CODY JOHNSON, RLA, ASLA, LI

CONTRACTOR SHALL COORDINATE MEP DRAWINGS WITH ALL OTHER DISCIPLINES





# HOMESTEAD MENITY CENTER

Issue:		11/10/2023
Revisio	ns:	
	The state of the s	
24/10/20		

Drawing Title:

PHOTOMETRIC -SITE PLAN

Sheet E1.00

SITE PLAN - PHOTOMETRICS

SCALE 1 = 20'-0'

Symbol	Qty	Label	Arrangement	Description	Tag	LLF	Luminaire Lumens	Luminaire Watts	Total Watts	Mounting Height
⊕	4	C1	Single	DMF_DCC_DC4-(X)-D20WF-00000- 40WH-(X)-R		0.900	2297	28	112	13
Ð	1	S1	SINGLE	EALS03_K4AH740WITH ELS- EAL-FS4-BLCK- LEFT	PAIRED WITH S2	0.900	24800	239	239	20
Ð	1	S2	SINGLE	EALS03_K4AH740WITH ELS- EAL-FS4-BLCK- LEFT	PAIRED WITH S1	0.900	24800	239	239	20
Ð	1	\$3	SINGLE	EALS03_K4AH740WITH ELS- EAL-FS4-BLCK- RIGHT	PAIRED WITH S4	0.900	24800	239	239	20
	1	S4	SINGLE	EALS03_K4AH740WITH ELS- EAL-FS4-BLCK- RIGHT	PAIRED WITH S3	0.900	24800	239	239	20
Ð	1	S5	SINGLE	EALS03 K4AH740	PAIRED WITH S6	0.900	29000	239	239	20
Ð	1	S6	SINGLE	EALS03 K4AH740	PAIRED WITH S5	0.900	29000	239	239	20
Ð	1	S7	SINGLE	EALS03_D4AF740ELS-EAL-		0.900	8900	70	70	20

#### APPROVED:

I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the 12 day of 12

WITNESS OUR HANDS, this 12 day of December, 2013.

Planning & Zoning Commission, Chairman

