

GENERAL CONSTRUCTION NOTES

- ALL CONSTRUCTION, TESTING, AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CITY'S CURRENT STANDARDS, DETAILS, AND SPECIFICATIONS AND NCTCOG 5TH EDITION.
- PRIOR TO ANY CONSTRUCTION ACTIVITIES, THE CONTRACTOR SHALL BE FAMILIAR WITH THE PLANS INCLUDING ALL NOTES, STANDARD SPECIFICATIONS, DETAILS, AND CITY STANDARDS.
- TESTING AND INSPECTION OF MATERIALS SHALL BE PERFORMED BY A COMMERCIAL TESTING LABORATORY APPROVED BY THE CLIENT AND CITY. CONTRACTOR SHALL FURNISH MATERIALS OR SPECIMENS FOR TESTING, AND SHALL FURNISH SUITABLE EVIDENCE THAT THE MATERIALS PROPOSED TO BE INCORPORATED INTO THE WORK ARE IN ACCORDANCE WITH THE SPECIFICATIONS.
- CONTRACTOR SHALL NOTIFY THE CITY AT LEAST 48 HOURS PRIOR TO BEGINNING ANY CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS PRIOR TO BEGINNING ANY CONSTRUCTION.
- CONTRACTOR MUST KEEP AVAILABLE ON-SITE AT ALL TIMES APPROVED CONSTRUCTION PLANS AND COPIES OF ANY REQUIRED PERMITS ALONG WITH THE CURRENT VERSIONS OF THE FOLLOWING REFERENCES: CITY OF ROCKWALL ENGINEERING STANDARDS, NCTCOG SPECIFICATIONS, TXDOT SPECIFICATIONS, TXDOT STANDARD DRAWINGS.
- ALL SHOP DRAWINGS, WORKING DRAWINGS OR OTHER DOCUMENTS WHICH REQUIRE REVIEW BY THE CITY SHALL BE SUBMITTED BY THE CONTRACTOR SUFFICIENTLY IN ADVANCE OF SCHEDULED CONSTRUCTION TO ALLOW NO LESS THAN 14 CALENDAR DAYS FOR REVIEW AND RESPONSE BY THE CITY.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL REQUIRED CONSTRUCTION SURVEYING AND STAKING AND SHALL NOTIFY THE CLIENT AND CITY OF ANY DISCREPANCIES PRIOR TO PROCEEDING WITH ANY WORK.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL SURVEY MARKERS INCLUDING IRON RODS, PROPERTY CORNERS, OR SURVEY MONUMENTS WITHIN THE LIMITS OF CONSTRUCTION AND OUTSIDE ROW DURING CONSTRUCTION. ANY SURVEY MARKERS DISTURBED DURING CONSTRUCTION SHALL BE REPLACED BY THE CONTRACTOR AT NO COST TO THE CLIENT.
- CONTRACTOR IS RESPONSIBLE FOR KEEPING STREETS AND DRIVEWAYS ADJACENT TO THE PROJECT FREE OF MUD AND DEBRIS AT ALL TIMES. CONTRACTOR SHALL CLEAN UP AND REMOVE ALL LOOSE MATERIAL RESULTING FROM CONSTRUCTION OPERATIONS. THE CONTRACTOR SHALL TAKE ALL AVAILABLE PRECAUTIONS TO CONTROL DUST.
- THE EXISTENCE AND LOCATIONS OF THE PUBLIC AND FRANCHISE UTILITIES SHOWN ON THE DRAWINGS WERE OBTAINED FROM AVAILABLE RECORDS AND ARE APPROXIMATE. THE CONTRACTOR SHALL DETERMINE THE DEPTH AND LOCATION OF EXISTING UNDERGROUND UTILITIES PRIOR TO EXCAVATING, TRENCHING, OR DRILLING AND SHALL BE REQUIRED TO TAKE ANY PRECAUTIONARY MEASURES TO PROTECT ALL LINES SHOWN AND / OR ANY OTHER UNDERGROUND UTILITIES NOT OF RECORD OR NOT SHOWN ON THE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING ALL PUBLIC AGENCIES AND FRANCHISE UTILITIES 48 HOURS PRIOR TO CONSTRUCTION. (DIG-TESS 1-800-344-8377) THE CONTRACTOR MAY BE REQUIRED TO EXPOSE THESE FACILITIES AT NO COST TO THE CITY. THE CONTRACTOR WILL BE RESPONSIBLE FOR DAMAGES TO UTILITIES IF THE DAMAGE IS CAUSED BY NEGLIGENCE OR FAILURE TO HAVE LOCATES PERFORMED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING FACILITIES OR ADJACENT PROPERTIES DURING CONSTRUCTION. ANY REMOVAL OR DAMAGE TO EXISTING FACILITIES SHALL BE REPLACED OR REPAIRED TO EQUAL OR BETTER CONDITION BY THE CONTRACTOR.
- CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING AND INSTALLING ALL TEMPORARY AND PERMANENT TRAFFIC CONTROL IN ACCORDANCE WITH THE MINIMUM REQUIREMENTS OF THE LATEST REVISION OF THE TEXAS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (TMUTCD) AND TXDOT BARRICADE AND CONSTRUCTION STANDARDS.
- CONTRACTOR SHALL NOT IMPEDE TRAFFIC ON EXISTING STREETS, DRIVEWAYS, ALLEYS, OR FIRE LANES OPEN TO THE PUBLIC. IN THE EVENT THE CONSTRUCTION WORK REQUIRES THE CLOSURE OF AN EXISTING STREET, ALLEY, OR FIRE LANE, THE CONTRACTOR SHALL REQUEST THE ROAD CLOSURE THROUGH THE CITY TRAFFIC DIVISION.
- CONTRACTOR SHALL NOT STORE MATERIALS, EQUIPMENT OR OTHER CONSTRUCTION ITEMS ON ADJACENT PROPERTIES OR RIGHT-OF-WAY WITHOUT THE PRIOR WRITTEN CONSENT OF THE PROPERTY OWNER AND THE CITY.
- TEMPORARY FENCING SHALL BE INSTALLED PRIOR TO THE REMOVAL OF EXISTING FENCING. TEMPORARY FENCING SHALL BE REMOVED AFTER PROPOSED FENCING IS APPROVED BY THE CITY. ALL TEMPORARY AND PROPOSED FENCING LOCATIONS SHALL BE SUBJECT TO FIELD REVISIONS AS DIRECTED BY THE CITY.
- UNUSABLE EXCAVATED MATERIAL, OR CONSTRUCTION DEBRIS SHALL BE REMOVED AND DISPOSED OF OFFSITE AT AN APPROVED DISPOSAL FACILITY BY THE CONTRACTOR AT HIS EXPENSE.
- CONTRACTOR SHALL AVOID DAMAGE TO EXISTING TREES. WHEN NECESSARY, TREES AND SHRUB TRIMMING FOR CONSTRUCTION SHALL BE PERFORMED BY CERTIFIED TREE WORKER OR UNDER THE DIRECTION OF A REGISTERED LANDSCAPE ARCHITECT OR CERTIFIED ARBORIST.
- EROSION CONTROL DEVICES SHALL BE INSTALLED ON ALL PROJECTS PRIOR TO BEGINNING CONSTRUCTION AND SHALL BE MAINTAINED THROUGHOUT THE PROJECT IN A CONDITION ACCEPTABLE TO THE CITY.
- CONTRACTOR SHALL LOCATE AND PROTECT ALL EXISTING LANDSCAPE IRRIGATION SYSTEMS. DAMAGE TO EXISTING IRRIGATION SYSTEMS AND LANDSCAPE MATERIALS SHALL BE RESTORED TO EQUAL OR BETTER CONDITION AT NO COST TO CITY OR CLIENT.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN A NEAT AND ACCURATE RECORD OF CONSTRUCTION FOR THE CLIENT'S AND CITY'S RECORDS.

BEING 1.600 ACRES OUT OF THE
J.A. RAMSEY SURVEY
ABSTRACT NO. 186 IN THE
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS
LOT 9 BLOCK F
PROPOSED START DATE OF CONSTRUCTION APRIL 2024.

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN
REMAINS WITH THE DESIGN ENGINEER. THE CITY OF
ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR
CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR
ADEQUACY OR ACCURACY OF DESIGN.

BENCHMARK
ALUMINUM DISK STAMPED "CITY OF ROCKWALL SURVEY
MONUMENT" AT THE NORTHERLY INTERSECTION OF SILVER
VIEW LN. AND DIAMOND WAY DR. +1' NORTH OF CURB LINE IN
CENTER OF CURVE.
ELEV. -600.48

OWNER / DEVELOPER:

SHADDOCK HOMES, INC
2400 DALLAS PARKWAY, SUITE 460
MCKINNEY, TEXAS 75093
CONTACT: LORA ERDMAN
PHONE: 972-526-7645
EMAIL: LORAERDMAN@SHADDOCKHOMES.COM

CIVIL ENGINEER:

CORWIN ENGINEERING, INC
200 W. BELMONT, SUITE E
ALLEN, TEXAS 75013
PH. 972-396-1200
CONTACT: WARREN CORWIN
EMAIL: WCORWIN@CORWINENGINEERING.COM

LANDSCAPE ARCHITECT:

JOHNSON VOLK CONSULTING
704 CENTRAL PARKWAY EAST, SUITE 1200
PLANO, TEXAS 75074
PH. (972) 201-3100
CONTACT: CODY JOHNSON, RLA, ASLA, LI
EMAIL: CODY.JOHNSON@JOHNSONVOLK.COM

GENERAL LANDSCAPE NOTES:


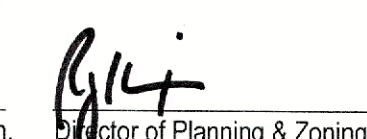
- INSPECTIONS:**
- NO EXCAVATION SHALL OCCUR IN CITY R.O.W. WITHOUT A R.O.W. PERMIT--CONTACT THE PUBLIC WORKS DEPARTMENT.
 - THE CONTRACTOR SHALL MARK ALL WATER LINES, SEWER LINES, AND TREE LOCATIONS PRIOR TO CALLING FOR ROW INSPECTION AND PERMIT.
 - THE LANDSCAPE INSTALLATION SHALL COMPLY WITH APPROVED LANDSCAPE DRAWINGS PRIOR TO FINAL ACCEPTANCE BY THE CITY AND ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
 - WATER METERS, CLEANOUTS AND OTHER APPURTENANCES, SHALL BE ACCESSIBLE, ADJUSTED TO GRADE, CLEARLY MARKED WITH FLAGGING AND COMPLIANT WITH PUBLIC WORKS DEPARTMENT STANDARDS PRIOR TO CALLING FOR FINAL LANDSCAPE AND ROW INSPECTIONS.

- LANDSCAPE STANDARDS:**
- PLANTINGS AND LANDSCAPE ELEMENTS SHALL COMPLY WITH THE CITY'S ENGINEERING DESIGN STANDARDS, PUBLIC R.O.W. VISIBILITY REQUIREMENTS.
 - UNLESS OTHERWISE SPECIFIED, TREES SHALL BE PLANTED NO LESS THAN 4' FROM CURBS, SIDEWALKS, UTILITY LINES, SCREENING WALLS AND OTHER STRUCTURES. THE CITY HAS FINAL APPROVAL FOR ALL TREE PLACEMENTS.
 - A MINIMUM FIVE FEET (5') RADIUS AROUND A FIRE HYDRANT MUST REMAIN CLEAR OF LANDSCAPE PURSUANT TO THE FIRE CODE.
 - STREET TREES, WHERE REQUIRED, SHALL BE (10') MINIMUM FROM THE EDGE OF A STORM SEWER CURB INLET BOX AND THE EDGE OF THE ROOT BALL SHALL BE (4') MINIMUM FROM THE WATER METER.
 - THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1-2014) SPECIFICATIONS SHALL GOVERN PLANT QUALIFICATIONS, GRADES, AND STANDARDS.
 - TREE PLANTING SHALL COMPLY WITH DETAILS HEREIN AND THE INTERNATIONAL SOCIETY OF ARBORICULTURE (ISA) STANDARDS.
 - A 2-3" LAYER OF MULCH SHALL BE PROVIDED AROUND THE BASE OF THE PLANTED TREE. THE MULCH SHALL BE PULLED BACK 4" FROM THE TRUNK OF THE TREE.
 - TREE PITS SHALL BE TESTED FOR WATER PERCOLATION. IF WATER DOES NOT DRAIN OUT OF TREE PIT WITHIN 24-HOURS, THE TREE SHALL BE MOVED OR DRAINAGE SHALL BE PROVIDED.
 - ALL BEDS TO HAVE 3" OF COMPOSTED SOIL, LIVING EARTH TECHNOLOGY, OR APPROVED EQUAL TILLED AND TURNED TO A DEPTH OF 8" MINIMUM.
 - ALL PLANT BEDS SHALL BE TOP-DRESSED WITH A MINIMUM OF 3 INCHES OF HARDWOOD MULCH.
 - NATIVE SITE TOPSOIL IS TO BE PROTECTED FROM EROSION OR STOCKPILED. NATIVE SITE TOPSOIL SHALL BE LABORATORY TESTED BY AND ACCREDITED LABORATORY AND AMENDED PER SAID LABORATORY'S RECOMMENDATIONS.

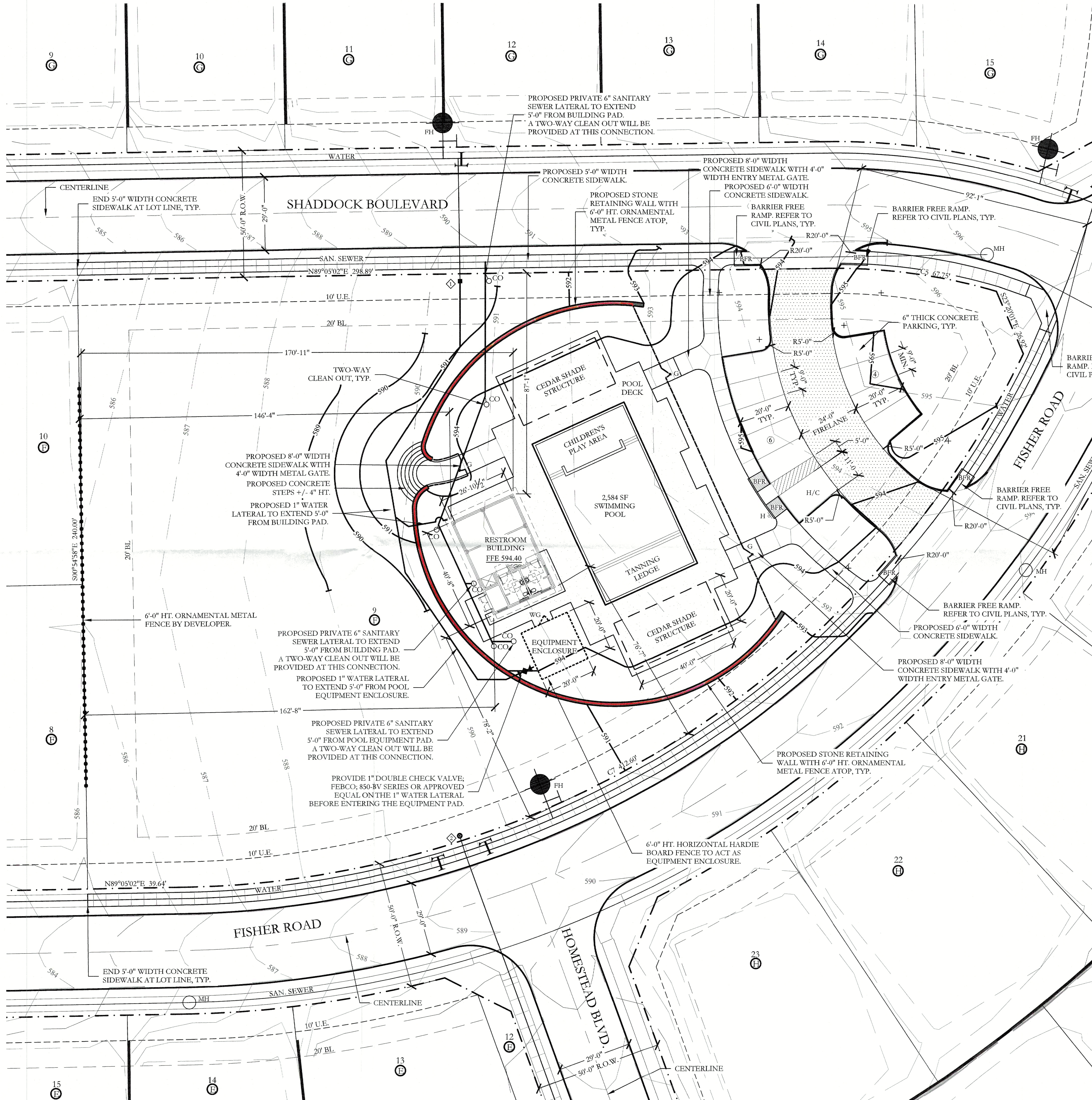
- MAINTENANCE STANDARDS:**
- THE OWNER SHALL BE RESPONSIBLE FOR THE ESTABLISHMENT, MAINTENANCE, AND VIGOR OF PLANT MATERIAL IN ACCORDANCE WITH THE DESIGN INTENT AND AS APPROPRIATE FOR THE SEASON OF THE YEAR.
 - LANDSCAPE AND OPEN AREAS SHALL BE FREE OF TRASH, LITTER AND WEEDS.
 - NO PLANT MATERIAL SHALL BE ALLOWED TO ENCROACH ON R.O.W., SIDEWALKS OR EASEMENTS TO THE EXTENT THAT VISION OR ROUTE OF TRAVEL FOR VEHICULAR, PEDESTRIAN, OR BICYCLE TRAFFIC IS IMPEDED.
 - TREE MAINTENANCE SHALL BE IN ACCORDANCE WITH THE STANDARDS OF THE INTERNATIONAL SOCIETY OF ARBORICULTURE.
 - TREE STAKING MATERIALS, IF USED, SHALL BE REMOVED AFTER (1) GROWING SEASON, NO MORE THAN (1) YEAR AFTER INSTALLATION (STEEL TREE STAKES, WIRES, AND HOSES ARE PROHIBITED).

- TREE PROTECTION NOTES:**
- CONTACT DEVELOPMENT SERVICES FOR A TREE REMOVAL PERMIT PRIOR TO REMOVAL OR TRANSPLANTING OF ANY TREES.
 - ALL TREES WHICH ARE TO REMAIN ON SITE SHALL BE PROTECTED WITH A (4') TALL BRIGHTLY COLORED PLASTIC FENCE, OR SILT FENCE, PLACED AT THE DRIP LINE OF THE TREES.
 - PRIOR TO THE PRE-CONSTRUCTION MEETING OR OBTAINING A GRADING PERMIT, ALL TREE MARKINGS AND PROTECTIVE FENCING SHALL BE INSTALLED BY THE OWNER AND BE INSPECTED BY DEVELOPMENT SERVICES.
 - NO EQUIPMENT SHALL BE CLEANED, OR HARMFUL LIQUIDS DEPOSITED WITHIN THE LIMITS OF THE ROOT ZONE OF TREES WHICH REMAIN ON SITE.
 - NO SIGNS, WIRES, OR OTHER ATTACHMENTS SHALL BE ATTACHED TO ANY TREE TO REMAIN ON SITE.
 - VEHICULAR AND CONSTRUCTION EQUIPMENT SHALL NOT PARK OR DRIVE WITHIN THE LIMITS OF THE DRIP LINE.
 - GRADE CHANGES IN EXCESS OF 3 INCHES (CUT OR FILL) SHALL NOT BE ALLOWED WITHIN A ROOT ZONE, UNLESS ADEQUATE TREE PRESERVATION METHODS ARE APPROVED BY THE CITY.
 - NO TRENCHING SHALL BE ALLOWED WITHIN THE DRIP-LINE OF A TREE, UNLESS APPROVED BY THE CITY.
 - ALL REMOVED TREES SHALL BE CHIPPED AND USED FOR MULCH ON SITE OR HAULED OFF-SITE.
 - ALL TREE MAINTENANCE TECHNIQUES SHALL BE IN CONFORMANCE WITH INDUSTRY IDENTIFIED STANDARDS. IMPROPER OR MALICIOUS PRUNING TECHNIQUES ARE STRICTLY PROHIBITED.

IRRIGATION PLANS SHOWN HEREIN ARE
TO PROVIDE A COMPLETE PACKAGE
ONLY. IRRIGATION PLANS SHALL BE
SUBMITTED BY THE CONTRACTOR TO
THE BUILDING DEPARTMENT AND
APPLY FOR A SEPARATE PERMIT.

APPROVED:
I hereby certify that the above and foregoing site plan for
development in the City of Rockwall, Texas, was approved by the
Planning & Zoning Commission on the 12 day of December,
2023.

Planning & Zoning Commission, Chairman

Director of Planning & Zoning

JOHNSON VOLK
CONSULTING
TBPELS: Engineering Firm No. 11962 / Land Surveying Firm No. 10194033
704 Central Parkway East | Suite 1200 | Plano, TX 75074 | 972.201.3100



LEGEND

- ④ PROPOSED PARKING COUNT
H/C PROPOSED HANDICAP PARKING SPACE
BFR PROPOSED BARRIER FREE RAMP
FH EXISTING FIRE HYDRANT
MH EXISTING SANITARY SEWER MANHOLE
T EXISTING WATER MAIN W/ VALVE
— EXISTING SANITARY SEWER
— RIGHT-OF-WAY
— 593 EXISTING CONTOUR INTERVAL
— 592 PROPOSED CONTOUR INTERVAL
FFE 594.40 FINISHED FLOOR ELEVATION
◇ PROPOSED 1.5" DOMESTIC WATER METER
◇ PROPOSED 1.5" IRRIGATION WATER METER
H HANDICAP PARKING SIGN
PROPOSED STONE RETAINING WALL
ORNAMENTAL METAL FENCE (6'-0" HT. AROUND SWIMMING POOL AREA)
ORNAMENTAL METAL FENCE ATOP RETAINING WALL (6'-0" HT. AROUND SWIMMING POOL AREA)
1 - 4'-0" WIDTH SELF LATCHING, SELF CLOSING METAL GATE
WG 1 - 4'-0" WIDTH SELF LATCHING, SELF CLOSING WOODEN GATE
6'-0" HT. WOOD FENCE TO ACT AS POOL EQUIPMENT AND TRASH TOTE ENCLOSURE
ORNAMENTAL METAL FENCE ALONG PROPERTY LINE
FIRELANE PAVING PER CITY STANDARD DETAILS

WATER METER SCHEDULE

METER ID NUMBER	WATER SERVICE SIZE	WATER METER SIZE	METER DOM	METER IRR	SAN. SERVICE SIZE
◇	1.5"	1.5"	X		6"
◇	1.5"	1.5"		X	6"

SITE PLAN NOTES:

- NO 100 YEAR FLOOD PLAIN EXISTS ON PROPERTY.
- FOR ALL BARRIER FREE RAMPS NOTED ON PLAN, REFERENCE THE CITY OF ROCKWALL STANDARD CONSTRUCTION DETAILS.
- ALL HANDICAP PARKING SPACES SHALL BE A MINIMUM OF 11'-0" WIDTH x 20'-0" LENGTH WITH A 5'-0" LOADING AISLE.
- STANDARD PARKING SPACES SHALL BE A MINIMUM OF 9'-0" WIDTH x 20'-0" LENGTH.
- THE PERIMETER FENCING SHALL BE 6'-0" HT. ORNAMENTAL METAL FENCE.
- ALL VEHICULAR AND SIDEWALK PAVING SHOWN ON THESE PLANS SHALL BE MAINTAINED BY THE HOA.

NOTE: RETAINING WALLS OVER 3' IN HEIGHT WILL NEED TO BE ENGINEERED AND A RETAINING WALL PERMIT APPLICATION SHALL BE SUBMITTED TO THE ENGINEERING DEPARTMENT FOR REVIEW.

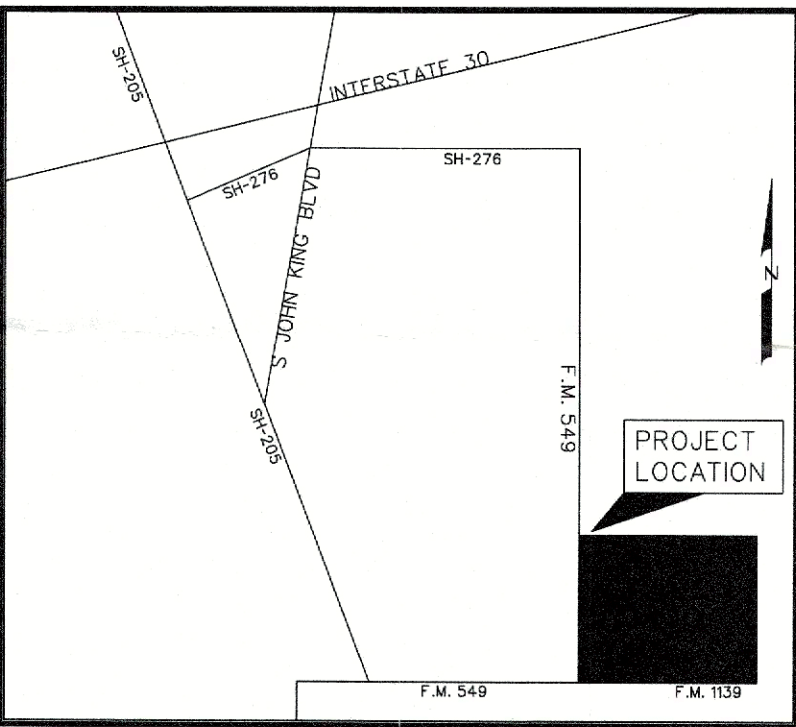
SITE INFORMATION

SINGLE FAMILY RESIDENTIAL
PROPOSED USE: PRIVATE RECREATION CENTER
LAND AREA: 1.60 ACRES
69,696.00 SQ. FT.
BUILDING AREA: 1,092.73 SQUARE FEET
BUILDING HEIGHT: 22'-7" (1 STORY)
FLOOR TO AREA: 0.0156:1 [1,092.73/69,696.00]
LOT COVERAGE: 1.56%
PARKING REQUIRED: 1 PER 250 SF. OF ASSEMBLY SPACE
1,092.73/250=4.37
5 REQUIRED SPACES
PARKING PROVIDED: 10 TOTAL, (WITH 1 HANDICAP)
HANDICAP PARKING IS PROVIDED IN ACCORDANCE WITH ADA STANDARDS
TOTAL IMPERVIOUS SURFACE: 16,759.40 SF
PROPOSED IMPERVIOUS RATIO: 0.2404 OR 24.04%
INTERIOR LANDSCAPE PROVIDED: 32,936.60 SF
POOL DECK SURFACE: 5,324.59 SF

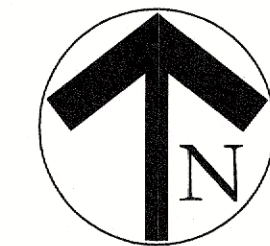
APPROVED:

I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the 12 day of December, 2023.

WITNESS OUR HANDS, this 12 day of December, 2023.
[Signature] Director of Planning and Zoning
[Signature] Planning & Zoning Commission, Chairman



LOCATION MAP
NOT TO SCALE



20 10 0 20
SCALE 1" = 20'

SITE PLAN
HOMESTEAD, PHASE 1
LOT 9, BLOCK F
~AMENITY CENTER~

BEING 1.600 ACRES OUT OF THE
J.A. RAMSEY SURVEY
ABSTRACT NO. 186 IN THE
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

OWNER / DEVELOPER:

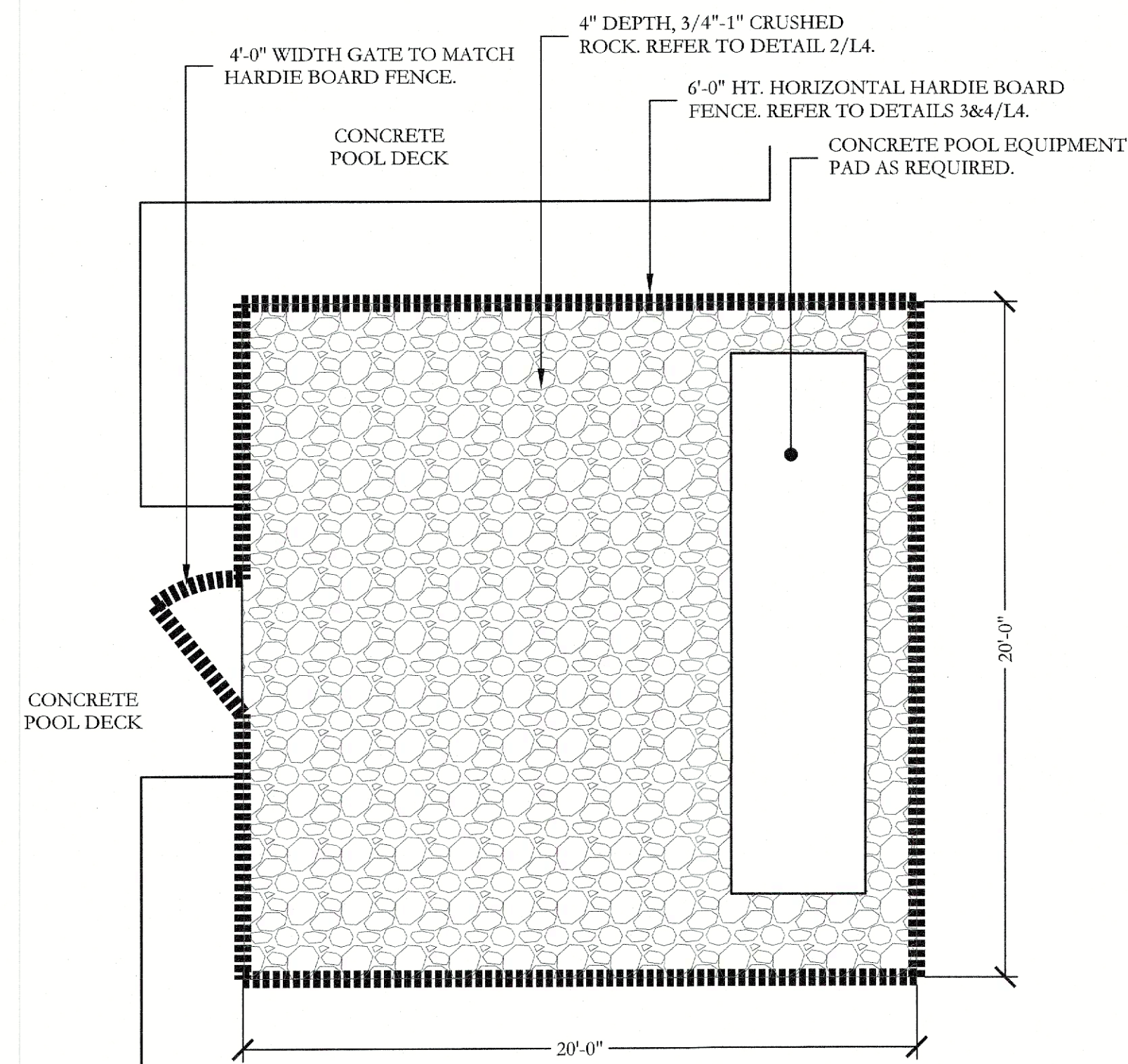
SHADDOCK HOMES, INC
2400 DALLAS PARKWAY, SUITE 460
MCKINNEY, TEXAS 75093
CONTACT: LORA ERDMAN

LANDSCAPE ARCHITECT/CIVIL ENGINEER:

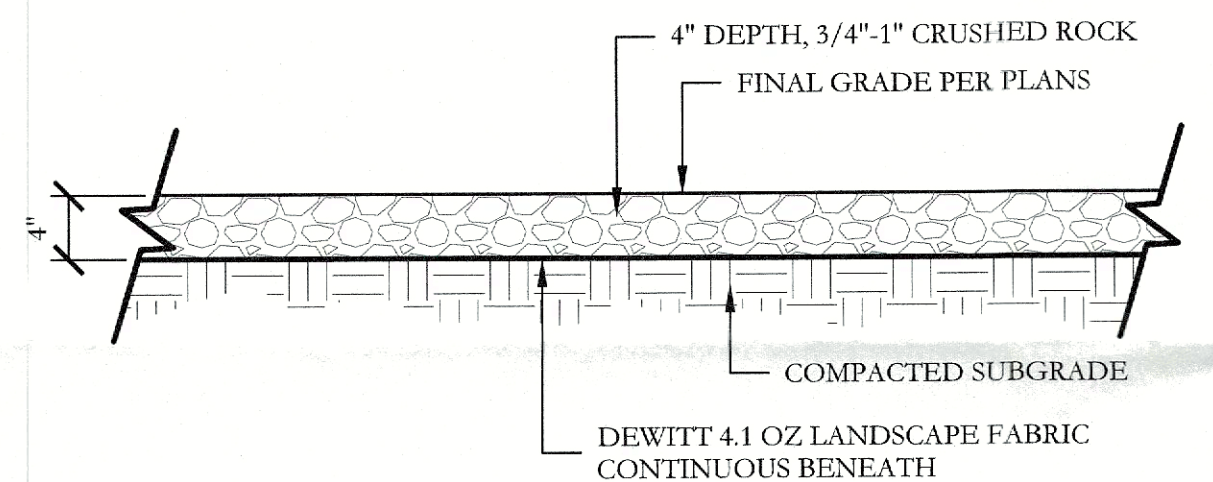
JOHNSON VOLK CONSULTING
704 CENTRAL PARKWAY EAST, SUITE 1200
PLANO, TEXAS 75074
PH. 972-201-3100
CONTACT: CODY JOHNSON, RLA, ASLA, LE



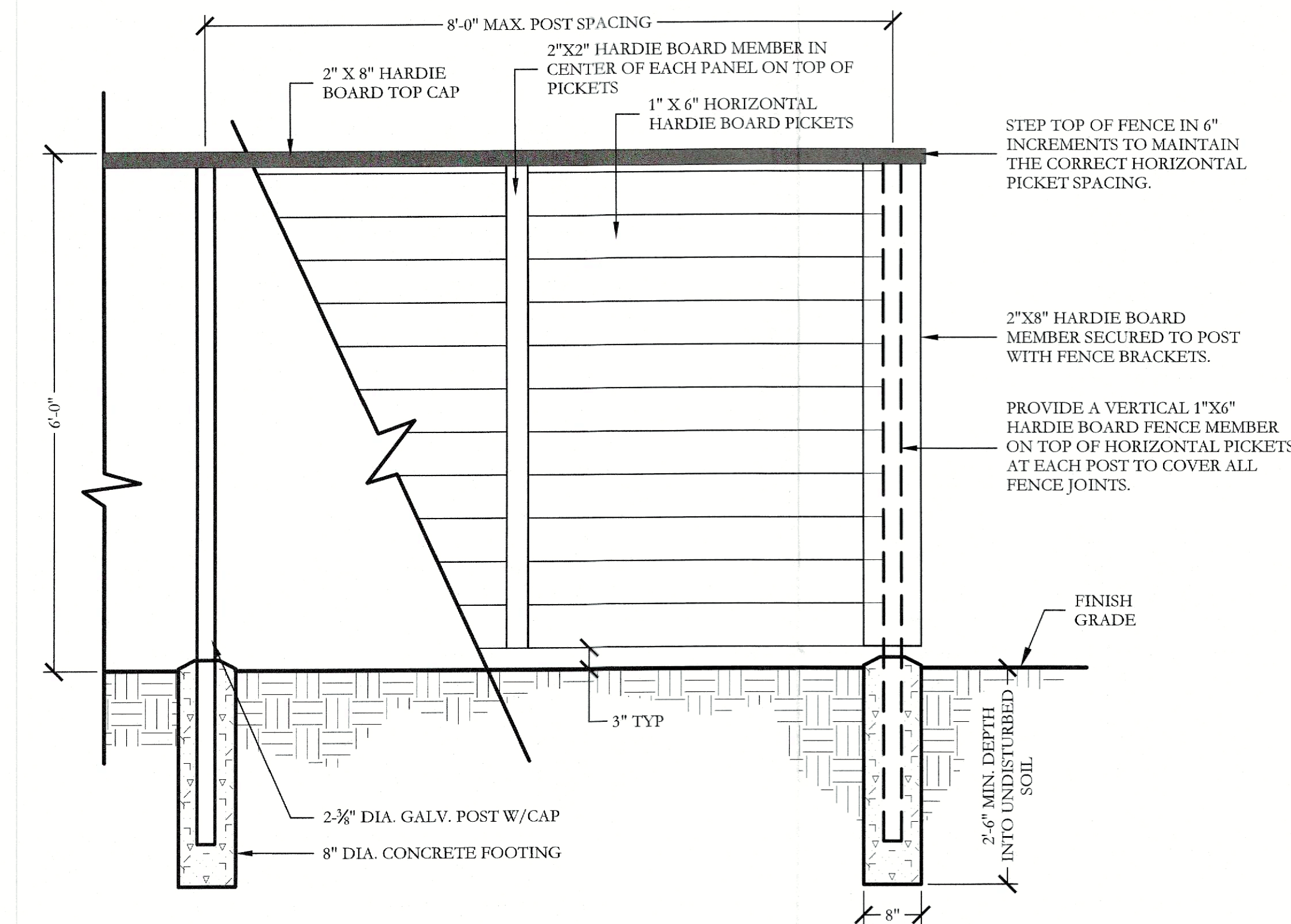
December 05, 2023



1 POOL EQUIPMENT & TRASH TOTE ENCLOSURE PLAN SCALE: 1/4" = 1'-0"



2 CRUSHED ROCK BASE SECTION SCALE: 1" = 1'-0"



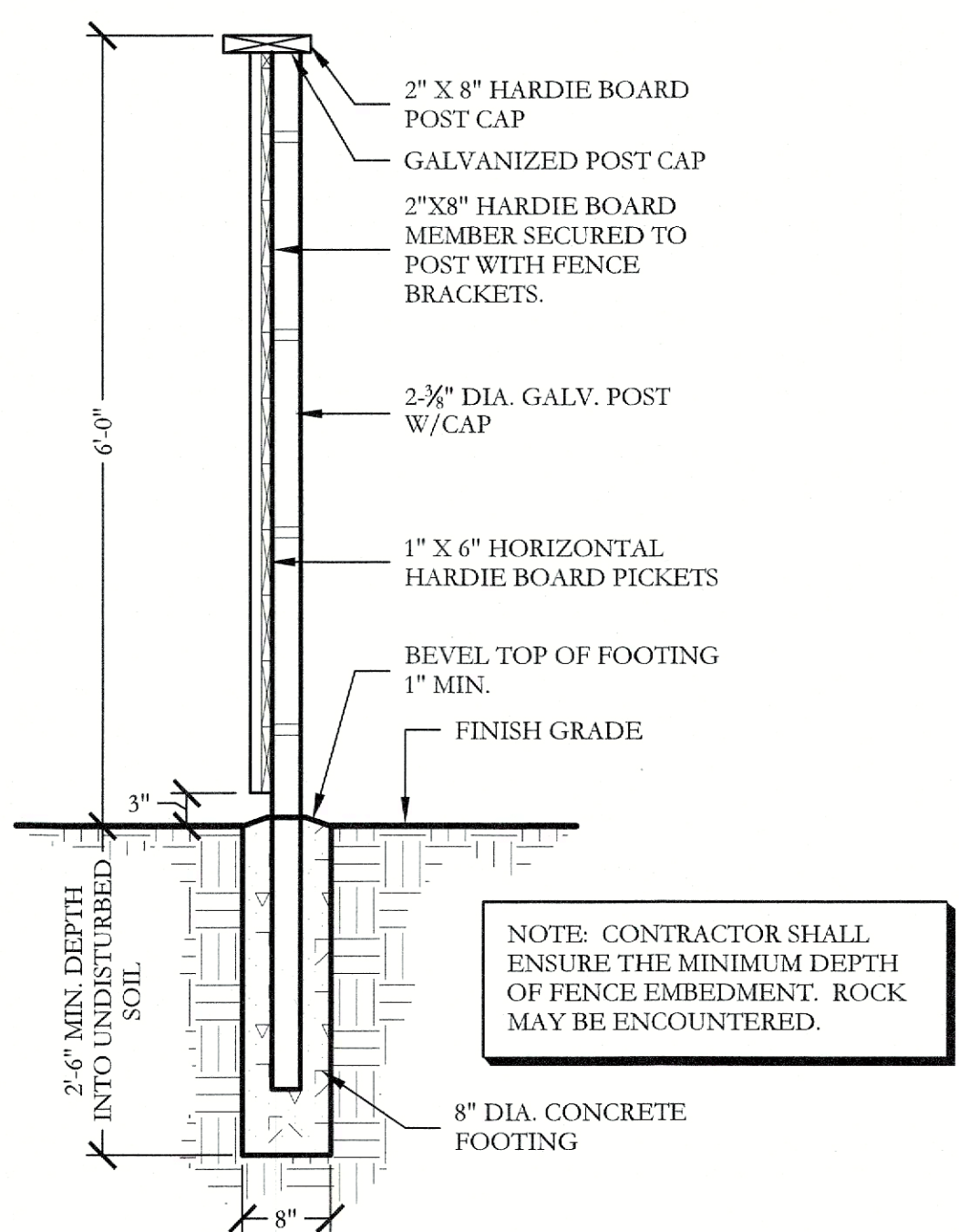
3 6'-0" HT. HORIZONTAL HARDIE BOARD FENCE ELEVATION SCALE: 3/4" = 1'-0"

HORIZONTAL HARDIE BOARD FENCE NOTES

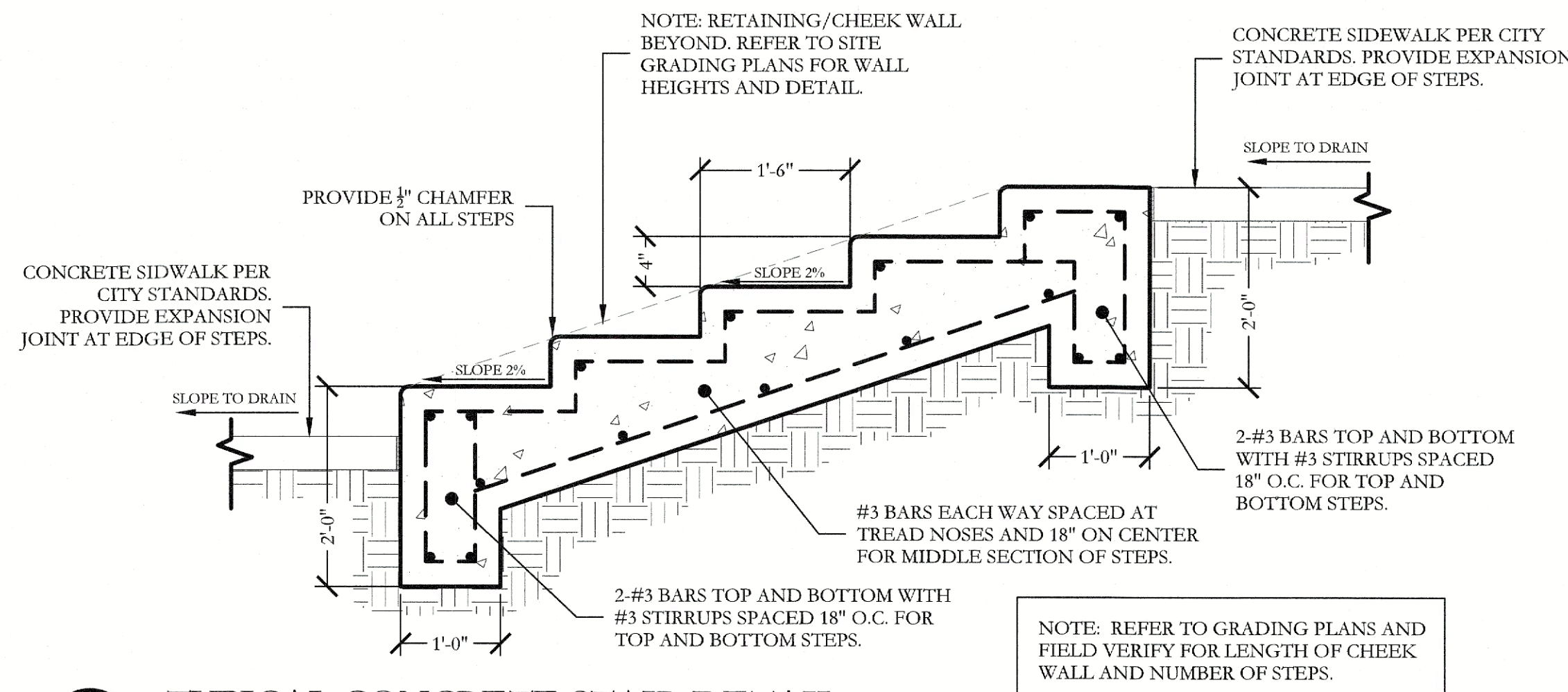
1. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIMSELF FAMILIAR WITH ALL UNDERGROUND UTILITIES, PIPES, AND STRUCTURES EITHER SHOWN OR NOT SHOWN ON THE PLANS. THE CONTRACTOR WILL BE RESPONSIBLE FOR ANY COST INCURRED DUE TO DAMAGE OR REPLACEMENT OF SAID UTILITIES AND STRUCTURES CAUSED BY HIS FORCES VERIFY LOCATION OF ALL UTILITIES WITH THE TOWN AND VARIOUS UTILITY COMPANIES BEFORE DRILLING PIERS.
2. ALL CONCRETE USED IN FOOTINGS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3,000 PSI @ 28 DAYS.
3. THE CONTRACTOR IS RESPONSIBLE FOR ALL NECESSARY AND REQUIRED PERMITS AND INSPECTIONS. CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF ROCKWALL CODES AND REQUIREMENTS.
4. HARDIE BOARD MATERIAL FOR FENCE
 - 4.1. STRINGERS - HARDIE BOARD MATERIAL OR BETTER.
 - 4.2. PICKETS - HARDIE BOARD MATERIAL OR BETTER.
 - 4.3. CAPS - HARDIE BOARD MATERIAL OR BETTER.
5. ALL FENCE POST TO BE SCHEDULE 40 - GALVANIZED.
6. ALL FASTENERS, NAILS, BRACKETS, STEEL POSTS, ETC. ARE TO BE HOT DIPPED GALVANIZED.
7. ALL PICKETS ARE TO BE FASTENED TO THE RAILS USING GALVANIZED SCREWS. STAPLES AND/OR NAILS WILL NOT BE ALLOWED. SCREW WITHOUT SPLITTING MEMBERS, DRILL PILOT HOLES IF NECESSARY. ALL SPLIT MEMBERS WILL BE REQUIRED TO BE REPLACED AT NO ADDITIONAL COST TO THE OWNER.
8. ACCURATELY CUT, FIT FASTEN MEMBERS, MAKE PLUMB, LEVEL, TRUE, AND RIGID. DO NOT SPLICE INDIVIDUAL FRAMING MEMBERS BETWEEN SUPPORTS. ERECT FACES OF FRAMING MEMBERS IN STRAIGHT EVEN PLANES TO RECEIVE FINISH MATERIALS. INSTALL STRINGERS WITH BOTTOM EDGES FREE OF DEFECTS. AFTER ALL EXPOSED FINISHED JOINTS.
9. REMOVE ALL MARKS, STAMPS, DIRT, LOOSE FIBERS FROM ALL MATERIAL SURFACES.
10. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS.
11. ALL HARDIE BOARD MEMBERS SHALL RECEIVE TWO COATS OF MARINE GRADE PAINT; FINISH AND COLOR SHALL MATCH THE BUILDING FACILITY.

ORNAMENTAL METAL FENCE NOTES

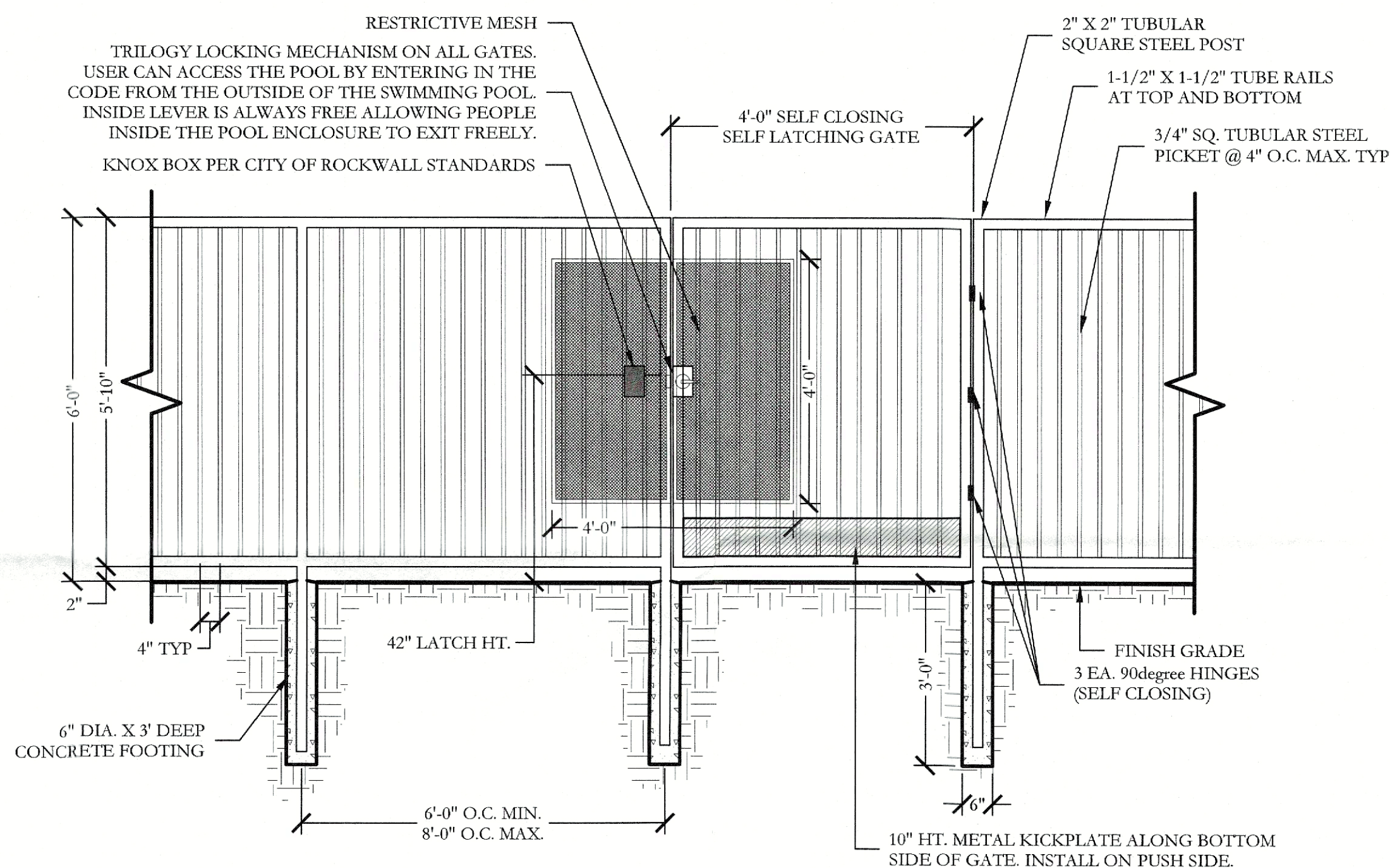
1. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIMSELF FAMILIAR WITH ALL UNDERGROUND UTILITIES, PIPES, AND STRUCTURES EITHER SHOWN OR NOT SHOWN ON THE PLANS. THE CONTRACTOR WILL BE RESPONSIBLE FOR ANY COST INCURRED DUE TO DAMAGE OR REPLACEMENT OF SAID UTILITIES AND STRUCTURES CAUSED BY HIS FORCES.
2. ALL CONCRETE USED IN FOOTING AND PIERS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI @ 28 DAYS.
3. THE CONTRACTOR IS RESPONSIBLE FOR ALL REQUIRED PERMITS AND CITY INSPECTIONS.
4. ALL ORNAMENTAL METAL TUBES, POSTS, RAILS AND PICKETS SHALL BE FLUSH AND FREE OF ALL DENTS, SPURS, AND SHARP EDGES AND SHALL BE INSTALLED LEVEL, PLUMB, AND SQUARE.
5. PROVIDE CONTINUOUS WELDS ALONG ALL EDGES OF FENCE MEMBERS. GRIND SMOOTH ALL WELDS.
6. ALL METAL SURFACES SHALL BE PRIMED AND PAINTED WITH TWO COATS OF URBANE BRONZE (SW7048) BY SHERWIN WILLIAMS PAINT CO. COLOR TO BE FLAT BLACK. CONTRACTOR TO SUBMIT SAMPLES AS REQUIRED.
7. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL DIMENSIONS BEFORE MANUFACTURING GATES AND FENCE.
8. ALL ORNAMENTAL METAL FENCE MEMBERS ARE TO BE TUBULAR MEMBERS IN ACCORDANCE WITH ASTM 513 HOT ROLLED STRUCTURAL STEEL 50,000 PSI TENSILE STRENGTH, 60,000 PSI YIELD STRENGTH.
9. FENCE MEMBER SIZES TO BE AS FOLLOWS:
 - 9.1. PICKETS, 3/4" SQUARE 16 GA.
 - 9.2. RAILS, 1-1/2" X 1-1/2" TUBE 16 GA.
 - 9.3. POSTS, 2" SQUARE 11 GA.
10. CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR ALL FENCE GATES AND OPENERS. SHOP DRAWINGS SHALL INCLUDE ALL PRODUCT CUT SHEETS AS WELL AS INSTALLATION AND MANUFACTURING DETAILS. CONTRACTOR TO BE RESPONSIBLE FOR STRUCTURAL DESIGN OF GATES.
11. CONCRETE FOOTING FOR POSTS SHALL BE 3X POST WIDTH.
12. GATE IS TO BE SELF CLOSING. FALCON B561D BD626 SATIN CHROME DANE SPIC CLASSROOM LOCK BY A&H TURF OR APPROVED EQUAL DEADLOCKING LATCH BOLT BY LEVERS. OUTSIDE LEVER IS LOCKED BY KEY IN OUTSIDE LEVER. INSIDE LEVER IS ALWAYS FREE.
13. POSTS SHALL BE PLACED AT A MINIMUM DISTANCE OF 6'-0" O.C. AND A MAXIMUM DISTANCE OF 7'-0" O.C.
14. POOL FENCE SHALL MEET LOCAL CODES AND REQUIREMENTS. CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING COMPLIANCE INCLUDING NECESSARY UP-SIZING OF POSTS, PICKETS AND HORIZONTAL BARS AND INCREASING THE HEIGHT OF THE FENCE AS IT APPEARS IN THIS DETAIL AT NO ADDITIONAL COST TO THE OWNER FOR MATERIALS AND/OR LABOR.
15. LATCH SHALL BE SELF LATCHING, ON POOL SIDE OF ENCLOSURE AT A MIN. 42" ABOVE FINISH PAVING.
16. RESTRICTIVE MESH SHALL HAVE NO OPENINGS GREATER THAN 1/2".



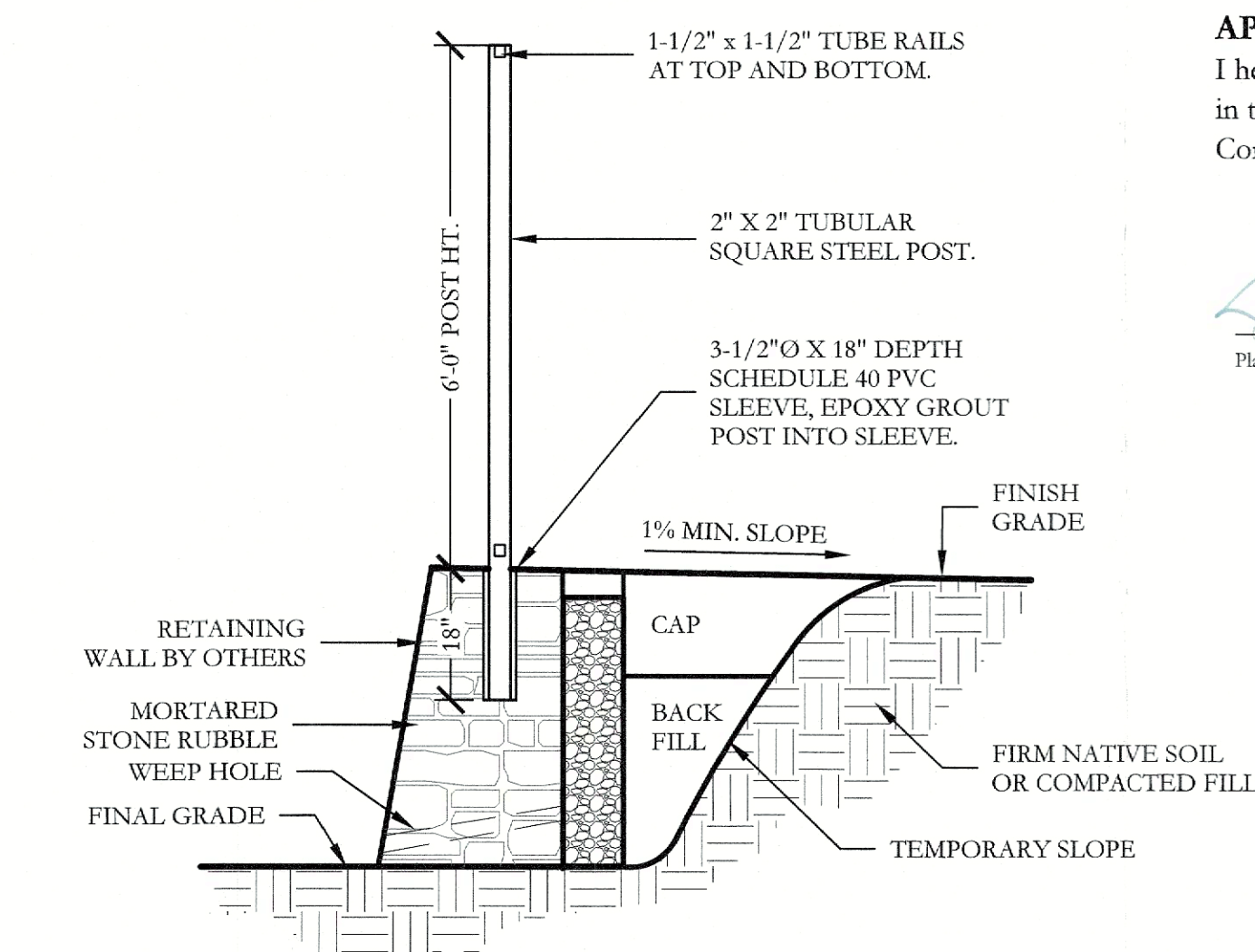
4 6'-0" HT. HARDIE BOARD FENCE SECTION SCALE: 3/4" = 1'-0"



5 TYPICAL CONCRETE STAIR DETAIL SECTION NOT TO SCALE



6 6'-0" HT. ORNAMENTAL METAL FENCE AND GATE ELEVATION SCALE: 1/2" = 1'-0"



7 6'-0" HT. ORN. METAL FENCE ATOP RET. WALL SECTION SCALE: 1/2" = 1'-0"

APPROVED:
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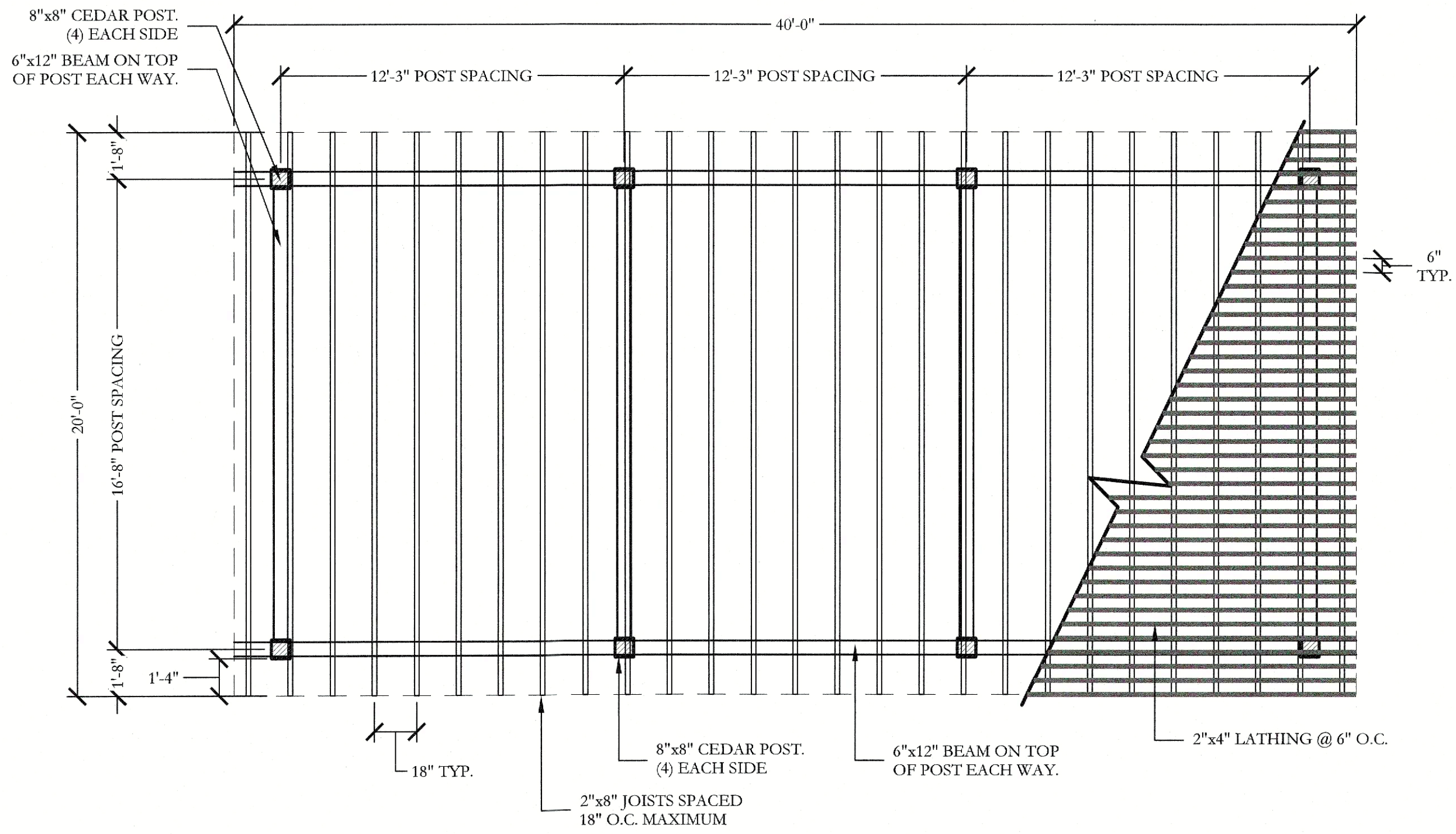
WITNESS OUR HANDS, this 12 day of December 2023.

[Signature] Planning & Zoning Commission, Chairman

[Signature] Director of Planning and Zoning

PERMITTED BY BUILDING INSPECTORS.

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.

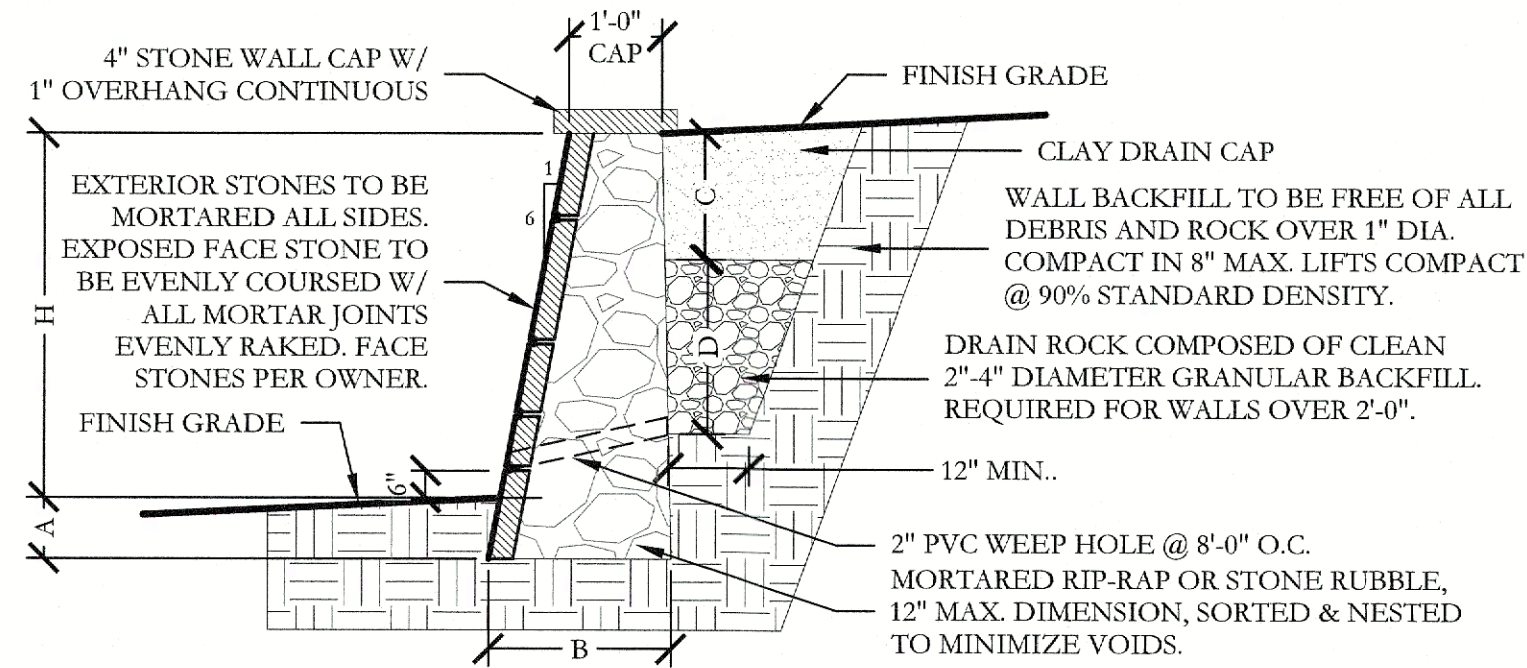


CEDAR SHADE STRUCTURE NOTES

- THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIMSELF FAMILIAR WITH ALL UNDERGROUND UTILITIES, PIPES, AND STRUCTURES EITHER SHOWN OR NOT SHOWN ON THE PLANS. THE CONTRACTOR WILL BE RESPONSIBLE FOR ANY COST INCURRED DUE TO DAMAGE OR REPLACEMENT OF SAID UTILITIES AND STRUCTURES CAUSED BY HIS FORCES VERIFY LOCATION OF ALL UTILITIES WITH THE CITY AND VARIOUS UTILITY COMPANIES BEFORE DRILLING PIERS.
- ALL CONCRETE USED IN FOOTINGS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3,000 PSI @ 28 DAYS.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL NECESSARY AND REQUIRED PERMITS AND INSPECTIONS. CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY CODES AND REQUIREMENTS.
- WOOD MATERIAL FOR FENCE
 - JOIST- CEDAR, #2 GRADE OR BETTER.
 - BEAM- CEDAR, #2 GRADE OR BETTER.
 - POST- CEDAR, #2 GRADE OR, BETTER
- ALL FASTENERS, NAILS, BRACKETS, STEEL POSTS, ETC... ARE TO BE HOT DIPPED GALVANIZED.
- IF SIMPSON STRONG TIES ARE USED FOR SECURING THE BEAMS TO POSTS, CONTRACTOR SHALL HIDE THE BRACKETS WITH CEDAR TRIM.
- ACCURATELY CUT, FIT FASTEN MEMBERS, MAKE PLUMB, LEVEL, TRUE, AND RIGID. DO NOT SPLICE INDIVIDUAL FRAMING MEMBERS BETWEEN SUPPORTS. ERECT FACES OF FRAMING MEMBERS IN STRAIGHT EVEN PLANES TO RECEIVE FINISH MATERIALS. REMOVE ALL MARKS, STAMPS, DIRT, LOOSE FIBERS FROM ALL WOOD SURFACES.
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS.
- ALL WOOD MEMBERS SHALL RECEIVE TWO COATS OF PREMIUM STAIN OR MARINE GRADE PAINT; FINISH AND COLOR SHALL MATCH THE BUILDING FACILITY..

WALL DIMENSION SCHEDULE (BASED ON CLAY (CH) SOIL)			
HEIGHT (H)	1'	2'	3'
BASE DEPTH (A)	6"	9"	12"
BASE WIDTH (B)	14"	16"	18"
CAP DEPTH (C)	FULL	FULL	24"
GRAVEL DEPTH (D)	N/A	N/A	12"
BATTER	2"	4"	6"

- GENERAL NOTES:
- NO STRUCTURAL SURCHARGE ANTICIPATED FOR STRUCTURES LOCATED DISTANCE EQUAL TO 1.5H FROM WALL.
 - TYPE S MORTAR REQUIRED.
 - CONTROL JOINTS AT 25' MAXIMUM SPACING.
 - INSTALL 2" PVC WEEP HOLES FOR ALL WALLS 2'-0" HEIGHT AND OVER @ 8'-0" O.C. SPACING.
 - MINIMUM 2% AND MAXIMUM 4:1 TOE SLOPE AT FINISH GRADE.



3' MAX. HEIGHT GRAVITY RETAINING WALL DETAIL SECTION

NOT TO SCALE

RETAINING WALL NOTES

- DESIGN BASED ON JOHNSON VOLK CONSULTING GRADING AND DRAINAGE PLAN DATED December 05, 2023 AND SUBSURFACE EXPLORATION, FOUNDATION ANALYSIS AND PAVEMENT RECOMMENDATIONS REPORT (NO. D211141) DATED NOVEMBER 01, 2021 BY TERRADYNE ENGINEERING, INC. AS PROVIDED BY CLIENT.
- NO STRUCTURAL SURCHARGE ANTICIPATED FOR STRUCTURES LOCATED DISTANCE EQUAL TO 1.5H FROM WALL.
- ALL CONCRETE USED IN FOOTINGS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI @ 28 DAYS.
- ALL MORTAR SHALL BE TYPE S.
- CONTROL JOINTS AT 25' MAXIMUM SPACING.
- 4" STONE VENEER TO MATCH BUILDING FACADE PER ARCHITECTURE PLANS.
- MINIMUM 2% TOP & TOE SLOPE AT FINISH GRADE.
- CONTRACTOR RESPONSIBLE FOR ALL REQUIRED PERMITS, APPLICABLE FEES, AND CITY INSPECTIONS.
- LAYOUT OF PROPOSED WALL SHALL BE PERFORMED IN THE FIELD BY THE OWNER'S REPRESENTATIVE AND THE CONTRACTOR PRIOR TO BEGINNING CONSTRUCTION.
- WALL SUBGRADE SHOULD BE CLOSELY MONITORED DURING EXCAVATION. UNSUITABLE MATERIALS AT THE FOUNDATION LEVEL SHOULD BE REMOVED AND REPLACED WITH LEAN CONCRETE (MIN. 2000 PSI @ 28 DAYS) OR COMPACTED FLEX BASE MATERIAL.
- PERIODIC OBSERVATION BY ENGINEER OR RECORD DURING CONSTRUCTION IS RECOMMENDED IN ORDER TO PROVIDE OVERALL OPINION AS TO CONTRACTOR'S ADHERENCE TO PLANS AND SPECIFICATIONS. THIS IN NO WAY IS A GUARANTEE OR WARRANTY AS TO CONTRACTOR'S WORK.
- CONTRACTOR SHALL PROVIDE ENGINEER MINIMUM 72 HOURS NOTICE PRIOR TO BEGINNING CONSTRUCTION TO SCHEDULE REQUIRED INSPECTIONS.
- DUE TO EXPANSIVE CLAY SOILS IN THIS AREA IT IS RECOMMENDED THAT PROPERTY OWNER(S) MAINTAIN GOOD WATERING PRACTICES TO LIMIT SOIL MOVEMENTS AND EXCESSIVE PRESSURES ON WALL.

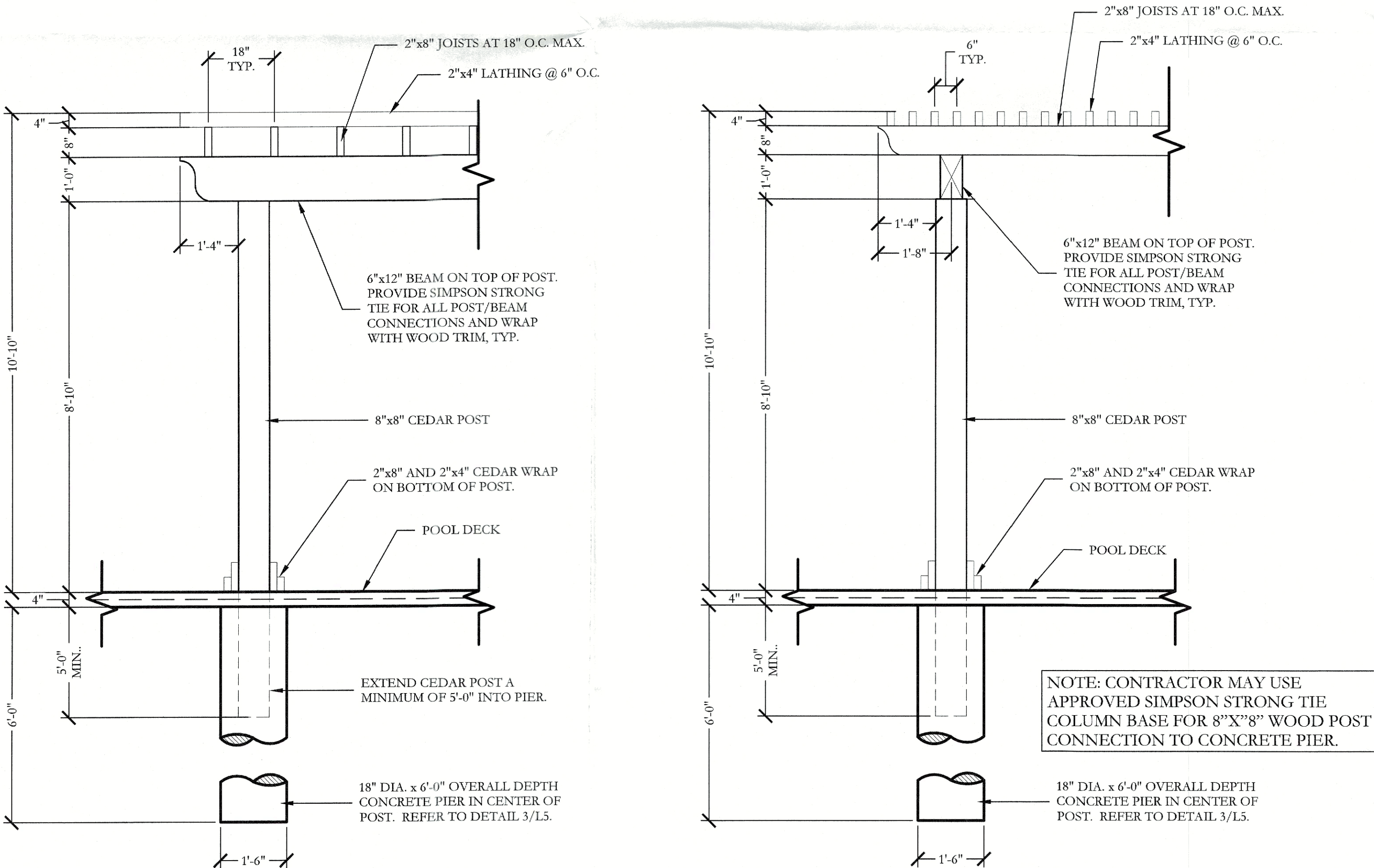
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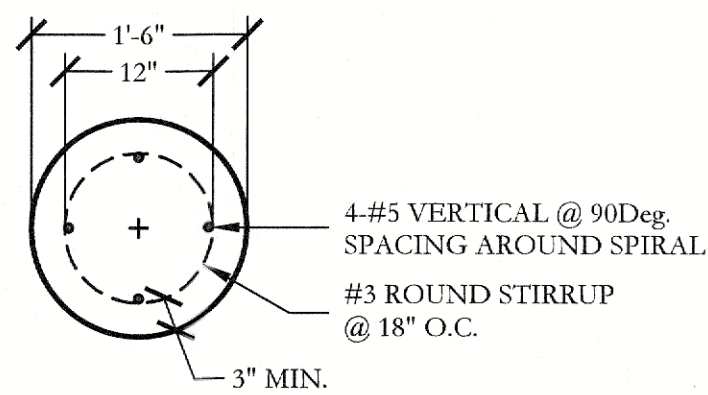
WITNESS OUR HANDS, this 12 day of December 2023.

Planning & Zoning Commission, Chairman

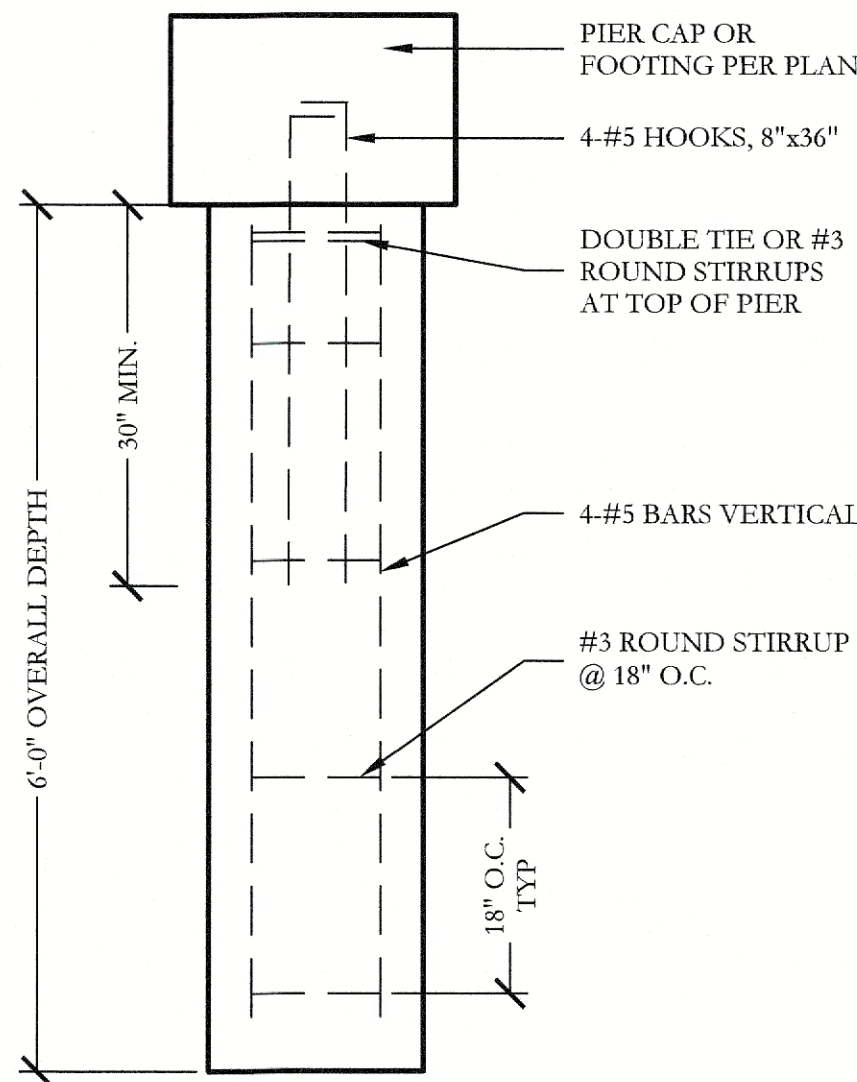
Director of Planning and Zoning



NOTE: CONTRACTOR MAY USE APPROVED SIMPSON STRONG TIE COLUMN BASE FOR 8"X8" WOOD POST CONNECTION TO CONCRETE PIER.



PLAN/SECTION



SECTION

PIER (18" DIA.) SECTION

SCALE: 3/4" = 1'-0"

3

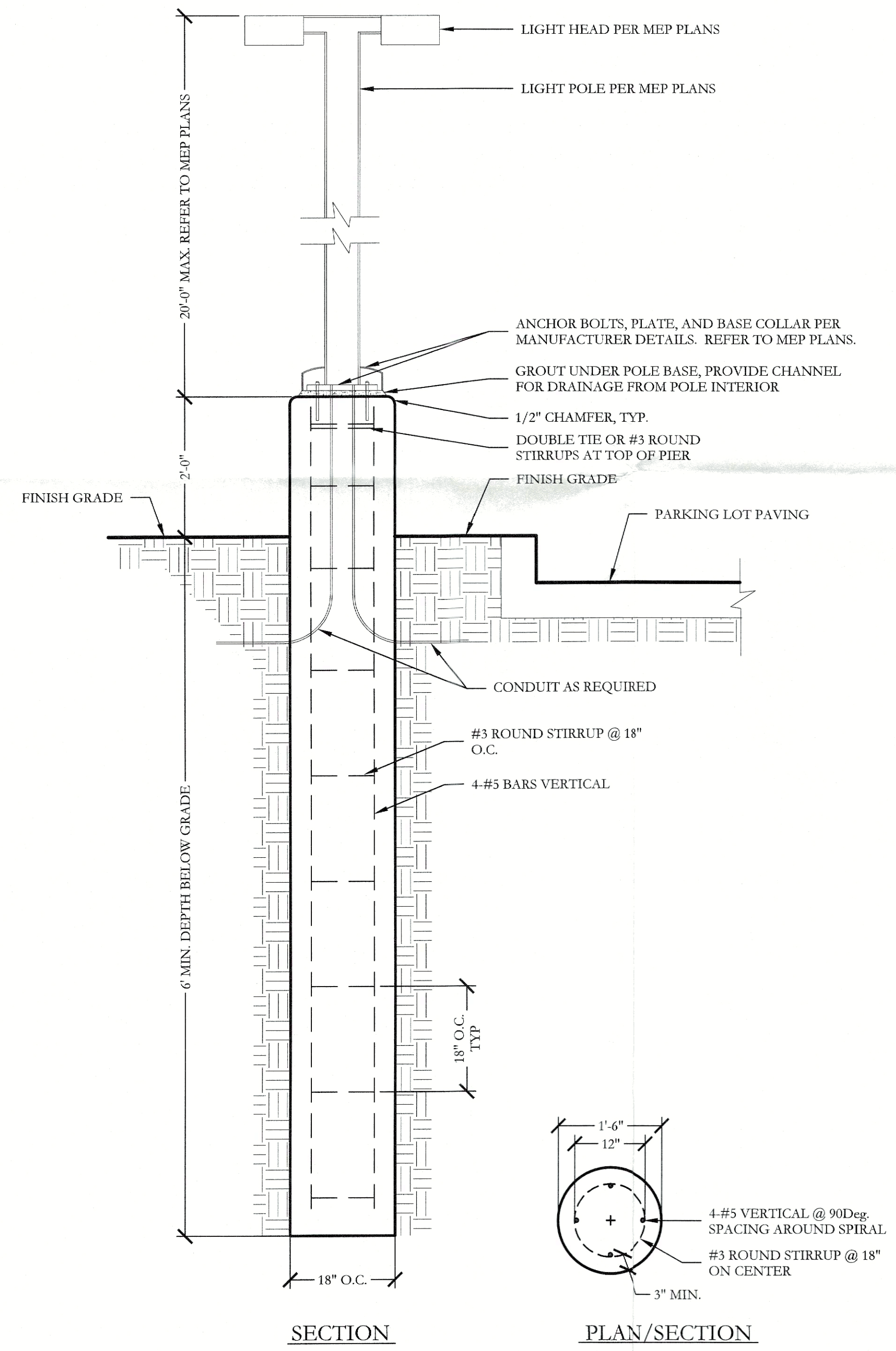
20'-0" x 40'-0" CEDAR SHADE STRUCTURE SECTION

SCALE: 1/2" = 1'-0"

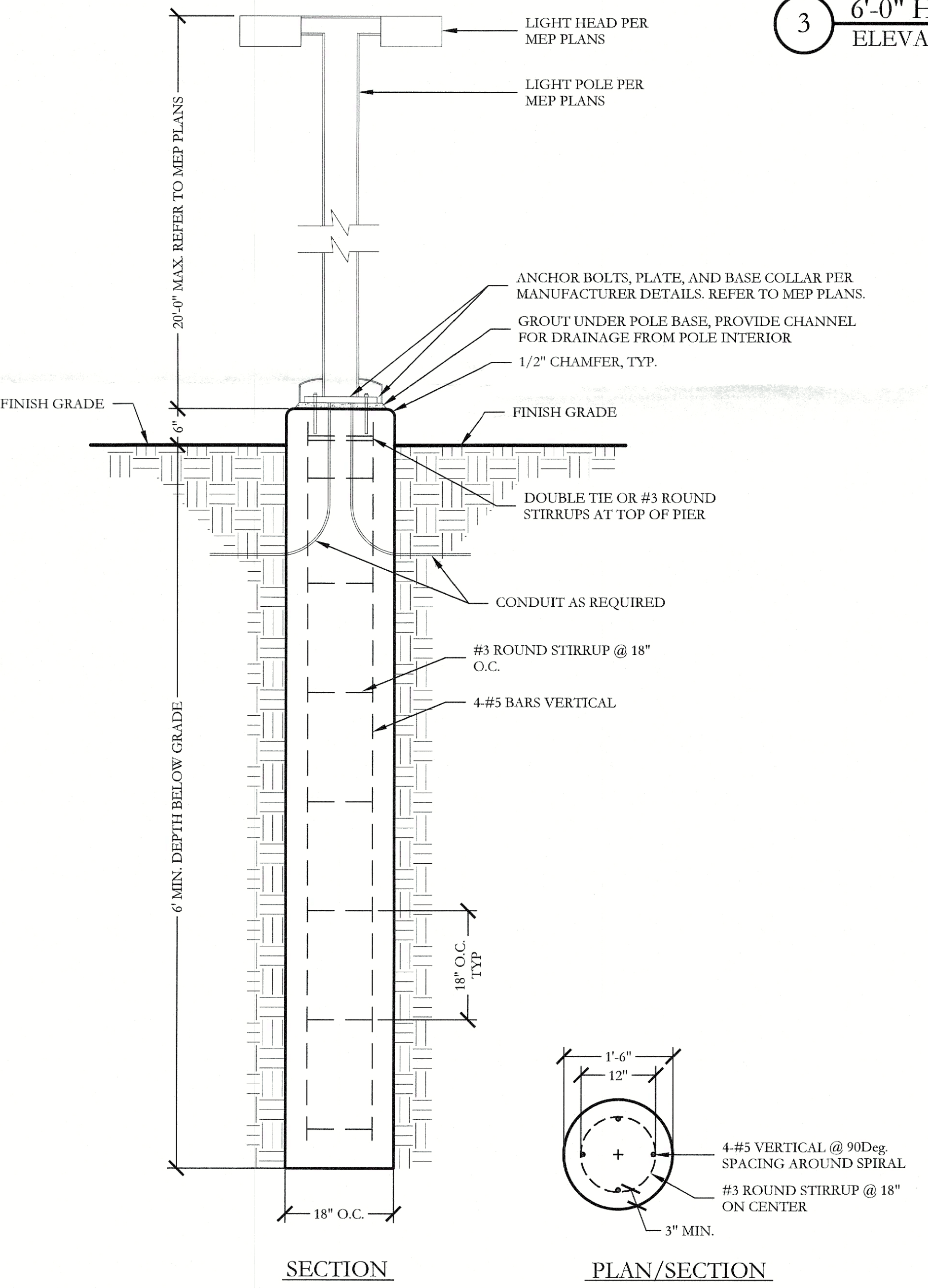
2

\\jvc-fp1\jvc-handcaps\jvc-a-drive\projects\shariff2\dwg\shariff2a.mxd

1 LIGHT POLE WITHIN PARKING LOT
PLAN/SECTION
SCALE: 3/4" = 1'-0"



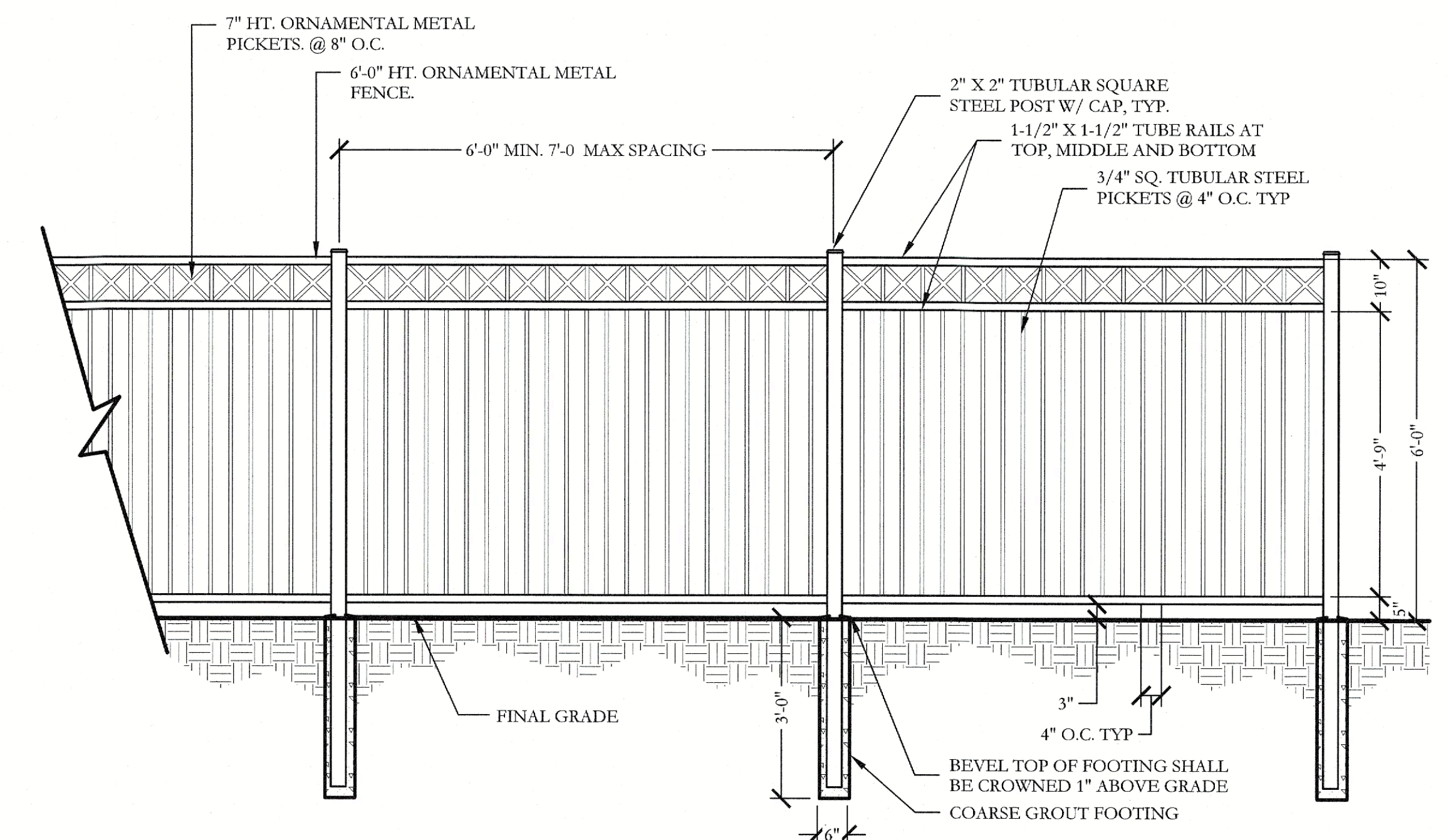
2 LIGHT POLE WITHIN POOL AREA
PLAN/SECTION
SCALE: 3/4" = 1'-0"



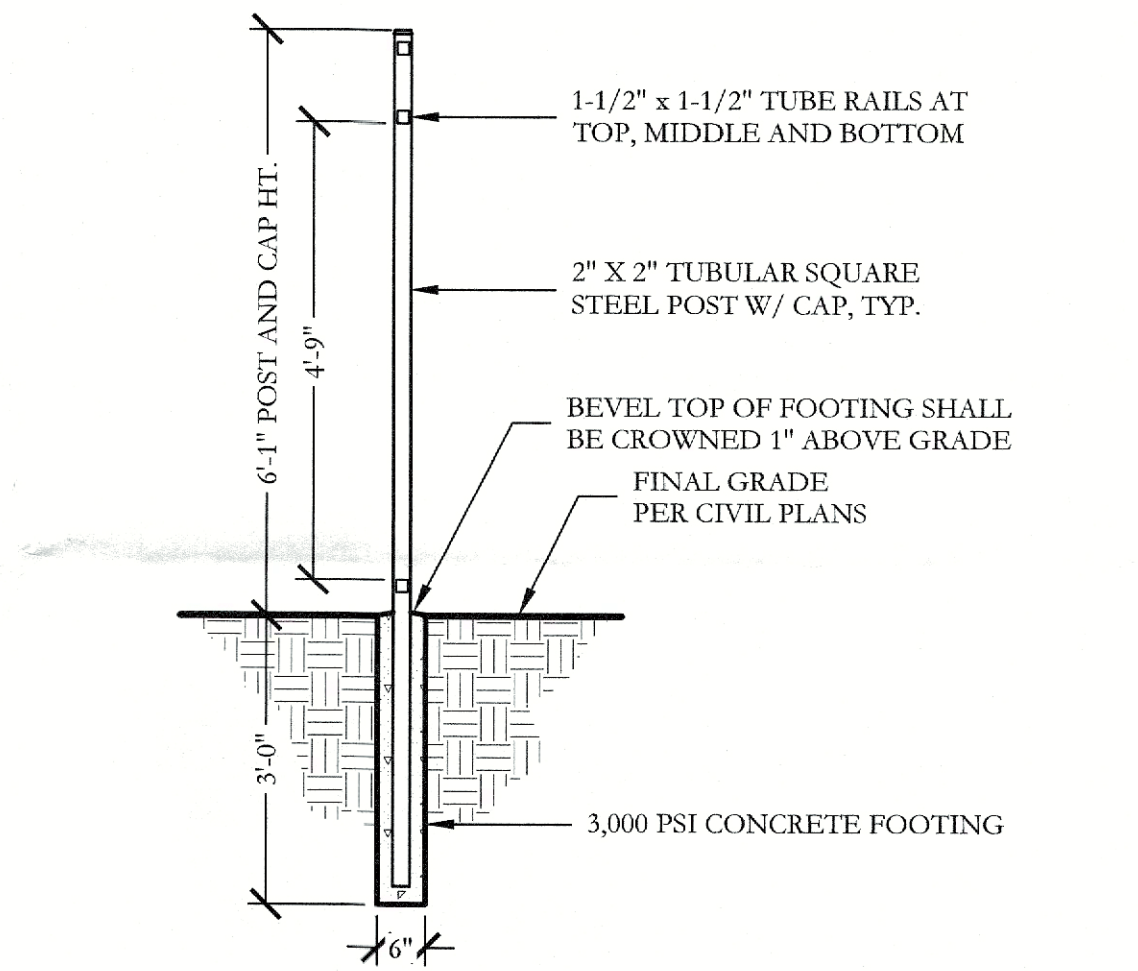
ORNAMENTAL METAL FENCE NOTES

1. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIMSELF FAMILIAR WITH ALL UNDERGROUND UTILITIES, PIPES, AND STRUCTURES EITHER SHOWN OR NOT SHOWN ON THE PLANS. THE CONTRACTOR WILL BE RESPONSIBLE FOR ANY COST INCURRED DUE TO DAMAGE OR REPLACEMENT OF SAID UTILITIES AND STRUCTURES CAUSED BY HIS FORCES.
2. ALL CONCRETE USED IN FOOTING AND PIERS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI @ 28 DAYS.
3. THE CONTRACTOR IS RESPONSIBLE FOR ALL REQUIRED PERMITS AND TOWN INSPECTIONS.
4. ALL ORNAMENTAL METAL TUBES, POSTS, RAILS AND PICKETS SHALL BE FLUSH AND FREE OF ALL DENTS, SPURS, AND SHARP EDGES AND SHALL BE INSTALLED LEVEL, PLUMB, AND SQUARE.
5. PROVIDE CONTINUOUS WELDS ALONG ALL EDGES OF FENCE MEMBERS.
6. GRIND SMOOTH ALL WELDS.
7. ALL METAL SURFACES SHALL BE PRIMED AND PAINTED WITH TWO COATS OF RUSTPROOF PAINT, COLOR TO BE FLAT BLACK. CONTRACTOR TO SUBMIT SAMPLES AS REQUIRED.
8. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL DIMENSIONS BEFORE MANUFACTURING GATES AND FENCE. GATE LOCKING MECHANISM SHALL BE SELECTED BY OWNER.
9. ALL ORNAMENTAL METAL FENCE MEMBERS ARE TO BE TUBULAR MEMBERS IN ACCORDANCE WITH ASTM 513 HOT ROLLED STRUCTURAL STEEL 50,000 PSI TENSILE STRENGTH, 60,000 PSI YIELD STRENGTH.
10. FENCE MEMBER SIZES TO BE AS FOLLOWS:
 - 10.1. PICKETS, 3/4" SQUARE 16 GA.
 - 10.2. RAILS, 1-1/2" X 1-1/2" TUBE 16 GA.
 - 10.3. POSTS, 2" SQUARE 11 GA.
11. CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR ALL FENCE GATES AND OPENERS. SHOP DRAWINGS SHALL INCLUDE ALL PRODUCT CUT SHEETS AS WELL AS INSTALLATION AND MANUFACTURING DETAILS. CONTRACTOR TO BE RESPONSIBLE FOR STRUCTURAL DESIGN OF GATES.
12. CONCRETE FOOTING FOR POSTS SHALL BE 3X POST WIDTH FOR 2" SQUARE POSTS AND 2X POST WIDTH FOR 6" SQUARE POSTS.
13. POSTS SHALL BE PLACED AT A MINIMUM DISTANCE OF 6'-0" O.C. AND A MAXIMUM DISTANCE OF 8'-0" O.C.
14. FENCE SHALL MEET LOCAL CODES AND REQUIREMENTS. CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING COMPLIANCE INCLUDING NECESSARY UPSIZING OF POSTS, PICKETS AND HORIZONTAL BARS AND INCREASING THE HEIGHT OF THE FENCE AS IT APPEARS IN THIS DETAIL AT NO ADDITIONAL COST TO THE OWNER FOR MATERIALS AND/OR LABOR.

3 6'-0" HT. ORNAMENTAL METAL FENCE
ELEVATION
SCALE: 1/2" = 1'-0"



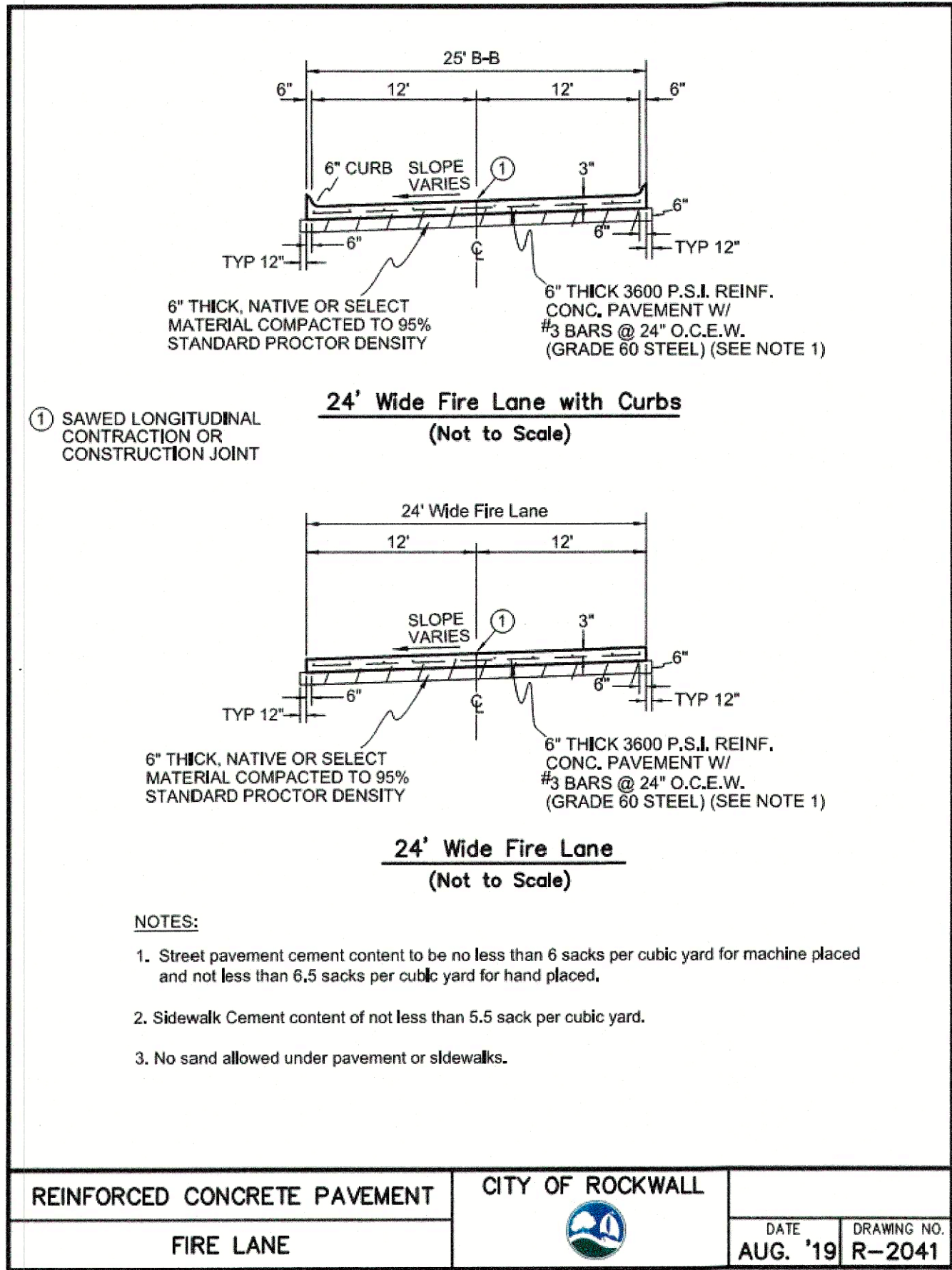
4 TYP. METAL POST FOOTING
SECTION
SCALE: 1/2" = 1'-0"



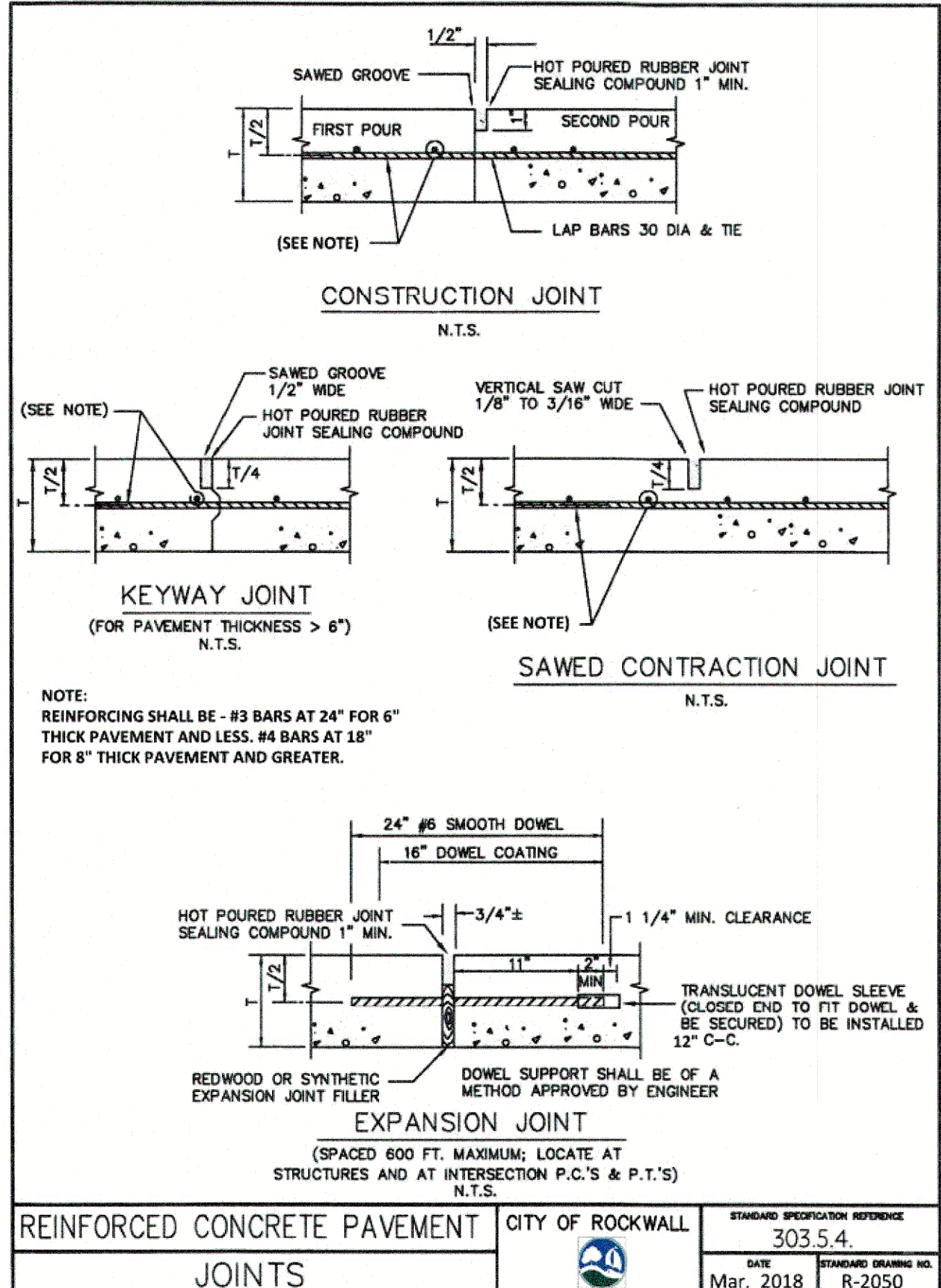
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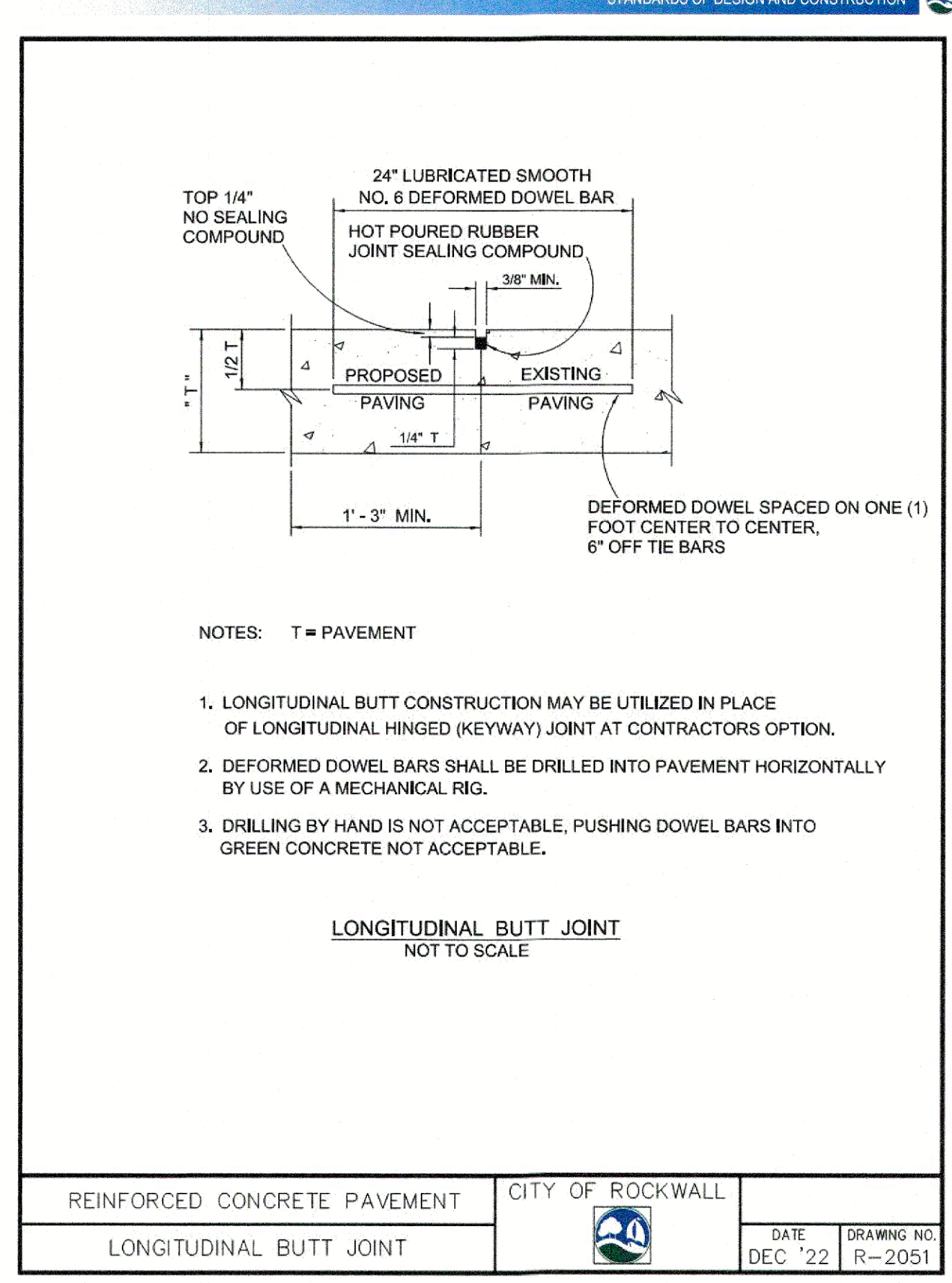
Planning & Zoning Commission, Chairman
Director of Planning and Zoning



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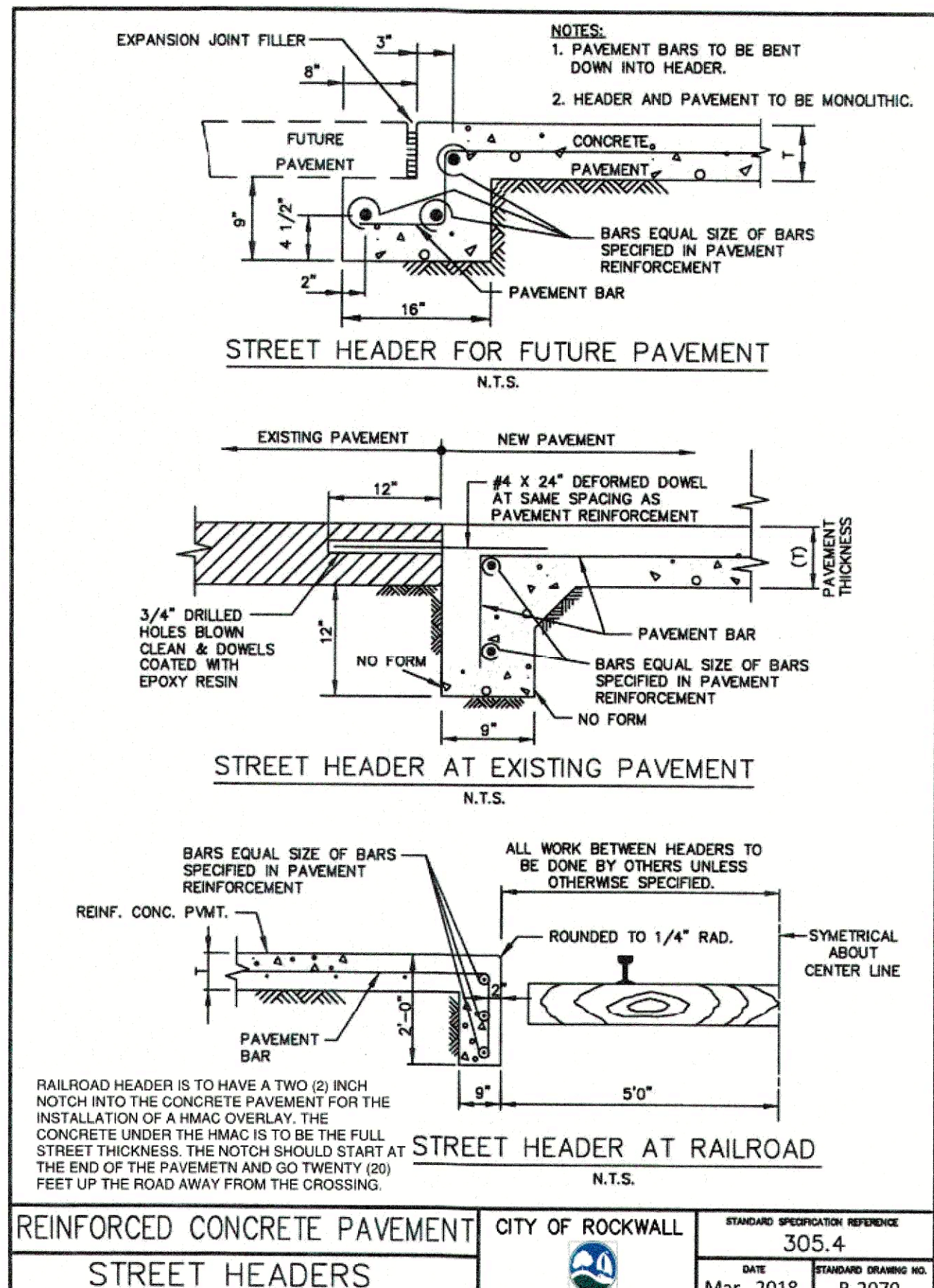


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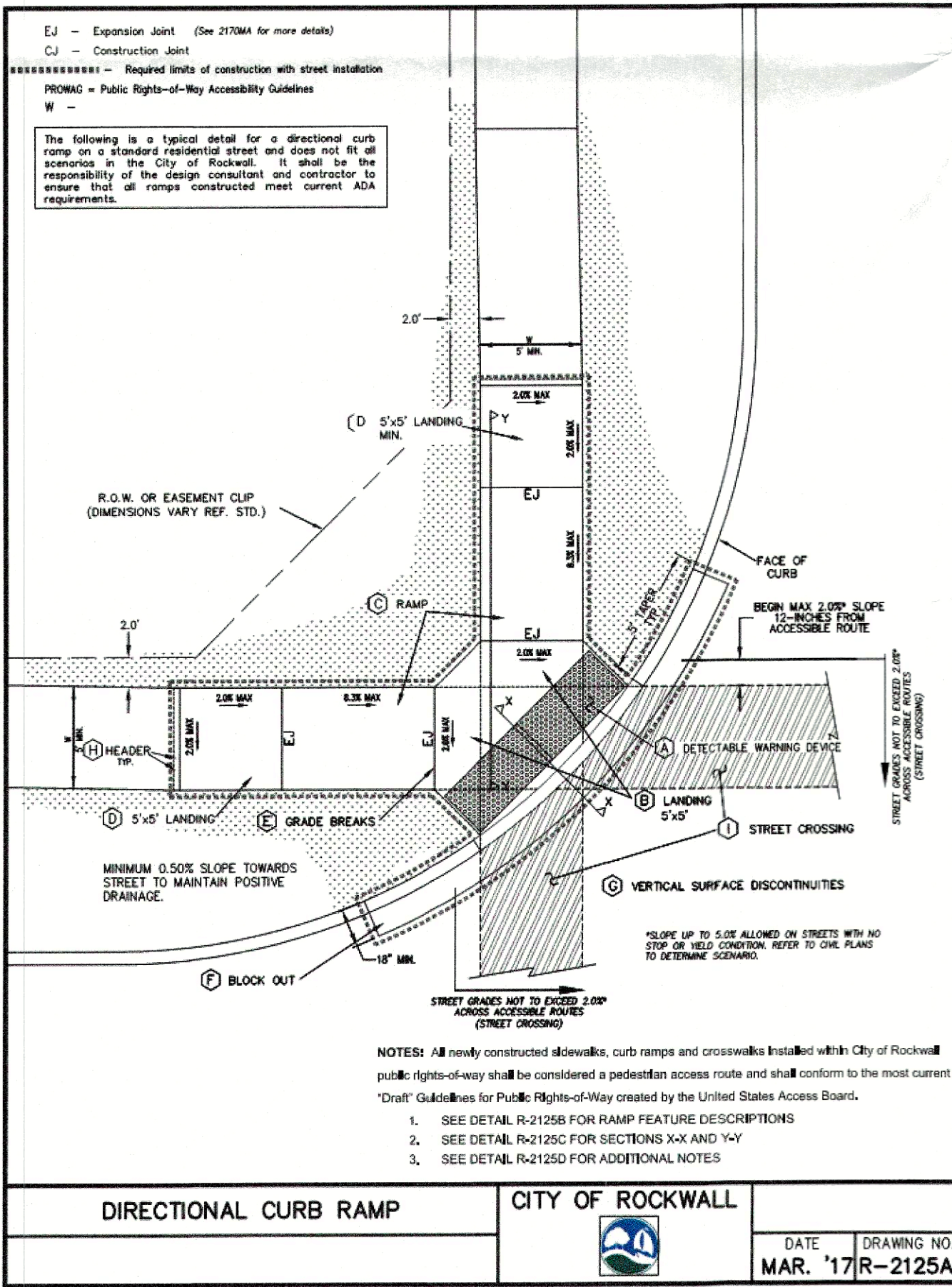


CITY OF ROCKWALL

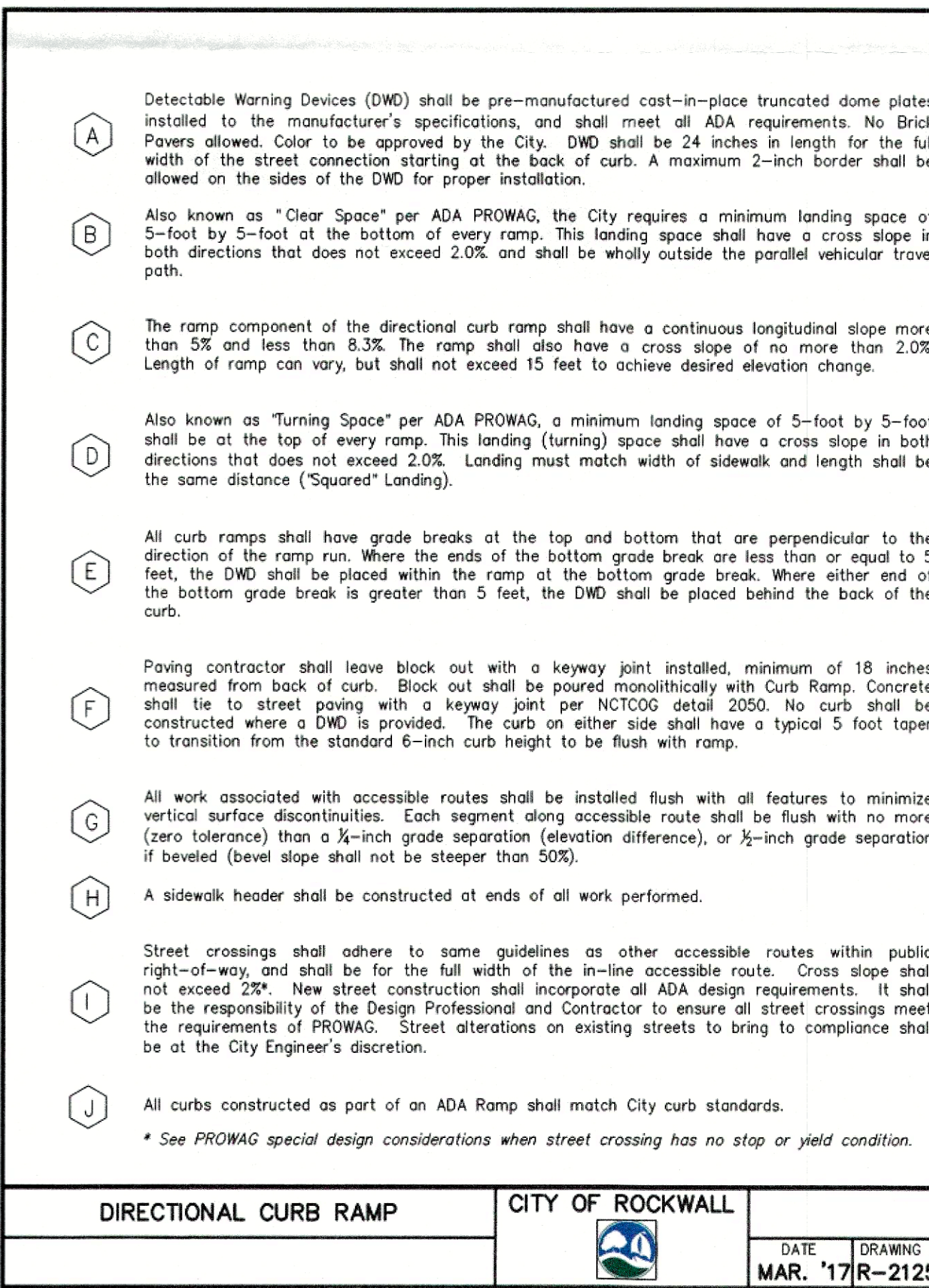
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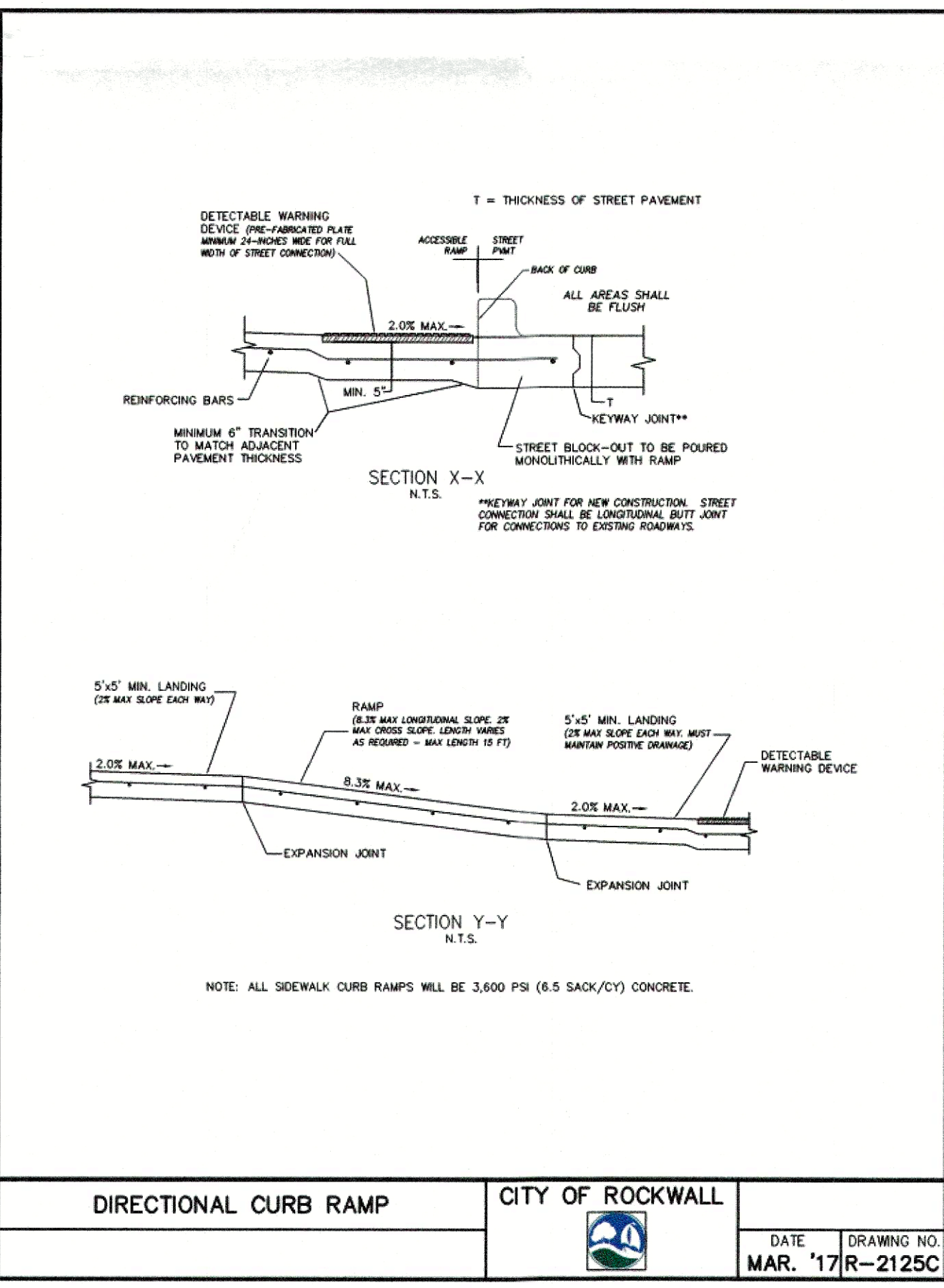
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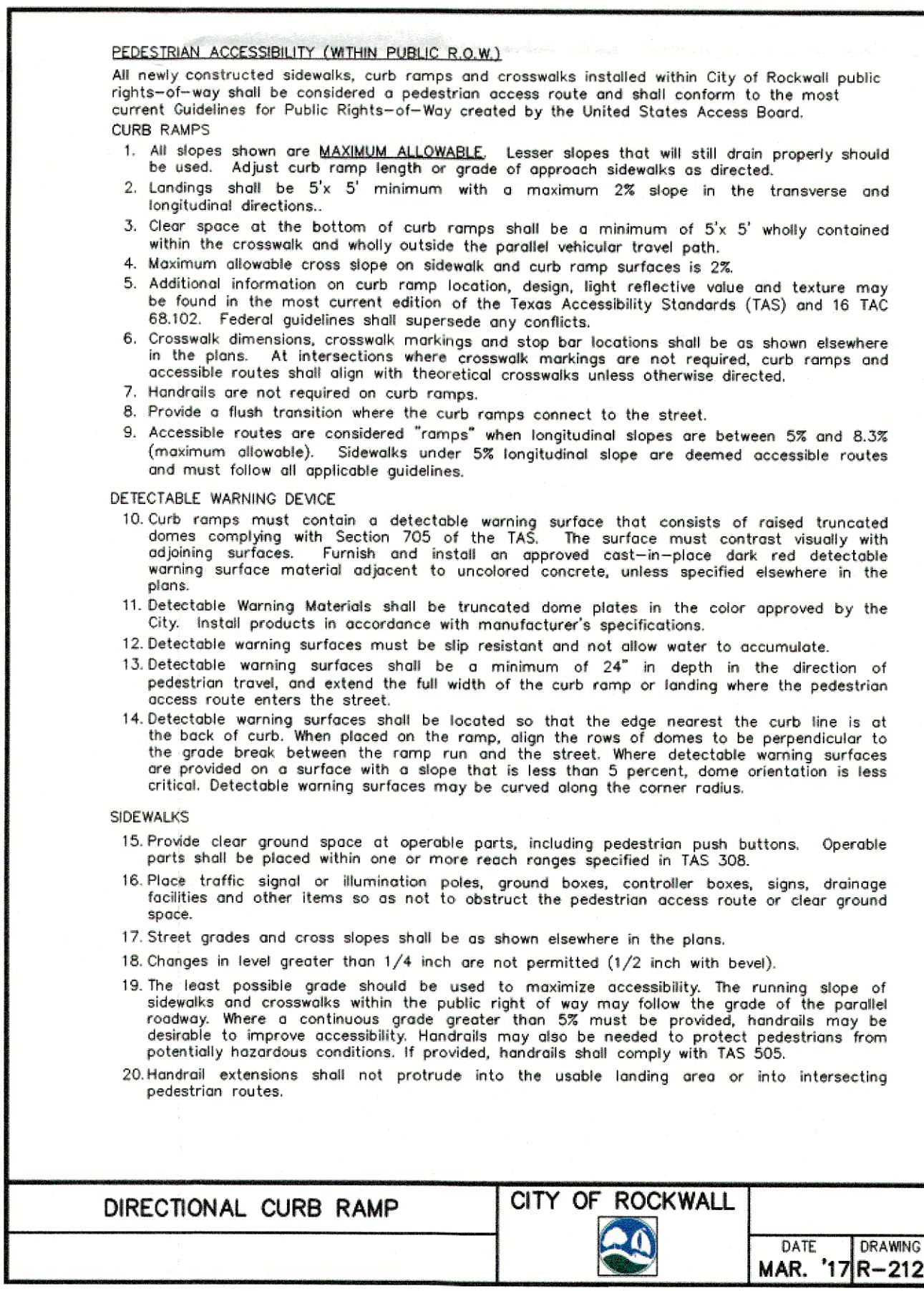
Page 269



Page 270



Page 271



Page 272

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Planning & Zoning Commission, Chairman

Director of Planning and Zoning

JOHNSON VOLK CONSULTING

HOMESTEAD PHASE I - AMENITY CENTER CITY OF ROCKWALL ROCKWALL COUNTY, TEXAS

AMENITY CENTER FACILITY CITY OF ROCKWALL CONSTRUCTION DETAILS

THESE DOCUMENTS ARE FOR INTERIM REVIEW ONLY AND NOT INTENDED FOR CONSTRUCTION OR BIDDING PURPOSES.

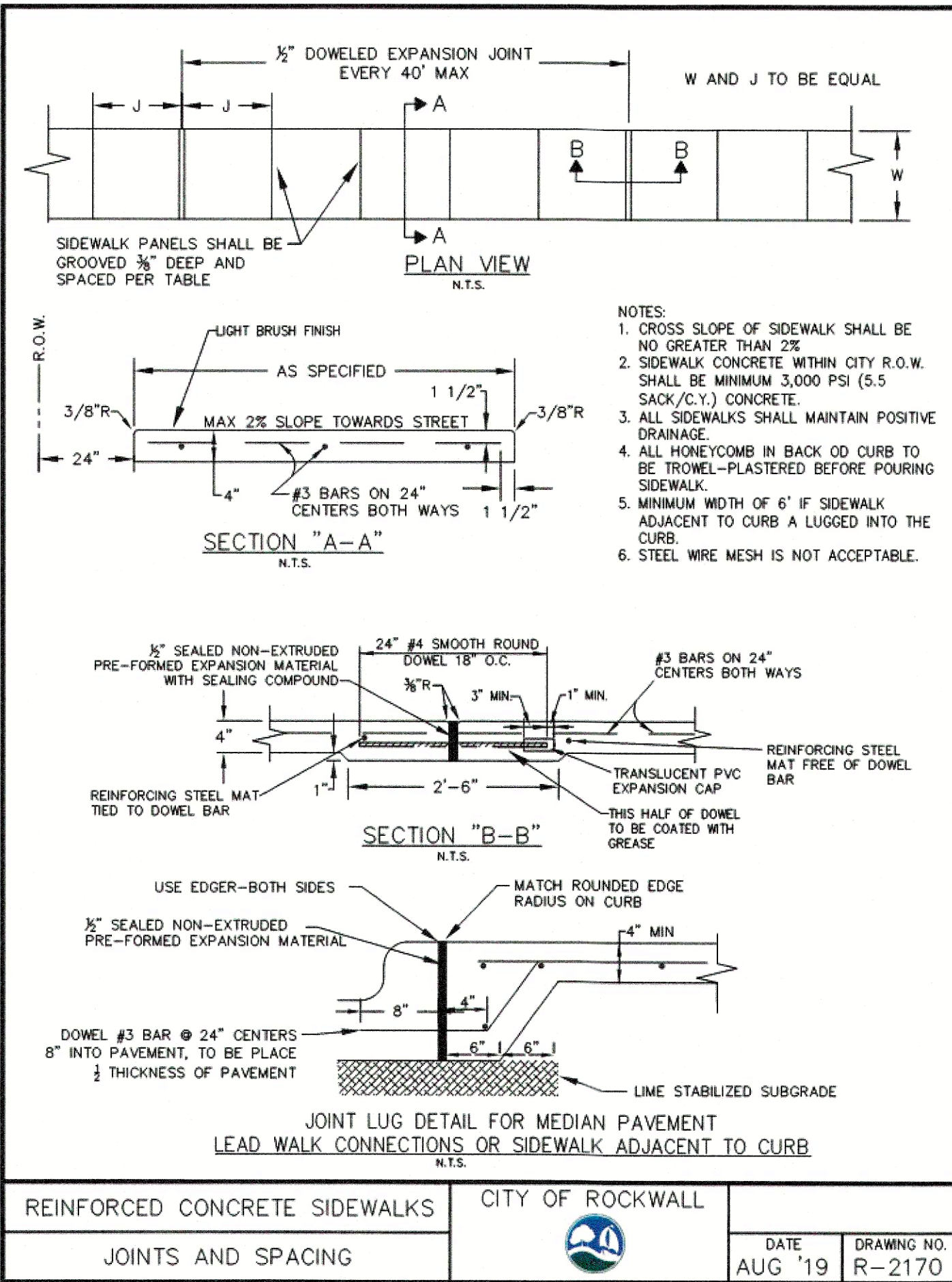
December 05, 2023

SCALE: REFER TO DETAILS One Inch JVC No SHA012A

L7

CITY CASE NO. SP2023-046

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Page 277

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Planning & Zoning Commission, Chairman

Director of Planning and Zoning

AMENITY CENTER FACILITY
CITY OF ROCKWALL
CONSTRUCTION DETAILS

THESE DOCUMENTS ARE FOR INTERIM REVIEW ONLY AND NOT INTENDED FOR CONSTRUCTION OR BIDDING PURPOSES.

December 05, 2023

SCALE:
REFER TO DETAILS
One Inch
JVC No SHA012A

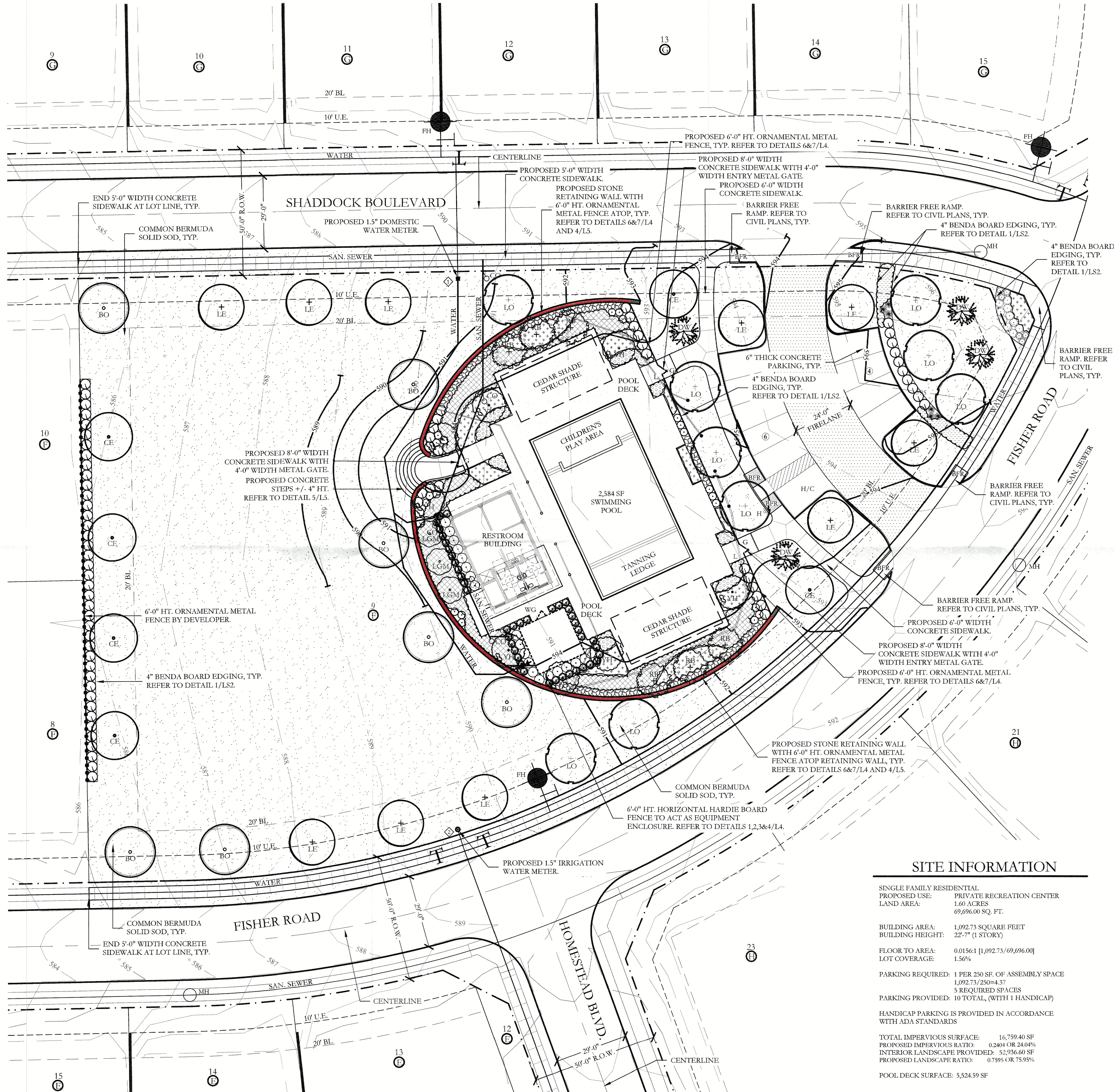
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HOMESTEAD
PHASE I - AMENITY CENTER
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

JOHNSON VOLK CONSULTING
704 Central Parkway East | Suite 1200 | Plano, TX 75074 | 972.201.3100
TBEELS Engineering Firm No. 11982 / Land Surveying Firm No. 10194033

CITY CASE NO. SP2023-046

\\jvc-fp1\jvc-landscape\gis-admin\projects\landsc\2a\shad\shad072a-ldg



SITE INFORMATION

SINGLE FAMILY RESIDENTIAL
PROPOSED USE: PRIVATE RECREATION CENTER
LAND AREA: 1.60 ACRES
69,696.00 SQ. FT.
BUILDING AREA: 1,092.73 SQUARE FEET
BUILDING HEIGHT: 22'-7" (1 STORY)
FLOOR TO AREA: 0.0156:1 [1,092.73/69,696.00]
LOT COVERAGE: 1.56%
PARKING REQUIRED: 1 PER 250 SF. OF ASSEMBLY SPACE
1,092.73/250=4.37
5 REQUIRED SPACES
PARKING PROVIDED: 10 TOTAL, (WITH 1 HANDICAP)
HANDICAP PARKING IS PROVIDED IN ACCORDANCE WITH ADA STANDARDS
TOTAL IMPERVIOUS SURFACE: 16,759.40 SF
PROPOSED IMPERVIOUS RATIO: 0.2404 OR 24.04%
INTERIOR LANDSCAPE PROVIDED: 52,936.60 SF
PROPOSED LANDSCAPE RATIO: 0.7595 OR 75.95%
POOL DECK SURFACE: 5,524.59 SF

PLANT LEGEND

SYMBOL	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING
	LO	LIVE OAK	QUERCUS VIRGINIANA	4" CALIPER	AS SHOWN
	BO	BUR OAK	QUERCUS MACROCARPA	4" CALIPER	AS SHOWN
	LE	LACEBARK ELM	ULMUS PARVIFOLIA	4" CALIPER	AS SHOWN
	CE	CEDAR ELM	ULMUS CRASSIFOLIA	4" CALIPER	AS SHOWN
	LGM	LITTLE GEM MAGNOLIA	MAGNOLIA GRANDIFLORA LITTLE GEM	2" CALIPER	AS SHOWN
	DW	DESERT WILLOW	CHILOPSIS LINEARIS	2" CALIPER	AS SHOWN
	YH	YAUPON HOLLY	ILEX VOMITORIA	2" CALIPER	AS SHOWN
	RB	TEXAS REDBUD	CERCIS CANADENSIS VAR. TEXENSIS	2" CALIPER	AS SHOWN
		PURPLE DIAMOND LOROPETALUM	LOROPETALUM CHINENSIS 'PURPLE DIAMOND'	7 GALLON	48" O.C.
		TEXAS SAGE	LEUCOPHYLLUM FRUTESCENS	7 GALLON	48" O.C.
		GLOSSY ABELIA	LINNAEA X GRANDIFLORA	7 GALLON	36" O.C.
		DWARF BURFORD HOLLY	ILEX CORNUTA 'DWARF BURFORD'	7 GALLON	36" O.C.
		UPRIGHT ROSEMARY	ROSMARINUS OFFICINALIS 'UPRIGHT'	3 GALLON	36" O.C.
		DWARF MAIDEN GRASS	MISCANTHUS SINENSIS ADAGIO'	3 GALLON	36" O.C.
		MORNING LIGHT MISCANTHUS	MISCANTHUS SINENSIS 'MORNING LIGHT'	3 GALLON	36" O.C.
		RED YUCCA	HESPERALOE PARVIFLORA	3 GALLON	36" O.C.
		PLUM YEW PROSTRATA	CEPHALOTAXUS HARRINGTONIA 'PROSTRATA'	3 GALLON	48" O.C.
		LIRIOPE GRASS	LIRIOPE MUSCARI	1 GALLON	18" O.C.
		MEXICAN FEATHER GRASS	NASSELLA TENUISSIMA	1 GALLON	18" O.C.
		ANNUAL COLOR	TO BE SELECTED BY OWNER	4" POT	8" O.C.
		COMMON BERMUDA GRASS	CYNODON DACTYLON	SQUARE FEET	SOLID SOD

NOTE: IRRIGATION WILL MEET REQUIREMENTS OF UDC.

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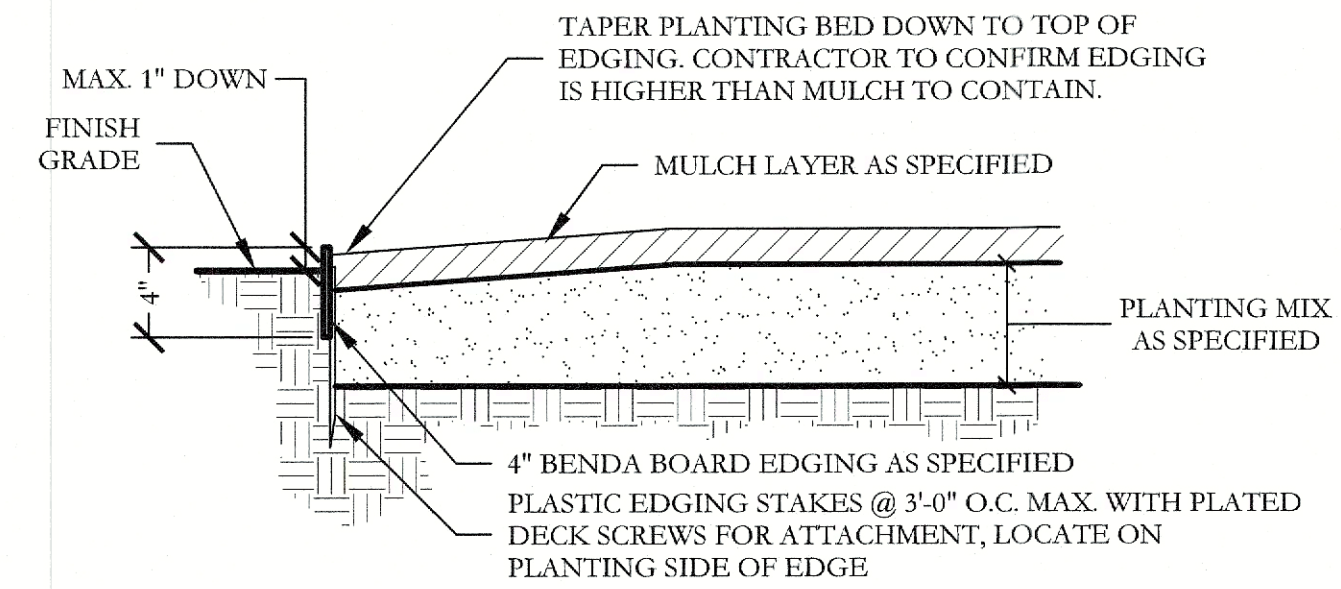
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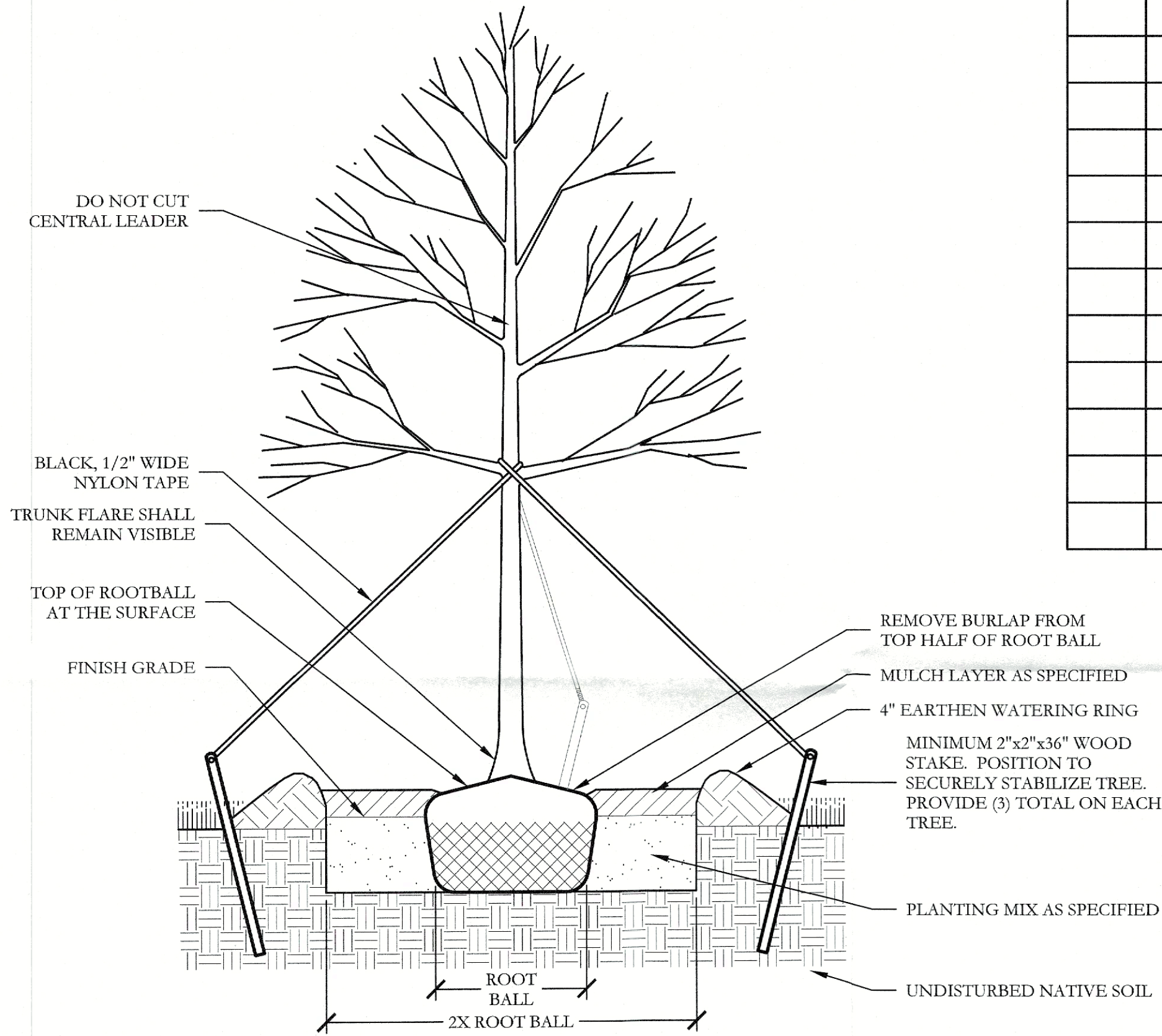
Planning & Zoning Commission, Chairman

Director of Planning and Zoning

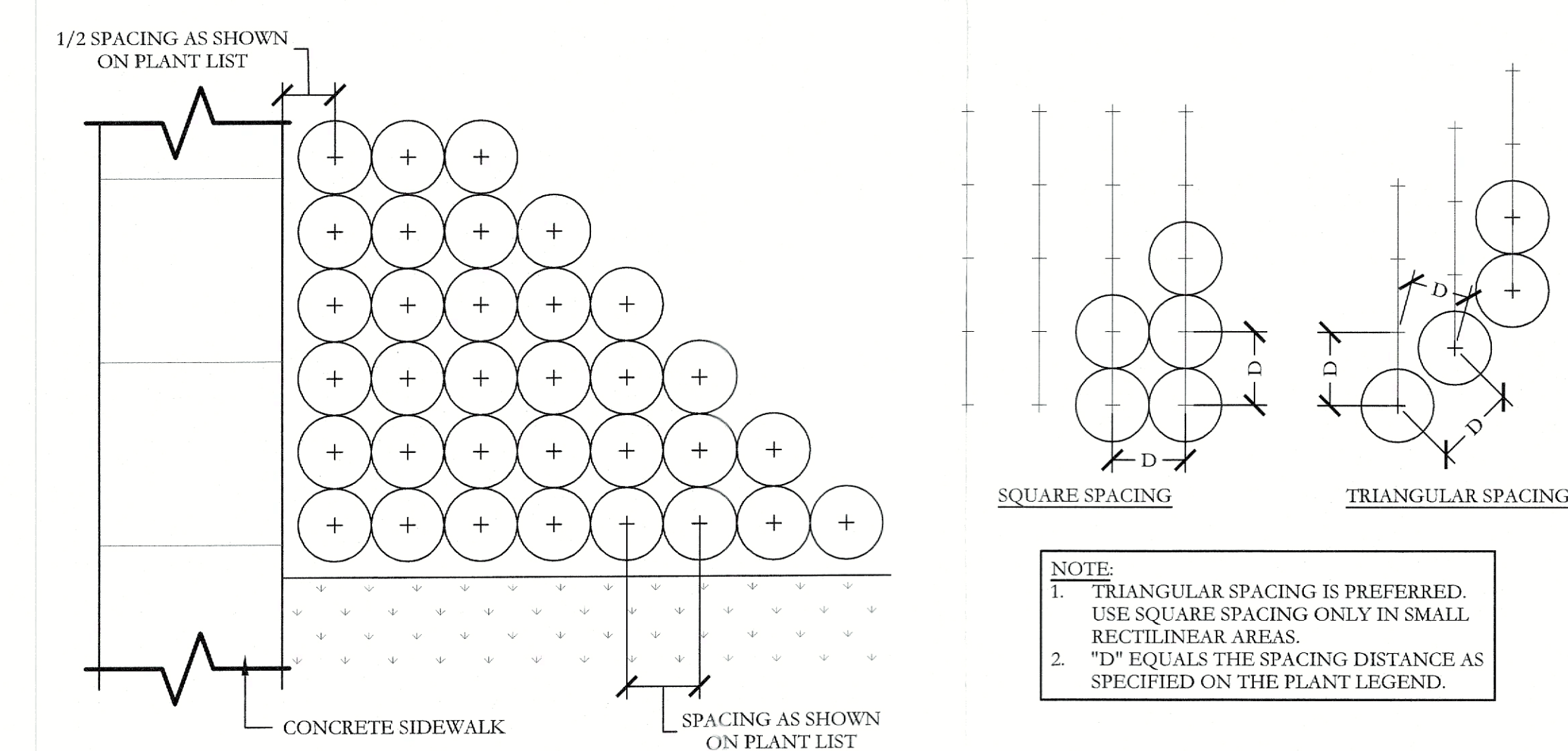
SCALE 1" = 20'



1 TYPICAL BED EDGING DETAIL
SECTION NOT TO SCALE



2 TYPICAL TREE PLANTING
SECTION NOT TO SCALE



3 TYPICAL SHRUB AND GROUNDCOVER PLANTING
PLAN/SECTION NOT TO SCALE

PLANT LIST						
KEY	ESTIMATED QUANTITY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING	REMARKS
LO	9	LIVE OAK	QUERCUS VIRGINIANA	4" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM BRANCHING HEIGHT AT 6'-0"; MINIMUM 10'-0" OVERALL HEIGHT.
BO	7	BUR OAK	QUERCUS MACROCARPA	4" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM BRANCHING HEIGHT AT 6'-0"; MINIMUM 10'-0" OVERALL HEIGHT.
LE	10	LACEBARK ELM	ULMUS PARVIFOLIA	4" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM BRANCHING HEIGHT AT 6'-0"; MINIMUM 10'-0" OVERALL HEIGHT.
CE	6	CEDAR ELM	ULMUS CRASSIFOLIA	4" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM BRANCHING HEIGHT AT 6'-0"; MINIMUM 10'-0" OVERALL HEIGHT.
LGM	3	LITTLE GEM MAGNOLIA	MAGNOLIA GRANDIFLORA 'LITTLE GEM'	2" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM 8'-0" OVERALL HEIGHT.
DW	4	DESERT WILLOW	CHILOPSIS LINEARIS	2" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM 8'-0" OVERALL HEIGHT.
YH	8	YAUPON HOLLY	ILEX VOMITORIA	2" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM 8'-0" OVERALL HEIGHT.
RB	6	TEXAS REDBUD	CERCIS CANADENSIS VAR. TEXENSIS	2" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM 8'-0" OVERALL HEIGHT.
	21	PURPLE DIAMOND LOROPETALUM	LOROPETALUM CHINENSIS 'PURPLE DIAMOND'	7 GALLON	48" O.C.	CONTAINER GROWN; FULL PLANT.
	74	TEXAS SAGE	LEUCOPHYLLUM FRUTESCENS	7 GALLON	48" O.C.	CONTAINER GROWN; FULL PLANT.
	67	GLOSSY ABELIA	LINNAEA X GRANDIFLORA	7 GALLON	36" O.C.	CONTAINER GROWN; FULL PLANT.
	42	DWARF BURFORD HOLLY	ILEX CORNUTA 'DWARF BURFORD'	7 GALLON	36" O.C.	CONTAINER GROWN; FULL PLANT.
	6	UPRIGHT ROSEMARY	ROSMARINUS OFFICINALIS 'UPRIGHT'	3 GALLON	36" O.C.	CONTAINER GROWN; FULL PLANT.
	6	DWARF MAIDEN GRASS	MISCANTHUS SINENSIS ADAGIO'	3 GALLON	36" O.C.	CONTAINER GROWN; FULL PLANT.
	10	MORNING LIGHT MISCANTHUS	MISCANTHUS SINENSIS 'MORNING LIGHT'	3 GALLON	36" O.C.	CONTAINER GROWN; FULL PLANT.
	21	RED YUCCA	HESPERALOE PARVIFLORA	3 GALLON	36" O.C.	CONTAINER GROWN; FULL PLANT.
	70	PLUM YEW PROSTRATA	CEPHALOTAXUS HARRINGTONIA 'PROSTRATA'	3 GALLON	48" O.C.	CONTAINER GROWN; FULL PLANT.
	825	LIRIOPE GRASS	LIRIOPE MUSCARI	1 GALLON	18" O.C.	CONTAINER GROWN; FULL PLANT.
	85	MEXICAN FEATHER GRASS	NASSELLA TENUISSIMA	1 GALLON	18" O.C.	CONTAINER GROWN; FULL PLANT.
	825	ANNUAL COLOR	TO BE SELECTED BY OWNER	4" POT	8" O.C.	CONTAINER GROWN; FULL PLANT.
	50,135	COMMON BERMUDA GRASS	CYNODON DACTYLON	SQUARE FEET	SOLID SOD	MINIMUM 100% COVERAGE ALL AREAS SHOWN

GENERAL LANDSCAPE NOTES

INSPECTIONS:

- NO EXCAVATION SHALL OCCUR IN CITY R.O.W. WITHOUT A R.O.W. PERMIT-CONTACT THE PUBLIC WORKS DEPARTMENT.
- THE CONTRACTOR SHALL MARK ALL WATER LINES, SEWER LINES, AND TREE LOCATIONS PRIOR TO CALLING FOR ROW INSPECTION AND PERMIT.
- THE LANDSCAPE INSTALLATION SHALL COMPLY WITH APPROVED LANDSCAPE DRAWINGS PRIOR TO FINAL ACCEPTANCE BY THE CITY AND ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- WATER METERS, CLEANOUTS AND OTHER APPURTENANCES, SHALL BE ACCESSIBLE, ADJUSTED TO GRADE, CLEARLY MARKED WITH FLAGGING AND COMPLIANT WITH PUBLIC WORKS DEPARTMENT STANDARDS PRIOR TO CALLING FOR FINAL LANDSCAPE AND ROW INSPECTIONS.

LANDSCAPE STANDARDS:

- PLANTINGS AND LANDSCAPE ELEMENTS SHALL COMPLY WITH THE CITY'S ENGINEERING DESIGN STANDARDS, PUBLIC R.O.W. VISIBILITY REQUIREMENTS.
- UNLESS OTHERWISE SPECIFIED, TREES SHALL BE PLANTED NO LESS THAN 4' FROM CURBS, SIDEWALKS, UTILITY LINES, SCREENING WALLS AND OTHER STRUCTURES. THE CITY HAS FINAL APPROVAL FOR ALL TREE PLACEMENTS.
- A MINIMUM THREE FEET (3') RADIUS AROUND A FIRE HYDRANT MUST REMAIN CLEAR OF LANDSCAPE PURSUANT TO THE FIRE CODE.
- STREET TREES, WHERE REQUIRED, SHALL BE (10') MINIMUM FROM THE EDGE OF A STORM SEWER CURB INLET BOX AND THE EDGE OF THE ROOT BALL SHALL BE (4') MINIMUM FROM THE WATER METER.
- THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1-2004) SPECIFICATIONS SHALL GOVERN PLANT QUALIFICATIONS, GRADES, AND STANDARDS.
- TREE PLANTING SHALL COMPLY WITH DETAILS HEREIN AND THE INTERNATIONAL SOCIETY OF ARBORICULTURE (ISA) STANDARDS.
- A 2-3" LAYER OF MULCH SHALL BE PROVIDED AROUND THE BASE OF THE PLANTED TREE. THE MULCH SHALL BE PULLED BACK 4" FROM THE TRUNK OF THE TREE.
- TREE PITS SHALL BE TESTED FOR WATER PERCOLATION. IF WATER DOES NOT DRAIN OUT OF TREE PIT WITHIN 24-HOURS, THE TREE SHALL BE MOVED OR DRAINAGE SHALL BE PROVIDED.
- ALL BEDS TO HAVE 3" OF COMPOSTED SOIL, LIVING EARTH TECHNOLOGY, OR APPROVED EQUAL TILLED AND TURNED TO A DEPTH OF 8" MINIMUM.
- ALL PLANT BEDS SHALL BE TOP DRESSED WITH A MINIMUM OF 3 INCHES OF HARDWOOD MULCH.
- NATIVE SITE TOPSOIL IS TO BE PROTECTED FROM EROSION OR STOCKPILED. NATIVE SITE TOPSOIL SHALL BE LABORATORY TESTED BY AND ACCREDITED LABORATORY AND AMENDED PER SAID LABORATORY'S RECOMMENDATIONS.

IRRIGATION STANDARDS:

- ANY CHANGES TO THESE APPROVED IRRIGATION DRAWINGS SHALL BE AUTHORIZED BY THE CITY. CONTACT DEVELOPMENT SERVICES FOR AN IRRIGATION PERMIT PRIOR TO INSTALLING THE IRRIGATION SYSTEM.
- IRRIGATION OVER-SPRAY ON STREETS AND WALKS IS PROHIBITED.
- MAINLINES, VALVES, OR CONTROL WIRES SHALL NOT BE LOCATED IN THE CITY'S ROW.
- ET IRRIGATION CONTROLLERS SHALL BE PROGRAMMED AND ADJUSTED TO NOT EXCEED THE LANDSCAPE WATER ALLOWANCE (LWA) PRIOR TO APPROVAL OF LANDSCAPE INSTALLATION.
- VALVES SHALL BE LOCATED A MINIMUM OF (3') AWAY FROM STORM SEWERS, AND SANITARY SEWER LINES AND 5 FEET FROM CITY FIRE HYDRANTS AND WATER VALVES.
- THE BORE DEPTH UNDER STREETS, DRIVE AISLES, AND FIRE LANES SHALL PROVIDE (2') OF CLEARANCE (MINIMUM).
- IRRIGATION HEADS THAT RUN PARALLEL AND NEAR PUBLIC WATER AND SANITARY SEWER LINES; SHALL BE FED FROM STUBBED LATERALS OR BULL-HEADS. A MINIMUM FIVE FOOT (5') SEPARATION IS REQUIRED BETWEEN IRRIGATION MAIN LINES AND LATERALS THAT RUN PARALLEL TO PUBLIC WATER AND SANITARY SEWER LINES.
- NO VALVES, BACKFLOW PREVENTION ASSEMBLIES, QUICK COUPLERS ETC. SHALL BE LOCATED CLOSER THAN 10' FROM THE CURB AT STREET OR DRIVE INTERSECTION.

MAINTENANCE STANDARDS:

- THE OWNER SHALL BE RESPONSIBLE FOR THE ESTABLISHMENT, MAINTENANCE, AND VIGOR OF PLANT MATERIAL IN ACCORDANCE WITH THE DESIGN INTENT AND AS APPROPRIATE FOR THE SEASON OF THE YEAR.
- LANDSCAPE AND OPEN AREAS SHALL BE FREE OF TRASH, LITTER AND WEEDS.
- NO PLANT MATERIAL SHALL BE ALLOWED TO ENCRONCH ON R.O.W. SIDEWALKS OR EASEMENTS TO THE EXTENT THAT VISION OR ROUTE OF TRAVEL FOR VEHICULAR, PEDESTRIAN, OR BICYCLE TRAFFIC IS IMPEDED.
- TREE MAINTENANCE SHALL BE IN ACCORDANCE WITH THE STANDARDS OF THE INTERNATIONAL SOCIETY OF ARBORICULTURE.
- TREE STAKING MATERIALS, IF USED, SHALL BE REMOVED AFTER (1) GROWING SEASON, NO MORE THAN (1) YEAR AFTER INSTALLATION (STEEL TREE STAKES, WIRES, AND HOSES ARE PROHIBITED).

TREE PROTECTION NOTES:

- CONTACT DEVELOPMENT SERVICES FOR A TREE REMOVAL PERMIT PRIOR TO REMOVAL OR TRANSPLANTING OF ANY TREES.
- ALL TREES WHICH ARE TO REMAIN ON SITE SHALL BE PROTECTED WITH A (4') TALL BRIGHTLY COLORED PLASTIC FENCE, OR SILT FENCE, PLACED AT THE DRIP LINE OF THE TREES.
- PRIOR TO THE PRE-CONSTRUCTION MEETING OR OBTAINING A GRADING PERMIT, ALL TREE MARKINGS AND PROTECTIVE FENCING SHALL BE INSTALLED BY THE OWNER AND BE INSPECTED BY DEVELOPMENT SERVICES.
- NO EQUIPMENT SHALL BE CLEANED, OR HARMFUL LIQUIDS DEPOSITED WITHIN THE LIMITS OF THE ROOT ZONE OF TREES WHICH REMAIN ON SITE.
- NO SIGNS, WIRES, OR OTHER ATTACHMENTS SHALL BE ATTACHED TO ANY TREE TO REMAIN ON SITE.
- VEHICULAR AND CONSTRUCTION EQUIPMENT SHALL NOT PARK OR DRIVE WITHIN THE LIMITS OF THE DRIP LINE.
- GRADE CHANGES IN EXCESS OF 3 INCHES (CUT OR FILL) SHALL NOT BE ALLOWED WITHIN A ROOT ZONE, UNLESS ADEQUATE TREE PRESERVATION METHODS ARE APPROVED BY THE CITY.
- NO TRENCHING SHALL BE ALLOWED WITHIN THE DRIP-LINE OF A TREE, UNLESS APPROVED BY THE CITY.
- ALL REMOVED TREES SHALL BE CHIPPED AND USED FOR MULCH ON SITE OR HAULED OFF-SITE.
- ALL TREE MAINTENANCE TECHNIQUES SHALL BE IN CONFORMANCE WITH INDUSTRY IDENTIFIED STANDARDS. IMPROPER OR MALICIOUS PRUNING TECHNIQUES ARE STRICTLY PROHIBITED.

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.

APPROVED:

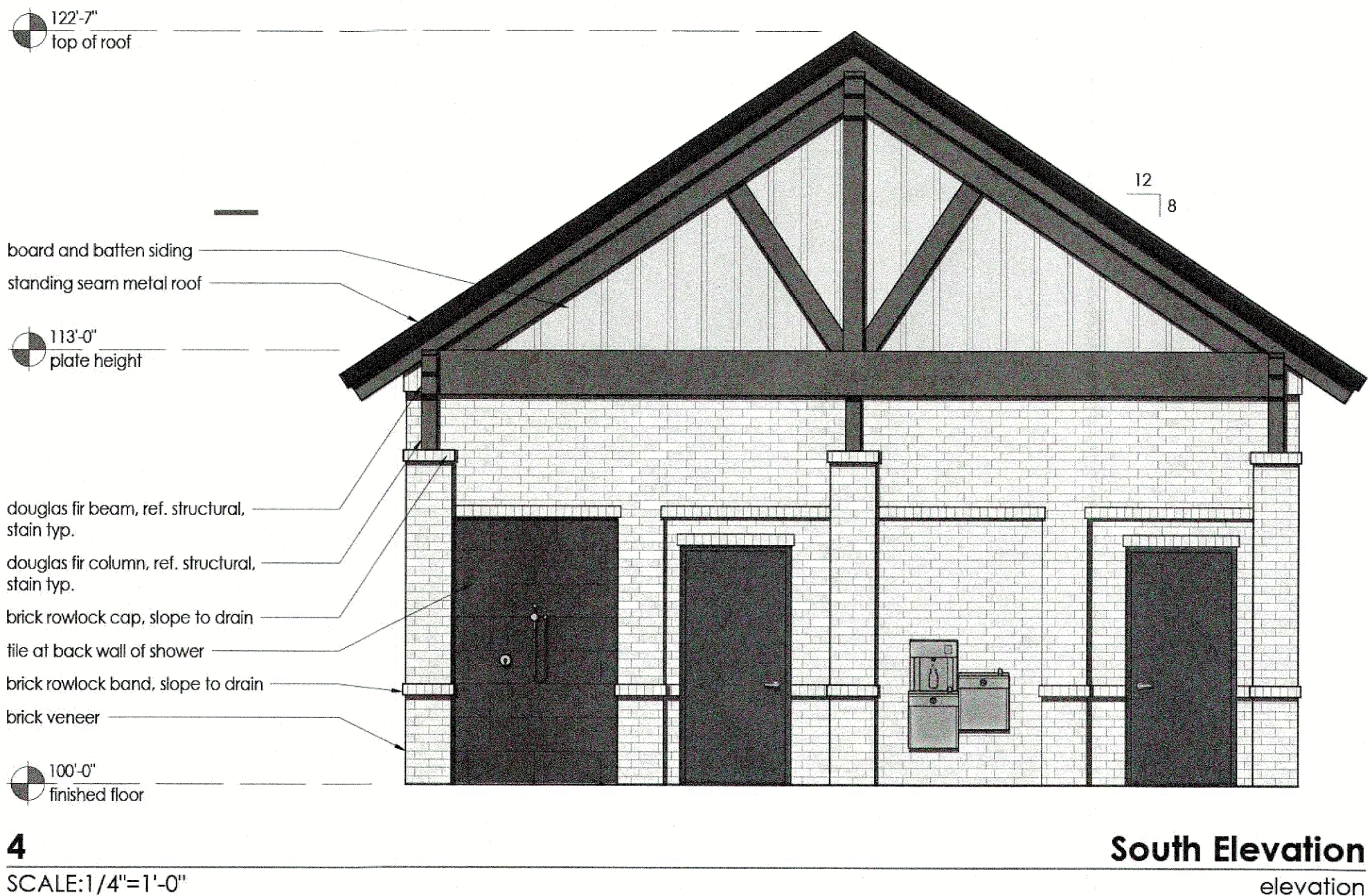
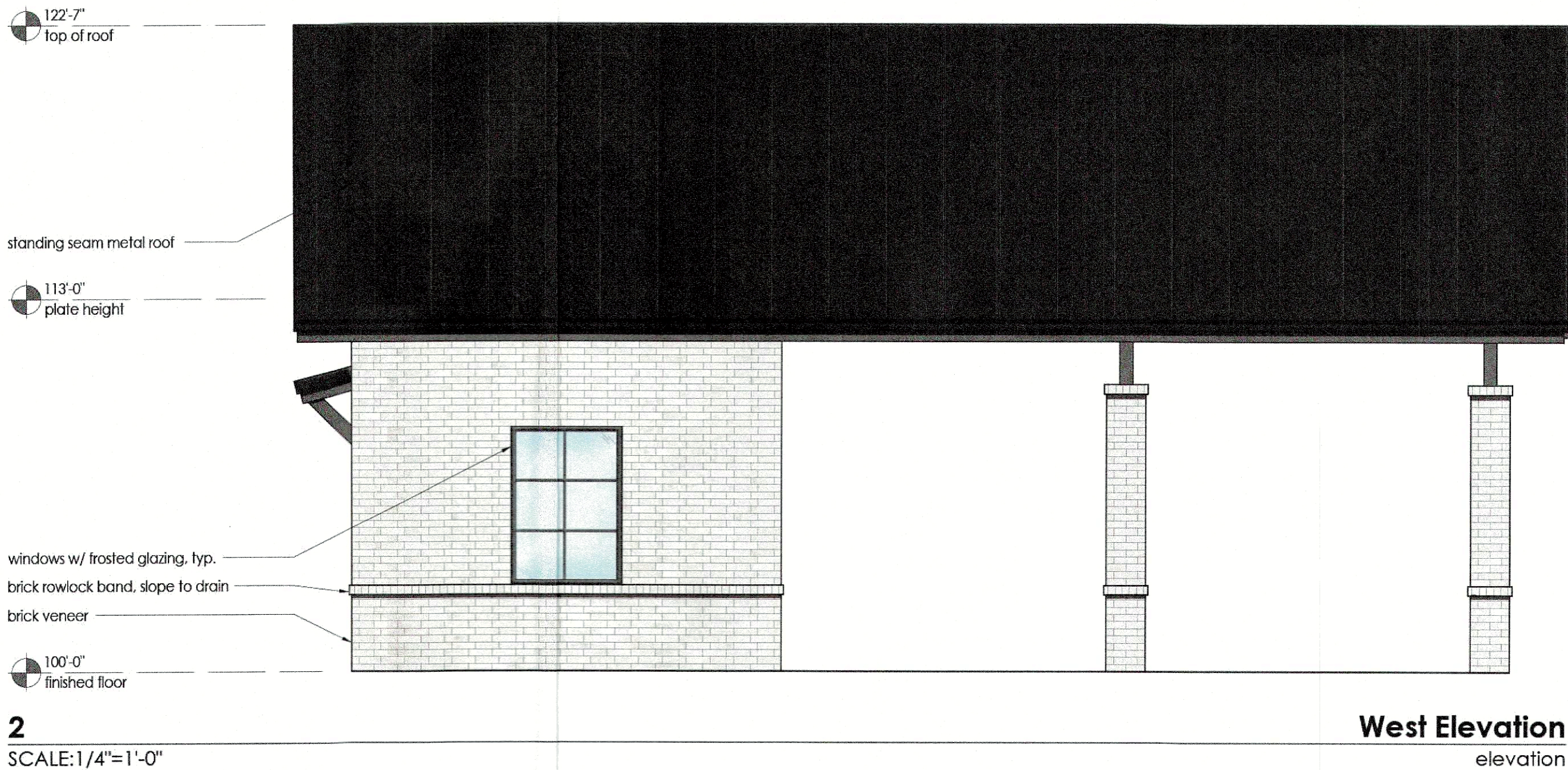
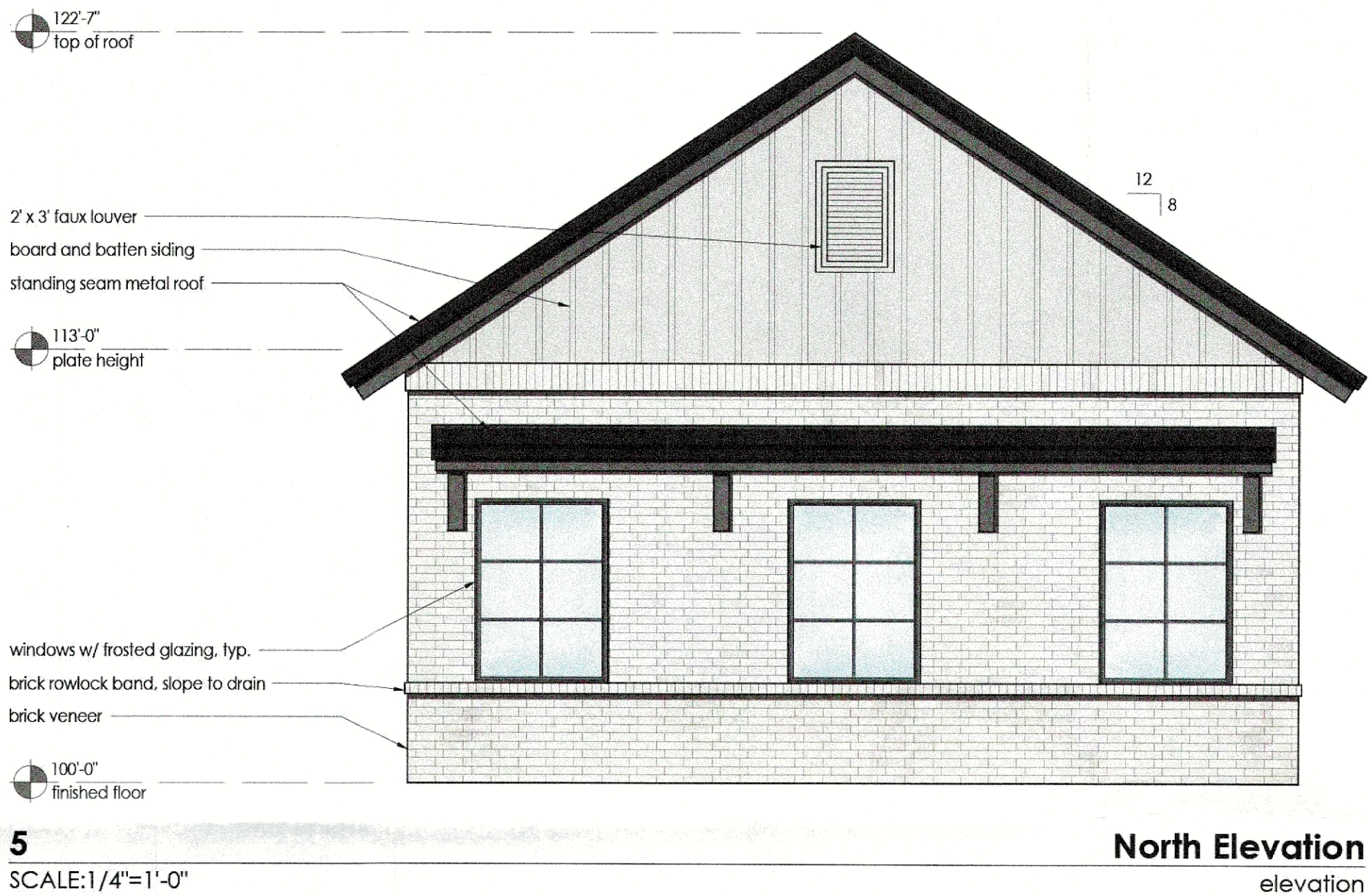
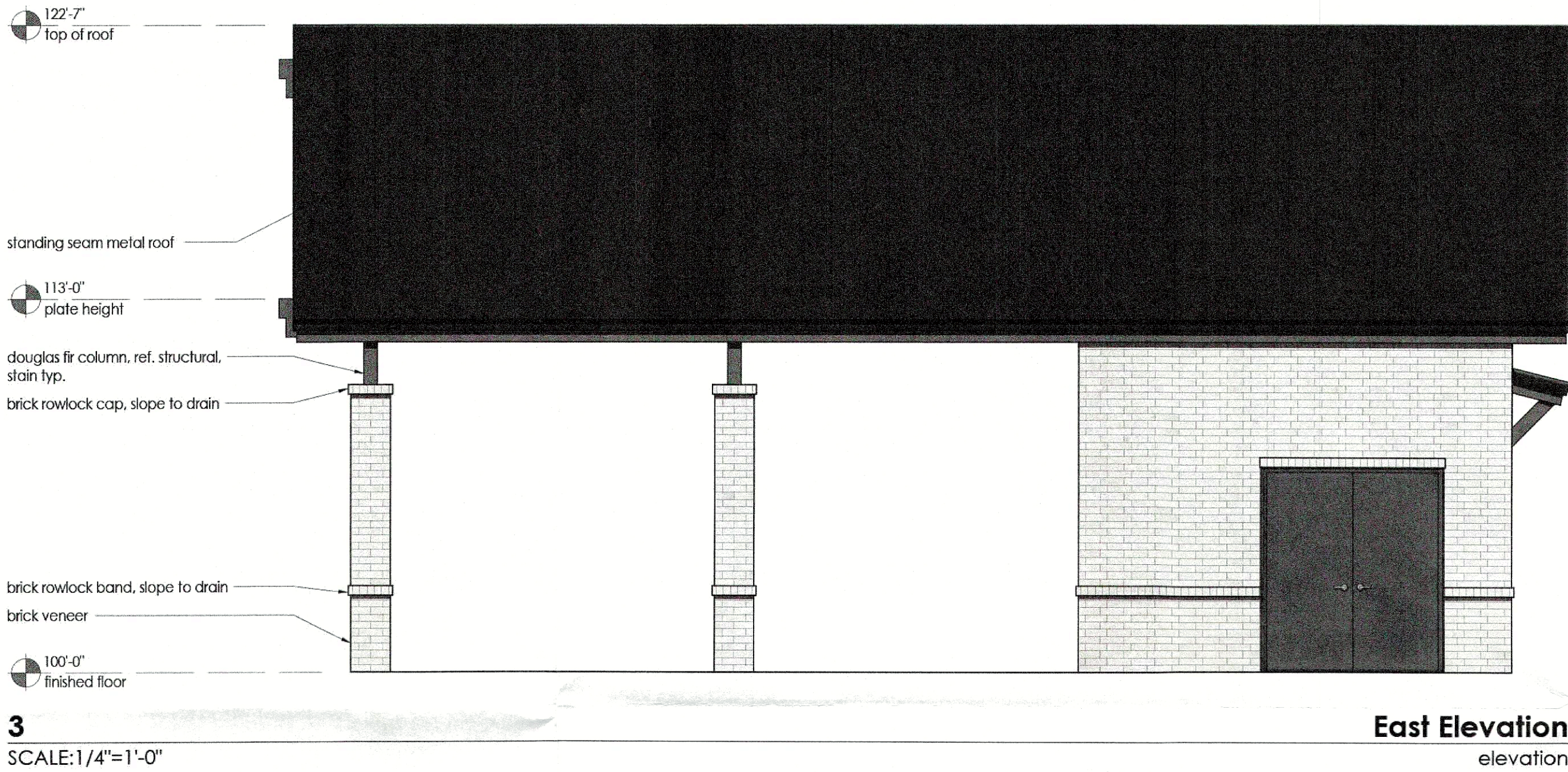
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the 12 day of December, 2023.

WITNESS OUR HANDS, this 12 day of December 2023.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

BUILDING MATERIAL CALCULATIONS								
Material	North	Percent	South	Percent	East	Percent	West	Percent
TOTAL SQ. FT. (EXCLUDING DOORS/WINDOWS/TRIM/ROOF AREA)	341 S.F.	-	400 S.F.	-	141 S.F.	-	164 S.F.	-
PRIMARY MATERIAL TOTALS	338 S.F.	99.12%	288 S.F.	72.00%	139 S.F.	98.58%	162 S.F.	98.78%
BRICK VENEER	229 S.F.	67.16%	226 S.F.	56.50%	139 S.F.	98.58%	162 S.F.	98.78%
BOARD AND BATTEN FIBER CEMENT SIDING	109 S.F.	31.96%	62 S.F.	15.50%	-	-	-	-
SECONDARY MATERIALS	3 S.F.	0.88%	112 S.F.	28.00%	2 S.F.	1.42%	2 S.F.	1.22%
DOUGLAS FIR BEAMS/COLUMNS	3 S.F.	0.88%	72 S.F.	18.00%	2 S.F.	1.42%	2 S.F.	1.22%
TILE AT SHOWER	-	-	40 S.F.	10.00%	-	-	-	-
DOORS/WINDOWS/TRIM (COLOR TO MATCH ADJACENT MATERIALS)	72 S.F.	-	48 S.F.	-	45 S.F.	-	22 S.F.	-
STANDING SEAM METAL ROOF	-	-	-	-	-	-	-	-



FACADE PLAN
HOMESTEAD, PHASE 1
LOT 9, BLOCK F
~AMENITY CENTER~

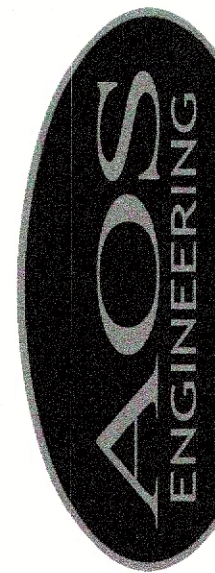
BEING 1.600 ACRES OUT OF THE
J.A. RAMSEY SURVEY
ABSTRACT NO. 186 IN THE
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

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in the City of Rockwall, Texas, was approved by the Planning & Zoning
Commission of the City of Rockwall on the 12 day of December, 2023.

WITNESS OUR HANDS, this 12 day of December, 2023.
[Signature] [Signature]
Planning & Zoning Commission, Chairman Director of Planning and Zoning

OWNER / DEVELOPER:
SHADDOCK HOMES, INC
2400 DALLAS PARKWAY, SUITE 460
MCKINNEY, TEXAS 75093
CONTACT: LORA ERDMAN
LANDSCAPE ARCHITECT/CIVIL ENGINEER:
JOHNSON VOLK CONSULTING
704 CENTRAL PARKWAY EAST, SUITE 1200
PLANO, TEXAS 75074
PH. 972-201-3100
CONTACT: CODY JOHNSON, RLA, ASLA, LI

CONTRACTOR SHALL COORDINATE
MEP DRAWINGS WITH ALL OTHER
DISCIPLINES



Texas Registered Engineering Firm F-0218
5020 Tennyson Parkway - Plano, TX 75024
Dallas / Fort Worth 214.432.3030
Houston 832.532.2007



HOMESTEAD
AMENITY CENTER
ROCKWALL, TEXAS

Issue: 11/10/2023

Revisions:

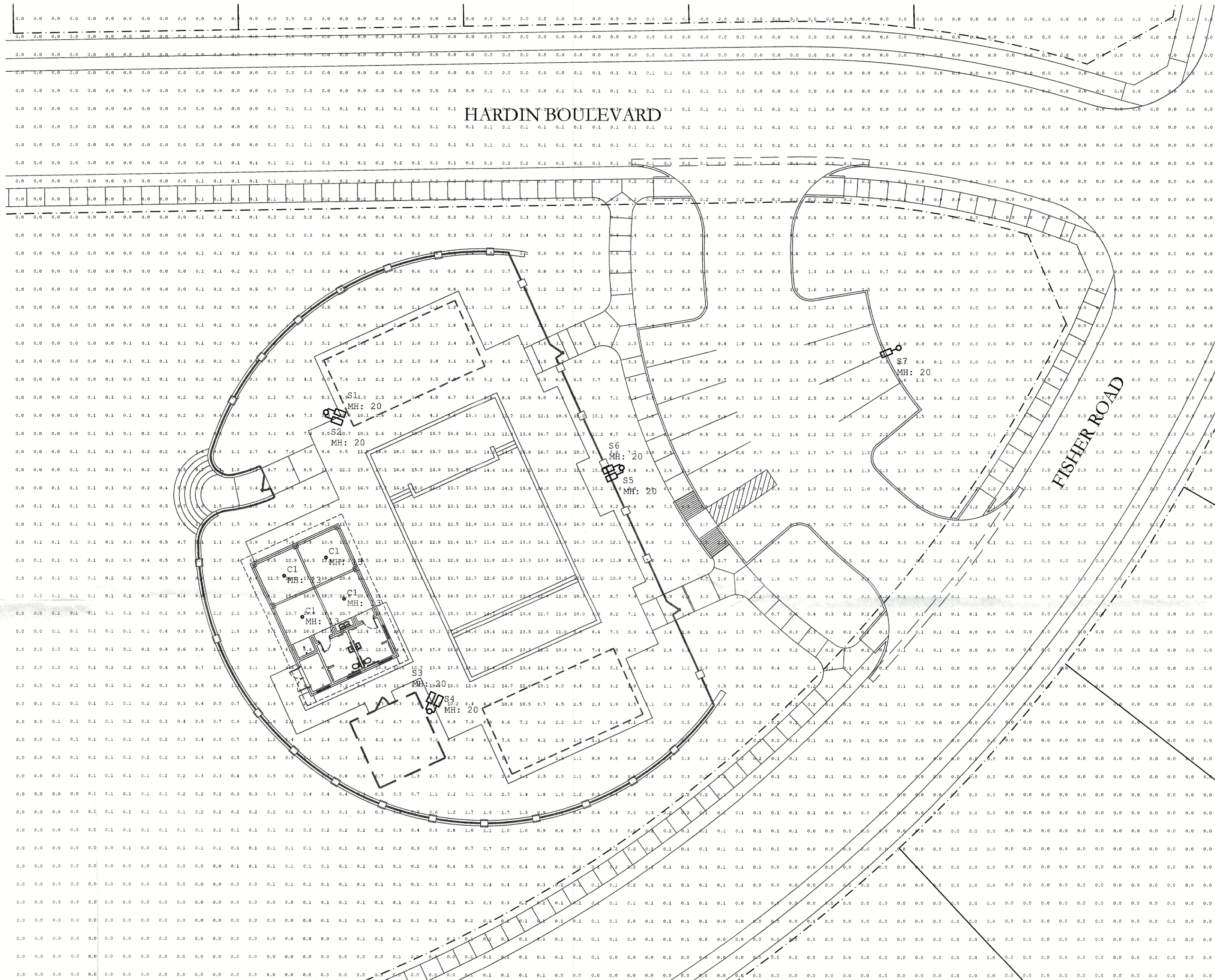
Drawing Title:

PHOTOMETRIC -
SITE PLAN

Sheet

E1.00

AOS JOB #: 4244-001-23



1 SITE PLAN - PHOTOMETRICS
SCALE 1" = 20'-0"

Luminaire Schedule		Qty	Label	Arrangement	Description	Tag	LLF	Luminaire Lumens	Luminaire Watts	Total Watts	Mounting Height
Symbol											
⊕		4	C1	SINGLE	DMF DCC DC4-(X)-D20WF-00000-40WH-(X)-R		0.900	2297	28	112	13
⊞		1	S1	SINGLE	EALSO3 K4AH740 WITH ELS-EAL-FS4-BLCK- LEFT	PAIRED WITH S2	0.900	24800	239	239	20
⊞		1	S2	SINGLE	EALSO3 K4AH740 WITH ELS-EAL-FS4-BLCK- LEFT	PAIRED WITH S1	0.900	24800	239	239	20
⊞		1	S3	SINGLE	EALSO3 K4AH740 WITH ELS-EAL-FS4-BLCK- RIGHT	PAIRED WITH S4	0.900	24800	239	239	20
⊞		1	S4	SINGLE	EALSO3 K4AH740 WITH ELS-EAL-FS4-BLCK- RIGHT	PAIRED WITH S3	0.900	24800	239	239	20
⊞		1	S5	SINGLE	EALSO3 K4AH740	PAIRED WITH S6	0.900	29000	239	239	20
⊞		1	S6	SINGLE	EALSO3 K4AH740	PAIRED WITH S5	0.900	29000	239	239	20
⊞		1	S7	SINGLE	EALSO3 D4AF740 -ELS-EAL-RBL-BLCK		0.900	8900	70	70	20

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Planning & Zoning Commission, Chairman

Director of Planning and Zoning