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BGE, INC.

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## GENERAL NOTES:

### GENERAL NOTES:

1. VERIFY SITE INFORMATION, INCLUDING PROPERTY LINES, EASEMENTS, BUILDINGS, ROADWAY CURBS AND GUTTERS, UTILITIES AND OTHER INFORMATION AFFECTING THE SCOPE OF WORK INCLUDED ON THESE DRAWINGS. MORE SPECIFIC UTILITY INFORMATION IS INDICATED ON THE OTHER CONSULTANTS DRAWINGS, THE CIVIL DRAWINGS, AND SITE RECORD DRAWINGS AVAILABLE FROM THE OWNER. THE CONTRACTOR SHALL CONTACT THE OWNER AND THE LANDSCAPE ARCHITECT FOR DIRECTION ON HOW TO PROCEED IF ACTUAL SITE CONDITIONS VARY FROM WHAT IS SHOWN ON THE CIVIL ENGINEERS OR LANDSCAPE ARCHITECT'S PLANS.
2. THE CONTRACTOR SHALL NOTIFY LOCAL AUTHORITIES AND THE GENERAL CONTRACTOR FOR LOCATION OF EXISTING UNDERGROUND UTILITIES. EXCAVATE AS NECESSARY TO CONFIRM LOCATIONS PRIOR TO EXCAVATION.
3. EXCAVATION IN THE VICINITY OF UTILITIES SHALL BE UNDERTAKEN WITH CARE. THE CONTRACTOR BEARS FULL RESPONSIBILITY FOR THIS WORK. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL SITE UTILITIES PRIOR TO BEGINNING EXCAVATION. ANY DAMAGE TO UTILITIES THAT ARE TO REMAIN CAUSED BY ANY PERSON, VEHICLE, EQUIPMENT, OR TOOL RELATED TO THE EXECUTION OF THE CONTRACT SHALL BE REPAIRED IMMEDIATELY AT NO EXPENSE TO THE OWNER.
4. CONTRACTOR TO VERIFY CONSTRUCTION COMPLIANCE WITH AMERICANS WITH DISABILITIES ACT (ADA) OF 1990, AS AMENDED, THE ADA ACCESSIBILITY GUIDELINES (ADAAG) OF 2004, AS AMENDED, AND THE TEXAS ACCESSIBILITY STANDARDS, AS AMENDED. NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES.
5. CONTRACTOR TO PROVIDE NECESSARY EROSION CONTROL MEASURES AS NEEDED.
6. ALL CONSTRUCTION WILL CONFORM TO THESE PLANS AND SPECIFICATIONS. ALL CONSTRUCTION WILL ALSO CONFORM TO ALL RELEVANT CITY STANDARDS AND SPECIFICATIONS.

### DEMOLITION NOTES:

1. CONTRACTOR TO VERIFY LOCATIONS OF EXISTING UTILITIES AND UNLESS NOTED OTHERWISE, MAINTAIN THEM IN OPERATION DURING CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO UTILITIES.
2. REFERENCE CIVIL DRAWINGS FOR LIMITS OF REQUIRED DEMOLITION.
3. CONTRACTOR SHALL TAKE CARE TO MINIMIZE DISTURBANCE TO EXISTING TREE TRUNKS AND ROOT SYSTEMS. ALL DEMOLITION ADJACENT TO EXISTING TREES SHALL BE COMPLETED USING HAND TOOLS, NO LARGE EQUIPMENT OR ANY EQUIPMENT WITH TRACKS SHALL BE ALLOWED TO WORK UNDER THE DRIP LINE OF ANY EXISTING TREES TO REMAIN. THERE SHALL BE NO STORAGE OF MATERIAL OR PARKING WITHIN THE DRIPLINE OF EXISTING TREES TO REMAIN.
4. SITE BASE INFORMATION (BOUNDARIES, UTILITIES, TOPOGRAPHY & STRUCTURES) ARE SHOWN AS PROVIDED BY SURVEYOR. CONTRACTOR SHALL VERIFY GRADES, UTILITIES AND SITE CONDITIONS PRIOR TO BEGINNING CONSTRUCTION. BGE, INC ASSUMES NO LIABILITY FOR THE ACCURACY OF THIS SURVEY INFORMATION.
5. DURING DEMOLITION THE CONTRACTOR SHALL EXERCISE CAUTION NOT TO DAMAGE THE EXISTING FEATURES THAT ARE TO REMAIN INSIDE AND OUTSIDE OF THE PROJECT CONSTRUCTION AREA. DAMAGE RESULTING FROM CONTRACTOR'S WORK SHALL BE REPAIRED AND RESTORED TO THE COMPLETE SATISFACTION OF THE OWNER AT THE EXPENSE OF THE CONTRACTOR. UTILITIES AND THEIR CONTINUATION THROUGH DEMOLISHED AREAS ARE TO REMAIN IN PLACE. PROTECT AS REQUIRED. DEMOLISH UTILITIES ONLY IF SHOWN ON THESE OR ARCHITECT/ENGINEERS DRAWINGS.
6. CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFICATION OF ALL AREAS TO BE DEMOLISHED AS A PART OF THIS CONTRACT. CONDITIONS VARYING FROM THESE PLANS & SPECIFICATIONS MUST BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE LANDSCAPE ARCHITECT. CLEARLY MARK ALL ITEMS FOR DEMOLITION FOR LANDSCAPE ARCHITECT'S APPROVAL PRIOR TO BEGINNING DEMOLITION WORK.
7. CONTRACTOR WILL BE RESPONSIBLE FOR THE REMOVAL OF ALL DESIGNATED TREES, SHRUBS & GROUND COVER PRIOR TO THE START OF NEW CONSTRUCTION. CONTRACTOR WILL BE RESPONSIBLE FOR CAPPING & ABANDONING ALL IRRIGATION LINES IN THE DEMOLITION AREA.

### PLANTING NOTES:

1. CONTRACTOR SHALL STAKE OUT ALL INFORMAL TREE LOCATIONS IN FIELD USING COLORED FLAGS FOR EACH DIFFERENT TREE SPECIES FOR REVIEW AND APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO EXCAVATION. THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO ADJUST PLANTS TO EXACT LOCATION IN FIELD.
2. SHRUB, GROUND COVER & SEASONAL COLOR BED LAYOUTS SHALL BE STAKED FOR APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO EXCAVATION.
3. CONTRACTOR IS RESPONSIBLE FOR VERIFYING LOCATIONS OF UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION.
4. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ADVISE THE LANDSCAPE ARCHITECT OF ANY CONDITION FOUND ON THE SITE WHICH PROHIBITS INSTALLATION AS SHOWN ON THESE DRAWINGS.
5. ALL SHRUB & GROUND COVER BEDS SHALL HAVE A MINIMUM THREE (3) INCH LAYER OF HARDWOOD MULCH. CONTRACTOR TO SUPPLY OWNER WITH SAMPLE FOR APPROVAL. CONTRACTOR TO SUPPLY A BID ALTERNATE FOR ROCK MULCH FOR ALL BEDS.
6. ANNUAL BEDS TO RECEIVE MINIMUM 3" HARDWOOD MULCH. CONTRACTOR TO SUPPLY OWNER WITH SAMPLE FOR APPROVAL.
7. TREES SHALL BE PLANTED AS LEAST FOUR (4) FEET FROM ANY UTILITY LINE, CURB, SIDEWALK OR FIRE CONNECTION AND OUTSIDE ALL UTILITY EASEMENTS.
8. TREES OVERHANGING SIDEWALKS AND PARKING OR PEDESTRIAN AREAS SHALL HAVE A MINIMUM CLEAR TRUNK BRANCHING HEIGHT OF SEVEN (7) FEET.
9. TREES OVERHANGING VISIBILITY EASEMENTS OR RIGHT-OF-WAYS SHALL HAVE A MINIMUM CLEAR TRUNK HEIGHT OF NINE (9) FEET.
10. TREES OVERHANGING PUBLIC STREET PAVEMENT WILL HAVE A MINIMUM CLEAR TRUNK OF FOURTEEN (14) FEET.
11. ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY AND GROWING CONDITION, AND MUST BE REPLACED WITH PLANT MATERIAL OF SIMILAR VARIETY AND SIZE IF DAMAGED, DESTROYED, OR REMOVED.
12. LANDSCAPED AREAS SHALL BE KEPT FREE OF TRASH, LITTER, AND WEEDS AT ALL TIMES DURING CONSTRUCTION.
13. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR FINE GRADING, REMOVAL OF MISCELLANEOUS DEBRIS AND ANY ADDITIONAL FILL REQUIRED TO CREATE A SMOOTH FINISHED GRADE PRIOR TO PLANTING IN ALL AREAS.
14. FINAL GRADING SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT IN THE FIELD PRIOR TO PLANTING.
15. PLANT SPACING IS AS INDICATED ON 'PLANT SCHEDULE' UNLESS OTHERWISE NOTED. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE FULL COVERAGE IN ALL PLANTING AREAS AS SPECIFIED IN THE PLANT SCHEDULE REMARKS.
16. CONTRACTOR SHALL PROVIDE THE PROJECT AGRONOMIST SOIL SAMPLES. A MINIMUM OF TWO SAMPLES FROM EACH DIFFERENT SOIL AREA AND FROM EACH IMPORT SOIL SOURCE IS REQUIRED. VERIFY APPROPRIATE QUANTITY OF SAMPLES WITH THE LANDSCAPE ARCHITECT AND AGRONOMIST. SAMPLES SHALL THEN BE TESTED AND ANALYZED FOR AGRICULTURAL SUITABILITY AND FERTILITY BY AN ACCREDITED SOIL TESTING LABORATORY. ANALYSIS SHALL INCLUDE REVIEW AND COORDINATION WITH SPECIFICATIONS AND RECOMMENDATIONS FOR SOIL PREPARATION AND BACK FILL MIX. SUBMIT SOILS ANALYSES TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO SOIL PREPARATION. THIS REQUIREMENT APPLIES TO ALL SOILS AND CONDITIONS WITHIN THIS PROJECT INCLUDING IMPORT SOILS, ON GRADE SOILS AND/OR ON-STRUCTURE SOILS. VERIFYING ON-STRUCTURE FILTER FABRIC/SOIL COMPATIBILITY SHALL BE PART OF THE OVERALL ANALYSIS. REFER TO SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
17. AN AUTOMATIC IRRIGATION SYSTEM SHALL BE PROVIDED TO IRRIGATE ALL LANDSCAPE AREAS. OVERSPRAY ON STREETS AND WALKS IS PROHIBITED.
18. TOPSOIL SHALL BE A MINIMUM OF 4" IN DEPTH. SOIL SHALL BE FREE OF STONES, ROOTS AND ANY OTHER FOREIGN MATERIAL THAT IS NOT BENEFICIAL FOR PLANT GROWTH.
19. REF. SHEET L3.12 FOR PLANTING DETAILS.
20. REFER TO CIVIL FOR OVERALL SITE GRADING AND SHEET L3.5 FOR POOL AREA GRADING.

### GRADING NOTES:

1. ANY EXISTING AND/OR ON-SITE CONDITIONS WHICH VARY FROM THOSE SHOWN ON DRAWINGS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT.
2. ALL GRADING SHALL PROVIDE FOR POSITIVE RUNOFF OF WATER WITHOUT LOW SPOTS OR POCKETS. FLOW LINES SHALL BE ACCURATELY SET AND SHALL NOT BE LESS THAN 0.5% GRADIENT UNLESS OTHERWISE NOTED. CONTRACTOR SHALL BE RESPONSIBLE FOR POSITIVE DRAINAGE IN ALL PLANTING AREAS.
3. GRADING FOR THE FLATWORK IMPROVEMENTS SHALL HAVE A MAXIMUM CROSS SLOPE OF 2% IN THE DIRECTION OF THE DOWNHILL SLOPE. THE LONGITUDINAL SLOPE OF THE WALKS SHALL BE NO GREATER THAN 5%, U.N.O. ALL GRADES SHALL BE FINISHED TO A SMOOTH, FLOWING CONTOUR, MAINTAINING EXISTING FLOW PATTERNS UNLESS DIRECTED OTHERWISE.
4. ALL LAND FORMS AND SWALES SHALL BE GRADED TO BE A SMOOTH, FLOWING, ROUNDED SURFACE PROVIDING POSITIVE DRAINAGE AND VISUAL LAND FORM CONTINUITY. ALL GRADING SHALL BE APPROVED BY THE OWNER'S REPRESENTATIVE.
5. REFER TO THE GENERAL CONDITIONS AND THE TECHNICAL SPECIFICATIONS SECTIONS FOR THE PLACEMENT, COMPACTION, GRADING AND TESTING OF ALL FILL MATERIAL.
6. CONTRACTORS SHALL TAKE CARE IN MINIMIZING THE DISTURBANCE TO EXISTING TREE TRUNKS AND ROOT SYSTEMS. ALL FINISH GRADING UNDER EXISTING TREES SHALL BE COMPLETED BY USING HAND TOOLS. NO EQUIPMENT OR VEHICLES SHALL BE ALLOWED TO WORK, DRIVE UNDER, PARK OR BE STOPPED INSIDE THE DRIP LINE OF THE EXISTING TREES, EXCEPT FOR THOSE AREAS WHERE PAVING IS TO BE PLACED.
7. CONTRACTOR IS RESPONSIBLE FOR REMOVAL OF ALL CLEARED BRUSH, DEBRIS, ETC. FROM WITHIN THE LIMITS OF CONSTRUCTION. DISPOSE OF OFF SITE.
8. EXISTING UTILITY STRUCTURES ARE TO BE ADJUSTED TO PROPOSED FINISH GRADE.
9. FINISH GRADE SHALL BE 0.1' BELOW ADJACENT SIDEWALKS, CURBS AND OTHER FLATWORK.

### LAYOUT & PAVING NOTES:

1. CONTRACTOR IS RESPONSIBLE FOR LOCATING AND PROTECTING ALL EXISTING UTILITIES.
2. CONTRACTOR IS RESPONSIBLE FOR PROTECTING EXISTING TREES TO REMAIN.
3. ALL DIMENSIONS MUST BE VERIFIED ON-SITE AND THE CONTRACTOR IS RESPONSIBLE FOR NOTIFYING THE LANDSCAPE ARCHITECT OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK.
4. ALL DIMENSIONS ARE TAKEN PERPENDICULAR TO WALL, CURB, P.O.B., OR CENTERLINE UNLESS OTHERWISE NOTED. DIMENSIONS AT CURB ARE FROM BACK OF CURB.
5. VERIFY LOCATIONS OF ALL SITE IMPROVEMENTS INSTALLED UNDER OTHER SECTIONS. IF ANY PART OF THIS PLAN CAN NOT BE FOLLOWED DUE TO SITE CONDITIONS CONTACT LANDSCAPE ARCHITECT FOR INSTRUCTION PRIOR TO COMMENCING WORK.
6. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE.
7. PROVIDE EXPANSION JOINTS IN ALL CASES WHERE CONCRETE FLATWORK MEETS VERTICAL STRUCTURES SUCH AS WALLS, CURBS, STEPS AND BUILDING OR WHERE CONCRETE ABUTS UTILITY VAULTS OR BOXES.

### IRRIGATION NOTES:

1. LINE LAYOUT IS DIAGRAMMATIC-ADJUST HEAD AND LINE LOCATIONS ON SITE TO ACCOMMODATE EXISTING JOB CONDITIONS AND TO ACHIEVE COMPLETE COVERAGE.
2. ALL MAIN LINE PIPING SHALL BE BURIED TO HAVE A MINIMUM COVER OF 18". ALL LATERAL PIPING DOWNSTREAM OF THE MAIN LINE SHALL BE BURIED TO HAVE A MINIMUM COVER OF 12".
3. ALL MAINS ARE TO DRAIN TO LOW POINTS AT A MINIMUM ONE HALF (1/2%) PERCENT SLOPE. AT LOW POINTS, INSTALL GATE VALVE TO FACILITATE DRAINAGE OF SYSTEM DURING FREEZING TEMPERATURES.
4. CONTRACTOR SHALL INSTALL AUTOMATIC DRAIN VALVES AT LOW POINTS IN THE IRRIGATION LINES AS REQUIRED TO PREVENT FREEZE DAMAGE.
5. ALL VALVE BOXES SHALL BE BLACK IN COLOR (BODY AND LID). SIZES SHALL BE TEN (10") INCHES BY FOURTEEN (14") INCHES (RECTANGULAR) FOR REMOTE CONTROL VALVES AND NINE (9") INCHES (ROUND) FOR GATE AND QUICK COUPLER VALVES.
6. CONTRACTOR SHALL MAKE MINOR ADJUSTMENTS TO SYSTEM LAYOUT IN FIELD TO INSURE POSITIVE DRAINAGE OF LATERAL LINES AND MAIN LINES.
7. ALL WIRING FROM THE IRRIGATION CONTROLLER TO THE REMOTE CONTROL VALVES SHALL BE UF-14/1 DIRECT BURIAL CABLE. ALL WIRE SPLICES SHALL BE MADE IN VALVE BOXES ONLY USING RAINBIRD SNAP-TITE CONNECTORS AND SEALANT. PROVIDE SLEEVES FOR WIRE UNDER PAVED AREAS AS REQUIRED.
8. ALL IRRIGATION INSTALLATION SHALL CONFORM TO THE LOCAL CODE REGULATIONS AND TCEQ REQUIREMENTS.
9. IRRIGATION SYSTEM SHALL BE INSTALLED AND FULLY OPERATIONAL BEFORE INSTALLATION OF LANDSCAPE PLANTINGS.
10. IRRIGATION HEADS SHALL BE PLACED AND ADJUSTED SO AS NOT TO SPRAY ON THE BUILDING.
11. IRRIGATION HEADS SHALL BE PLACED AND SIZED SO AS NOT TO BE SUSCEPTIBLE TO DAMAGE BY AUTOMOBILE OVERHANGS.
12. IRRIGATION CONTRACTOR SHALL PLACE ADJUSTABLE ARC NOZZLES IN PLACE OF FIXED ARC NOZZLE AS NEEDED TO ELIMINATE OVER SPRAY ON TO PAVEMENT.
13. ALL IRRIGATION HEADS SHALL HAVE FACTORY INSTALLED CHECK VALVES.

### MAINTENANCE NOTES:

1. LANDSCAPE CONTRACT SHALL INCLUDE, AS AN ALTERNATE BID, A LANDSCAPE MAINTENANCE AGREEMENT. THE LANDSCAPE MAINTENANCE PERIOD SHALL BEGIN ONCE OWNER'S ACCEPTANCE OF IMPROVEMENTS HAS BEEN GIVEN IN WRITING AND EXTEND FOR A PERIOD OF TWO YEARS.
2. MAINTENANCE AGREEMENT SHALL GENERALLY CONFORM TO LANDSCAPE MAINTENANCE GUIDELINES PROVIDED BY OWNER AND MODIFIED TO MEET THE BEST MANAGEMENT PRACTICES OF THE LOCAL CLIMATE AND SITE SPECIFIC CONDITIONS.
3. AT A MINIMUM, THE AGREEMENT SHALL INCLUDE, ALL LABOR AND MATERIALS TO PERFORM THE PROFESSIONAL MAINTENANCE OF THE SITE'S LANDSCAPE IMPROVEMENTS. THE AGREEMENT SHALL BE WRITTEN TO INCLUDE, BUT MAY NOT BE LIMITED TO, THE FOLLOWING:
  - A. LAWN CARE
  - B. FERTILIZATION
  - C. INTEGRATED PEST MANAGEMENT
  - D. IRRIGATION
  - E. PLANTING BEDS
  - F. TREES AND SHRUBS
4. THE PROGRAM FOR THE MAINTENANCE AGREEMENT SHALL BE BASED ON A COMPLETE SOILS ANALYSIS TO ADDRESS SPECIFIC SITE CONDITIONS AND TO ENSURE THE HEALTHY AND VIGOROUS GROWTH OF THE PLANT MATERIALS.

## MATERIALS SCHEDULE:

### STONE

#### ST-1 STONE VENEER

TYPE: LUEDERS LIMESTONE  
COLOR: BUFF  
FINISH: CHOPPED  
PATTERN: RANDOM ASHLAR  
SIZE: REF. PLANS AND DETAILS  
SUPPLIER: MOTHERROCK STONE GROUP  
CONTACT: CLINT HART, 214-205-6491  
APPROVAL: SAMPLE, MOCK UP

#### ST-2 STONE CAP

TYPE: LUEDERS LIMESTONE  
COLOR: BUFF  
FINISH: CHOPPED  
SIZE: REF. PLANS AND DETAILS  
SUPPLIER: MOTHERROCK STONE GROUP  
CONTACT: CLINT HART, 214-205-6491  
APPROVAL: SAMPLE, MOCK UP

### CONCRETE

#### C-1 CONCRETE PAVING

TYPE: STANDARD CONCRETE, STRUCTURAL REINFORCEMENT BY OTHERS  
COLOR: NATURAL  
FINISH: BROOM FINISH  
SIZE: REF. PLANS AND DETAILS  
SUPPLIER: LOCAL CONCRETE SUPPLIER  
APPROVAL: SAMPLE, MOCK UP

### SITE FURNISHINGS

#### SF-1 BENCH

TYPE: STREETSIDE 6" CONTOUR BENCH  
MODEL: L1369  
FINISH: PLASTISOL COATING  
COLOR: BLACK  
INSTALL: SURFACE MOUNT, PER MANUFACTURER SPECIFICATIONS  
MANUFACTURER: ANOVA FURNISHINGS  
CONTACT: PAIGE MARTIN, 314-853-0170  
APPROVAL: CUT SHEET

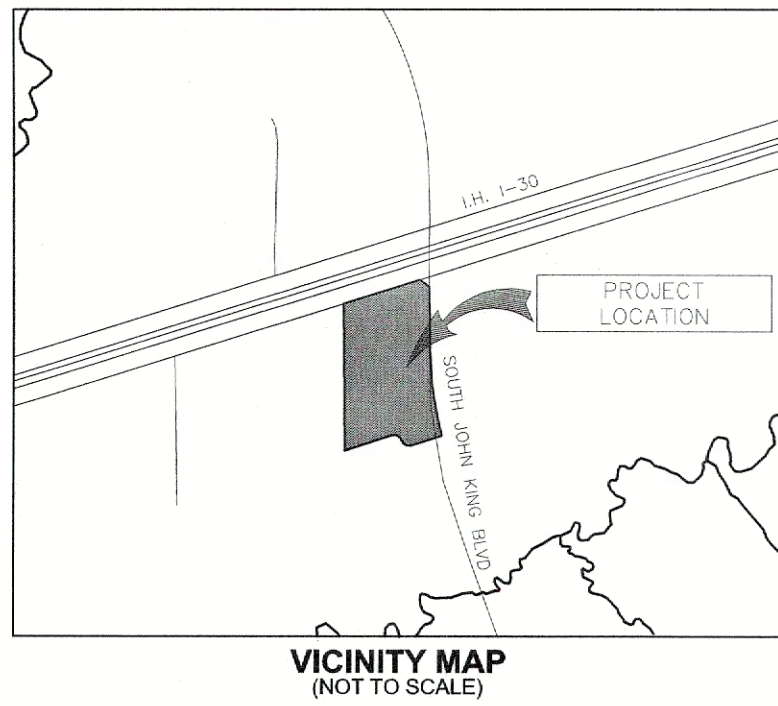
### MISCELLANEOUS

#### MI-1 FILTER FABRIC

TYPE: STANDARD  
COLOR: BLACK  
SIZE: REF. PLANS AND DETAILS  
SUPPLIER: LOCAL LANDSCAPE SUPPLIER  
APPROVAL: CUT SHEET

## SYMBOLS LEGEND:

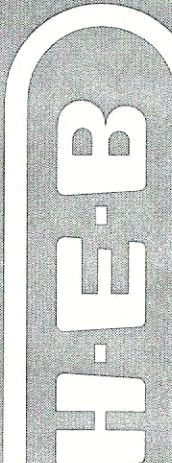
	BOUNDARY LINE
	UTILITY EASEMENT
	SEWER LINE
	GAS LINE
	WATER LINE
	STORM LINE
	DETAIL REFERENCE
	MATERIAL CALLOUT
	ELEVATION TAG
	SECTION TAG



NOT FOR CONSTRUCTION  
REVIEW PURPOSES ONLY



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TPE Registration No. F-1046



NOTES, MATERIALS &  
SYMBOLS

H.E.B. ROCKWALL - STORE #810  
1600 E INTERSTATE 30  
ROCKWALL, TEXAS 75082

SCALE: AS NOTED  
CONSUL. 9595-01  
PROJ. NO.: 019370204  
DATE: 01/31/2024  
SHEET NO.:  
L0.01



BEFORE YOU DIG, CALL DIG TESS  
1-800-DIG-TESS

APPROVED:  
I hereby certify that the above and foregoing site plan for  
development in the City of Rockwall, Texas, was approved by the  
Planning & Zoning Commission on the 9 day of January, 2024.

Planning & Zoning Commission,  
Chairman

Director of Planning & Zoning

### BENCHMARKS:

BM#1	"X" CUT SET IN BOX ON CENTERLINE OF A MEDIAN BULLNOSE ALONG SOUTH JOHN KING BOULEVARD. ±500' SOUTH OF THE CENTERLINE OF INTERSTATE HWY 30 AND ±140' NORTH OF A BICYCLIST SIGN ON THE WEST SIDE OF SOUTH JOHN KING BOULEVARD. SURFACE NORTHING: 7022825.45 SURFACE EASTING: 2603164.43 ELEV=565.757
BM#2	"X" CUT SET IN BOX ON CENTERLINE OF A MEDIAN BULLNOSE ALONG SOUTH JOHN KING BOULEVARD. ±1100' SOUTH OF THE CENTERLINE OF INTERSTATE HWY 30 AND ±60' EAST OF THE NORTH ENTRANCE TO THE MANSION SENIOR LIVING CENTER. SURFACE NORTHING: 7022262.76 SURFACE EASTING: 2603234.30 ELEV=552.35
BM#3	"X" CUT SET IN BOX ON CENTERLINE OF A MEDIAN BULLNOSE ALONG SOUTH JOHN KING BOULEVARD. ±40' EAST OF THE CENTERLINE OF INTERSTATE HWY 30 AND ±50' EAST OF A TRAFFIC SIGNAL POLE FOR THE SOUTHBOUND LANE OF SOUTH JOHN KING BOULEVARD. SURFACE NORTHING: 7023321.53 SURFACE EASTING: 2603146.63 ELEV=574.32
MON#9	"BRASS DISC" STAMPED CITY OF ROCKWALL SURVEY MONUMENT ON THE SOUTH SIDE OF DISCOVERY BLVD. AT THE SOUTHEAST CORNER OF A CURB INLET, ±180' EAST INTERSECTION OF DISCOVERY/CORPORATE. PUBLISHED ELEV=595.63' OBSERVED ELEV=595.85'



GENERAL LANDSCAPE SPECIFICATIONS AND NOTES

A. SCOPE OF WORK

1. THE WORK CONSISTS OF FURNISHING ALL LABOR, MATERIALS, EQUIPMENT, TOOLS, TRANSPORTATION, AND ANY OTHER APPURTENANCES NECESSARY FOR THE COMPLETION OF THIS PROJECT AS SHOWN ON THE DRAWINGS, AS INCLUDED IN THE PLANT LIST, AND AS HEREIN SPECIFIED.
2. WORK SHALL INCLUDE MAINTENANCE AND WATERING OF ALL PLANTING AREAS OF THIS CONTRACT UNTIL CERTIFICATION OF ACCEPTABILITY BY THE OWNER.

B. PROTECTION OF EXISTING STRUCTURES

ALL EXISTING BUILDINGS, WALKS, WALLS, PAVING, PIPING, AND OTHER ITEMS OF CONSTRUCTION AND PLANTING ALREADY COMPLETED OR ESTABLISHED SHALL BE PROTECTED FROM DAMAGE BY THIS CONTRACTOR UNLESS OTHERWISE SPECIFIED. ALL DAMAGES RESULTING FROM NEGLIGENCE SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE OWNER.

C. PROTECTION OF EXISTING PLANT MATERIALS OUTSIDE LIMIT OF WORK

THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL UNAUTHORIZED CUTTING OR DAMAGE OF TREES AND SHRUBS EXISTING OR OTHERWISE, CAUSED BY CARELESS OPERATION OF EQUIPMENT, STOCKPILING OF MATERIALS, ETC. THIS SHALL INCLUDE COMPACTION BY DRIVING OR PARKING INSIDE THE DRIPLINE OR THE SPILLING OF OIL, GASOLINE, OR OTHER DELETERIOUS MATERIALS WITHIN THE DRIPLINE. NO MATERIALS SHALL BE BURNED WHERE THE HEAT WILL DAMAGE ANY PLANT. TREES KILLED OR DAMAGED SO THAT THEY ARE MISSHAPEN AND/OR UNSIGHTLY SHALL BE REPLACED AT THE COST TO THE CONTRACTOR OF TWO HUNDRED DOLLARS (\$200) PER CALIPER INCH ON AN ESCALATING SCALE WHICH ADDS AN ADDITIONAL TWENTY (20) PERCENT PER INCH OVER FOUR (4) INCHES CALIPER AS FIXED AND AGRIED LIQUIDATED DAMAGES. CALIPER SHALL BE MEASURED AT SIX (6) INCHES ABOVE GROUND LEVEL FOR TREES UP TO AND INCLUDING FOUR (4) INCHES IN CALIPER AND AT TWELVE (12) INCHES ABOVE GROUND LEVEL FOR TREES OVER FOUR (4) INCHES IN CALIPER.

D. MATERIALS

1. GENERAL

SAMPLES OF MATERIALS AS LISTED BELOW SHALL BE SUBMITTED FOR APPROVAL. ON THE SITE OR AS OTHERWISE DETERMINED BY THE OWNER. UPON APPROVAL OF SAMPLES, DELIVERY OF MATERIALS MAY BEGIN.

MATERIALS SAMPLES  
MULCH ONE (1) CUBIC FOOT  
TOPSOIL ONE (1) CUBIC YARD  
PLANTS ONE (1) OF EACH VARIETY

2. PLANT MATERIALS

A. PLANT SPECIES AND SIZE SHALL CONFORM TO THOSE INDICATED ON THE DRAWINGS. NOMENCLATURE SHALL CONFORM TO "STANDARDIZED PLANT NAMES", 1942 EDITION. ALL NURSERY STOCK SHALL BE IN ACCORDANCE WITH GRADES AND STANDARDS AS STATED IN THE LATEST EDITION OF "AMERICAN STANDARD FOR NURSERY STOCK" BY THE AMERICAN ASSOCIATION OF NURSEYMEN. ALL PLANTS SHALL BE FRESHLY DUG, SOUND, HEALTHY, VIGOROUS, WELL-BRANCHED AND FREE OF DISEASE AND INSECTS, INSECT EGGS AND LARVAE AND SHALL HAVE ADEQUATE ROOT SYSTEMS. TREES FOR PLANTING IN ROWS SHALL BE UNIFORM IN SIZE AND SHAPE. ALL MATERIALS SHALL BE SUBJECT TO APPROVAL BY THE OWNER. WHERE ANY REQUIREMENTS ARE OMITTED FROM THE PLANT LIST, THE PLANTS FURNISHED SHALL BE NORMAL FOR THE VARIETY. PLANTS SHALL BE PRUNED PRIOR TO DELIVERY ONLY UPON THE APPROVAL OF THE OWNER.

B. MEASUREMENTS: THE HEIGHT AND/OR WIDTH OF TREES SHALL BE MEASURED FROM THE GROUND OR ACROSS THE NORMAL SPREAD OF BRANCHES WITH THE PLANTS IN THEIR NORMAL POSITION. THIS MEASUREMENT SHALL NOT INCLUDE THE IMMEDIATE TERMINAL GROWTH. PLANTS LARGER IN SIZE THAN THOSE SPECIFIED IN THE PLANT LIST MAY BE USED IF APPROVED BY THE OWNER. IF THE USE OF LARGER PLANTS IS APPROVED, THE BALL OF EARTH OR SPREAD OF ROOTS SHALL BE INCREASED IN PROPORTION TO THE SIZE OF THE PLANT.

C. INSPECTION: PLANTS SHALL BE SUBJECT TO INSPECTION AND APPROVAL AT THE PLACE OF GROWTH, OR UPON DELIVERY TO THE SITE, AS DETERMINED BY THE OWNER. FOR QUALITY, SIZE, AND VARIETY. SUCH APPROVAL SHALL NOT IMPAIR THE RIGHT OF INSPECTION AND REJECTION AT THE SITE DURING PROGRESS OF THE WORK OR AFTER COMPLETION FOR SIZE AND CONDITION OF BALLS OR ROOTS, LATENT DEFECTS OR INJURIES. REJECTED PLANTS SHALL BE REMOVED IMMEDIATELY FROM THE SITE. NOTICE REQUESTING INSPECTION SHALL BE SUBMITTED IN WRITING BY THE CONTRACTOR AT LEAST ONE (1) WEEK PRIOR TO ANTICIPATED DATE.

E. TOPSOIL

1. ASTM D5268, NATURAL, FRIABLE, FERTILE, FINE LOAMY SOIL POSSESSING CHARACTERISTICS OF REPRESENTATIVE TOPSOIL IN THE VICINITY THAT PRODUCES HEAVY GROWTH. TOPSOIL SHALL HAVE A PH RANGE OF 5.5 TO 7.4 PERCENT, FREE FROM SUBSOIL, OBJECTIONABLE WEEDS, LITTER, SODS, STIFF CLAY, STONES LARGER THAN 1-INCH IN DIAMETER, STUMPS, ROOTS, TRASH, HERBICIDES, TOXIC SUBSTANCES, OR ANY OTHER MATERIAL WHICH MAY BE HARMFUL TO PLANT GROWTH OR HINDER PLANTING OPERATIONS. TOP SOIL SHALL CONTAIN A MINIMUM OF THREE PERCENT ORGANIC MATERIAL.
2. SALVAGED OR EXISTING TOPSOIL: REUSE SUITABLE TOPSOIL STOCKPILED ON-SITE OR EXISTING TOPSOIL UNDISTURBED BY GRADING OR EXCAVATION OPERATIONS. CLEAN TOPSOIL OF ROOTS, PLANTS, SOD, STONES, CLAY LUMPS, AND OTHER EXTRANEOUS MATERIALS HARMFUL TO PLANT GROWTH.
3. VERIFY AMOUNT OF SUITABLE TOPSOIL STOCKPILED IF ANY, AND SUPPLY ADDITIONAL IMPORTED TOPSOIL AS NEEDED. FOUR (4) INCHES OF TOPSOIL TO BE PROVIDED FOR ALL TURF AREAS. TWENTY FOUR (24) INCHES OF TOPSOIL TO BE PROVIDED FOR ALL PLANTING AREAS WITHIN INTERIOR OF LANDSCAPE ISLANDS AND FOLIAGE PLANTINGS. FOR ALL OTHER PLANTING AREAS, TWELVE (12) INCHES OF TOPSOIL MINIMUM TO BE PROVIDED.
4. IMPORTED TOPSOIL: SUPPLEMENT SALVAGED TOPSOIL WITH IMPORTED TOPSOIL FROM OFF-SITE SOURCES WHEN EXISTING QUANTITIES ARE INSUFFICIENT.
5. OBTAIN TOPSOIL DISPLACED FROM NATURALLY WELL-DRAINED SITES WHERE TOPSOIL OCCURS AT LEAST 6 INCHES DEEP; DO NOT OBTAIN FROM AGRICULTURAL LAND, BODS, OR MARSHES.
6. VERIFY BORROW AND DISPOSAL SITES ARE PERMITTED AS REQUIRED BY STATE AND LOCAL REGULATIONS. OBTAIN WRITTEN CONFIRMATION THAT PERMITS ARE CURRENT AND ACTIVE.
7. OBTAIN PERMITS REQUIRED BY STATE AND LOCAL REGULATIONS FOR TRANSPORTING TOPSOIL. PERMITS SHALL BE CURRENT AND ACTIVE.
8. AMEND EXISTING AND IMPORTED TOPSOIL AS INDICATED BELOW.
- a. ORGANIC SOIL AMENDMENTS
1. MANURE: WELL-ROTTED, UNLEACHED, STABLE OR CATTLE MANURE CONTAINING NOT MORE THAN 25 PERCENT BY VOLUME OF STRAW, SAWDUST, OR OTHER BEDDING MATERIALS; FREE OF TOXIC SUBSTANCES, STONES, STICKS, SOIL, WEED SEED, AND MATERIAL HARMFUL TO PLANT GROWTH.
2. BACK TO NATURE COTTON BURR COMPOST OR APPROVED EQUIVALENT.
3. COMPOST: DECOMPOSED ORGANIC MATERIAL INCLUDING LEAF LITTER, MANURE, SAWDUST, PLANT TRIMMINGS AND/OR HAY, MIXED WITH SOIL.
4. PECAN HULLS: COMPOSTED PECAN HULLS FROM LOCAL SOURCE.
5. BIOSOLIDS: USE GRADE 1 CONTAINING LOWER PATHOGEN LEVELS.
6. WORM CASTINGS: EARTHWORMS.
- b. INORGANIC SOIL AMENDMENTS
1. LIME: ASTM C602, CLASS O AGRICULTURAL LIMESTONE CONTAINING A MINIMUM OF 80 PERCENT CALCIUM CARBONATE EQUIVALENT WITH A MINIMUM OF 95 PERCENT PASSING NO. 8 SIEVE AND MINIMUM OF 55 PERCENT PASSING NO. 60 SIEVE.
2. SULFUR: GRANULAR, BIODEGRADABLE, CONTAINING A MINIMUM OF 90 PERCENT SULFUR, WITH A MINIMUM OF 99 PERCENT PASSING NO. 6 SIEVE AND A MAXIMUM OF 10 PERCENT PASSING NO. 40 SIEVE.
3. IRON SULFATE: GRANULATED FERROUS SULFATE CONTAINING A MINIMUM OF 20 PERCENT IRON AND 10 PERCENT SULFUR.
4. AGRICULTURAL GYPSUM: FINELY GROUND, CONTAINING A MINIMUM OF 90 PERCENT CALCIUM SULFATE.
5. SAND: CLEAN, WASHED, NATURAL OR MANUFACTURED, FREE OF TOXIC MATERIALS.
- c. PLANTING SOIL MIX
1. PLANTING MIX MAY BE PROVIDED BY LIVING EARTH OR MINICK MATERIALS OR APPROVED EQUAL.
2. PLANTING MEDIUM CONTAINING 75 PERCENT SPECIFIED TOPSOIL, MIXED WITH 15 PERCENT ORGANIC SOIL AMENDMENTS AND 10 PERCENT SHARP WASHED SAND. TILL TO DEPTH OF 12" OR AS OTHERWISE NOTED. FINISHED GRADES OF PLANTING BEDS TO BE 2" BELOW FINISHED GRADE OF ADJACENT PAVING OR AS SHOWN ON GRADING PLAN.

2. SOD/SEED AREA TOPSOIL

ALL SOD AREAS TO RECEIVE 4" DEPTH (MIN) TOPSOIL PRIOR TO INSTALLATION. TOPSOIL SHALL BE NATURAL, FRIABLE, FERTILE, WITH 25% (MIN.) ORGANIC MATERIAL, AND FREE OF TRASH, DEBRIS, STONES, WEEDS, AND TWIGS/BRANCHES. THE PARTICLE SIZES SHALL BE SUCH THAT 98.5% OF THE TOPSOIL WILL PASS THROUGH A 1/2 INCH SCREEN, AND 99% MORE SHALL PASS THROUGH A 3/4 INCH SCREEN. TOPSOIL SHALL BE REVIEWED/APPROVED BY OWNER/LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. CONTRACTOR TO SUBMIT SAMPLES IN 1 GAL. (MIN.) CONTAINER.

I. WATER

WATER NECESSARY FOR PLANTING AND MAINTENANCE SHALL BE OF SATISFACTORY QUALITY TO SUSTAIN AN ADEQUATE GROWTH OF PLANTS AND SHALL NOT CONTAIN HARMFUL, NATURAL OR MAN-MADE ELEMENTS DETRIMENTAL TO PLANTS. WATER MEETING THE ABOVE STANDARD SHALL BE OBTAINED ON THE SITE FROM THE OWNER, IF AVAILABLE, AND THE CONTRACTOR SHALL BE RESPONSIBLE TO MAKE ARRANGEMENTS FOR ITS USE BY TANKS, HOSES, SPRINKLERS, ETC. IF SUCH WATER IS NOT AVAILABLE AT THE SITE, THE CONTRACTOR SHALL PROVIDE SUCH SATISFACTORY WATER FROM SOURCES OFF THE SITE AT NO ADDITIONAL COST TO THE OWNER.

J. COMMERCIAL FERTILIZER

COMMERCIAL FERTILIZER SHALL BE A COMPLETE FORMULA; IT SHALL BE UNIFORM IN COMPOSITION, DRY AND FREE FLOWING. THIS FERTILIZER SHALL BE DELIVERED TO THE SITE IN THE ORIGINAL UNOPENED CONTAINERS, EACH BEARING THE MANUFACTURER'S GUARANTEED STATEMENT OF ANALYSIS.

FIFTY PERCENT (50%) OF THE NITROGEN SHALL BE DERIVED FROM NATURAL ORGANIC SOURCES. THE FOLLOWING FERTILIZERS SHALL BE USED AND APPLIED AT RATES AS SUGGESTED BY MANUFACTURER'S SPECIFICATIONS:

1. SHRUBS AND TREES - SUSTANE BLEND 16-4-8, OR APPROVED EQUAL  
2. ANNUALS AND GROUNDCOVERS - OSMOCOTE/SIERRA BLEND 14-14-14 OR APPROVED EQUAL  
3. SOD - 8-8-8 FERTILIZER OR APPROVED EQUAL

K. MULCH

MULCH MATERIAL SHALL BE MOISTENED AT THE TIME OF APPLICATION TO PREVENT WIND DISPLACEMENT, AND APPLIED AT A DEPTH OF 3 INCHES. SEE PLANT LIST FOR TYPE OF MATERIAL AND GRADE.

L. DIGGING AND HANDLING

1. PROTECT ROOTS OR BALLS OF PLANTS AT ALL TIMES FROM SUN AND DRYING WINDS. WATER AND FREEZING, AS NECESSARY UNTIL PLANTING. PLANT MATERIALS SHALL BE ADEQUATELY PACKED TO PREVENT BREAKAGE AND DRYING OUT DURING TRANSIT. TREES TRANSPORTED MORE THAN TEN (10) MILES OR WHICH ARE NOT PLANTED WITHIN THREE (3) DAYS OF DELIVERY TO SITE SHALL BE SPRAYED WITH AN ANTI-TRANSPIRANT PRODUCT ("WILT-PRUF" OR EQUAL) TO MINIMIZE TRANSPIRATIONAL WATER LOSS.

2. BALLED AND BURLAPPED PLANTS (B&B) SHALL BE DUG WITH FIRM, NATURAL BALLS OF SOIL OF SUFFICIENT SIZE TO ENCOMPASS THE FIBROUS AND FEEDING ROOTS OF THE PLANTS. NO PLANTS MOVED WITH A BALL SHALL BE PLANTED IF THE BALL IS CRACKED OR BROKEN. PLANTS BALLED AND BURLAPPED OR CONTAINER GROWN SHALL NOT BE HANDLED BY STEMS.

3. PLANTS MARKED "BR" IN THE PLANT LIST SHALL BE DUG WITH BARE ROOTS. THE ROOTS SHALL NOT BE CUT WITHIN THE MINIMUM SPREAD SPECIFIED IN THE PLANT LIST. CARE SHALL BE EXERCISED THAT THE ROOTS DO NOT DRY OUT IN MOVING AND PRIOR TO PLANTING.

4. PROTECTION OF PALMS (IF APPLICABLE): ONLY A MINIMUM OF FRONDS SHALL BE REMOVED FROM THE CROWN OF THE PALM TREES TO FACILITATE MOVING AND HANDLING. CLEAR TRUNK (CT) SHALL BE AS SPECIFIED AFTER THE MINIMUM OF FRONDS HAVE BEEN REMOVED. ALL PALMS SHALL BE BRACED PER DETAIL.

5. EXCAVATION OF TREE PITS SHALL BE DONE USING EXTREME CARE TO AVOID DAMAGE TO SURFACE AND SUBSURFACE ELEMENTS SUCH AS UTILITIES OR HARDSCAPE ELEMENTS, FOOTERS AND PREPARED SUB-BASES.

M. CONTAINER GROWN STOCK

1. ALL CONTAINER GROWN MATERIAL SHALL BE HEALTHY, VIGOROUS, WELL-ROOTED PLANTS AND ESTABLISHED IN THE CONTAINER IN WHICH THEY ARE SOLD. THE PLANTS SHALL HAVE TOPS WHICH ARE OF GOOD QUALITY AND ARE IN A HEALTHY GROWING CONDITION.

2. AN ESTABLISHED CONTAINER GROWN PLANT SHALL BE TRANSPLANTED INTO A CONTAINER AND GROWN IN THAT CONTAINER SUFFICIENTLY LONG FOR THE NEW FIBROUS ROOTS TO HAVE DEVELOPED SO THAT THE ROOT MASS WILL RETAIN ITS SHAPE AND HOLD TOGETHER WHEN REMOVED FROM THE CONTAINER. CONTAINER GROWN STOCK SHALL NOT BE HANDLED BY THEIR STEMS.

3. PLANT ROOTS SOUND IN CONTAINERS SHALL NOT BE ACCEPTABLE.

4. SUBSTITUTION OF NON-CONTAINER GROWN MATERIAL FOR MATERIAL EXPLICITLY SPECIFIED TO BE CONTAINER GROWN WILL NOT BE PERMITTED UNLESS WRITTEN APPROVAL IS OBTAINED FROM THE OWNER AND LANDSCAPE ARCHITECT.

N. COLLECTED STOCK

WHEN THE USE OF COLLECTED STOCK IS PERMITTED AS INDICATED ON THE PLANT LIST SCHEDULE, THE MINIMUM SIZES OF ROOTBALLS SHALL BE EQUAL TO THAT SPECIFIED FOR THE NEXT LARGER SIZE OF NURSERY GROWN STOCK OF THE SAME VARIETY.

O. NATIVE STOCK

PLANTS COLLECTED FROM WILD OR NATIVE STANDS SHALL BE CONSIDERED NURSERY GROWN WHEN THEY HAVE BEEN SUCCESSFULLY REESTABLISHED IN A NURSERY ROW AND GROWN UNDER REGULAR NURSERY CULTURAL PRACTICES FOR A MINIMUM OF TWO (2) GROWING SEASONS AND HAVE ATTAINED ADEQUATE ROOT AND TOP GROWTH TO INDICATE FULL RECOVERY FROM TRANSPLANTING INTO THE NURSERY ROW.

P. MATERIALS LIST

QUANTITIES NECESSARY TO COMPLETE THE WORK ON THE DRAWINGS SHALL BE FURNISHED BY THE CONTRACTOR. QUANTITY ESTIMATES HAVE BEEN MADE CAREFULLY, BUT THE LANDSCAPE ARCHITECT OR OWNER ASSUMES NO LIABILITY FOR OMISSIONS OR ERRORS. SHOULD A DISCREPANCY OCCUR BETWEEN THE BIDDERS TAKE OFF AND THE PLANT LIST QUANTITY, THE LANDSCAPE ARCHITECT SHALL BE NOTIFIED FOR CLARIFICATION PRIOR TO THE SUBMISSIONS OF BIDS. ALL DIMENSIONS AND/OR SIZES SPECIFIED SHALL BE THE MINIMUM ACCEPTABLE SIZE.

Q. FINE GRADING

1. FINE GRADING UNDER THIS CONTRACT SHALL CONSIST OF FINAL FINISHED GRADING OF LAWN AND PLANTING AREAS THAT HAVE BEEN ROUGH GRADED BY OTHERS. BERMING AS SHOWN ON THE DRAWINGS SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR, UNLESS OTHERWISE NOTED.

2. THE LANDSCAPE CONTRACTOR SHALL FINE GRADE THE LAWN AND PLANTING AREAS TO BRING THE ROUGH GRADE UP TO FINAL FINISHED GRADE ALLOWING FOR THICKNESS OF SOD AND/OR MULCH DEPTH. THIS CONTRACTOR SHALL FINE GRADE BY HAND AND/OR WITH ALL EQUIPMENT NECESSARY INCLUDING A GRADING TRACTOR WITH FRONT-END LOADER FOR TRANSPORTING SOIL WITHIN THE SITE.

3. ALL PLANTING AREAS SHALL BE GRADED AND MAINTAINED TO ALLOW FREE FLOW OF SURFACE WATER. AREAS ADJACENT TO BUILDINGS SHALL SLOPE AWAY FROM THE BUILDINGS.

R. PLANTING PROCEDURES

1. CLEANING UP BEFORE COMMENCING WORK: THE CONTRACTOR SHALL CLEAN UP JOB SITE AND SURROUNDING AREAS OF ALL RUBBISH OR OBJECTIONABLE MATTER, ALL MORTAR, CEMENT, AND TOXIC MATERIAL SHALL BE REMOVED FROM THE SURFACE OF ALL PLANT BEDS. THESE MATERIALS SHALL NOT BE MIXED WITH THE SOIL. SHOULD THE CONTRACTOR FIND SUCH CONDITIONS DURING EXCAVATION WHICH WILL IN ANY WAY ADVERSELY AFFECT THE PLANT GROWTH, HE SHALL IMMEDIATELY CALL IT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT OR OWNER. FAILURE TO DO SO BEFORE PLANTING SHALL MAKE THE CORRECTIVE MEASURES THE RESPONSIBILITY OF THE CONTRACTOR.

2. VERIFY LOCATIONS OF ALL UTILITIES, CONDUITS, SUPPLY LINES AND CABLES, INCLUDING BUT NOT LIMITED TO: ELECTRIC, GAS (LINES AND TANKS), WATER, SANITARY SEWER, STORMWATER LINES, CABLE AND TELEPHONE. PROPERLY MAINTAIN AND PROTECT EXISTING UTILITIES.

3. SUBGRADE EXCAVATION: SITE CONTRACTOR IS RESPONSIBLE TO REMOVE ALL EXISTING AND IMPORTED LIMEROCK AND LIMEROCK SUB-BASE FROM ALL LANDSCAPE PLANTING AREAS TO A MINIMUM DEPTH OF 36". SITE CONTRACTOR IS RESPONSIBLE TO BACKFILL THESE PLANTING AREAS TO ROUGH FINISHED GRADE WITH CLEAN TOPSOIL FROM AN ON-SITE SOURCE OR AN IMPORTED SOURCE. IF LIMEROCK OR OTHER ADVERSE CONDITIONS OCCUR IN PLANTING AREAS AFTER 36" DEEP EXCAVATION BY THE CONTRACTOR, AND POSITIVE DRAINAGE CAN NOT BE ACHIEVED, LANDSCAPE CONTRACTOR SHALL CONTACT LANDSCAPE ARCHITECT OR OWNER.

4. FURNISH NURSERY'S CERTIFICATE OF COMPLIANCE WITH ALL REQUIREMENTS AS HEREIN SPECIFIED AND REQUIRED. INSPECT AND SELECT PLANT MATERIALS BEFORE PLANTS ARE DUG AT NURSERY OR GROWING SITE.

5. GENERAL: COMPLY WITH APPLICABLE FEDERAL, STATE, COUNTY, AND LOCAL REGULATIONS GOVERNING LANDSCAPE MATERIALS AND WORK. CONFORM TO ACCEPTED HORTICULTURAL PRACTICES AS USED IN THE TRADE. PLANTS SHALL BE PROTECTED UPON ARRIVAL AT THE SITE BY BEING THOROUGHLY WATERED AND PROPERLY MAINTAINED UNTIL PLANTED. PLANTS SHALL NOT REMAIN UNPROTECTED FOR A PERIOD EXCEEDING TWENTY-FOUR (24) HOURS. AT ALL TIMES WORKMANLIKE METHODS CUSTOMARY IN GOOD HORTICULTURAL PRACTICES SHALL BE EXERCISED.

6. THE WORK SHALL BE COORDINATED WITH OTHER TRADES TO PREVENT CONFLICTS. COORDINATE THE PLANTING WITH THE IRRIGATION WORK TO ASSURE AVAILABILITY OF WATER AND PROPER LOCATION OF IRRIGATION ITEMS AND PLANTS.

7. ALL PLANTING PITS SHALL BE EXCAVATED TO SIZE AND DEPTH IN ACCORDANCE WITH THE USA STANDARD FOR NURSERY STOCK 260.1, UNLESS SHOWN OTHERWISE ON THE DRAWINGS, AND BACKFILLED WITH THE PREPARED PLANTING SOIL AS SPECIFIED HEREIN BEFORE (SECTION H). TEST ALL TREE PITS WITH WATER BEFORE PLANTING TO ASSURE PROPER PERCOLATION IS AVAILABLE. NO ALLOWANCE WILL BE MADE FOR LOST PLANTS DUE TO IMPROPER DRAINAGE. IF POOR DRAINAGE EXISTS UTILIZE PLANTING DETAIL THAT ADDRESSES THIS CONDITION. TREES SHALL BE SET PLUMB AND HELD IN POSITION UNTIL THE PLANTING MIXTURE HAS BEEN FLUSHED INTO PLACE WITH A SLOW, FULL HOSE STREAM. ALL PLANTING SHALL BE PERFORMED BY PERSONNEL FAMILIAR WITH PLANTING PROCEDURE AND UNDER THE SUPERVISION OF A QUALIFIED PLANTING FOREMAN. PROPER "JETTING IN" SHALL BE ASSURED TO ELIMINATE AIR POCKETS AROUND THE ROOTS. "JET STICK" OR EQUAL IS RECOMMENDED.

8. TAKE ALL NECESSARY PRECAUTIONS TO AVOID DAMAGE TO BUILDINGS AND BUILDING STRUCTURES WHILE INSTALLING TREES.

9. SOIL MIXTURE SHALL BE AS SPECIFIED IN SECTION H OF THESE SPECIFICATIONS. IN ADDITION, EACH PLANTING PIT SHALL RECEIVE 21-GRAM "AGRIFORM" PLANTING TABLETS PER MANUFACTURER'S SPECIFICATIONS OR AS FOLLOWS:

- TWO (2) TABLETS PER 1 GAL. PLANT  
- THREE (3) TABLETS PER 3 GAL. PLANT  
- FOUR (4) TABLETS PER 10 GAL. PLANT  
- LARGER MATERIAL - TWO (2) TABLETS PER 1/2" OF TRUNK CALIPER

10. TREES AND SHRUBS SHALL BE SET STRAIGHT AND AT SUCH A LEVEL THAT AFTER SETTLEMENT, THE PLANT CROWN WILL STAND ONE (1) TO TWO (2) INCHES ABOVE GRADE. EACH PLANT SHALL BE SET IN THE CENTER OF THE PIT. PLANTING SOIL MIXTURE SHALL BE BACKFILLED AND THOROUGHLY TAMPED AROUND THE BALL AND SHALL BE SETTLED BY WATER AFTER TAMPING.

11. FILL HOLE WITH SOIL MIXTURE, MAKING CERTAIN ALL SOIL IS SATURATED. TO DO THIS, FILL HOLE WITH WATER AND ALLOW TO SOAK MINIMUM TWENTY (20) MINUTES, STIRRING IF NECESSARY TO GET SOIL THOROUGHLY WET. PACK LIGHTLY WITH FEET. ADD MORE WET SOIL MIXTURE. DO NOT COVER TOP OF BALL WITH SOIL MIXTURE. ONLY WITH MULCH. ALL BURLAP, ROPE, WIRES, ETC., SHALL BE REMOVED FROM THE SIDES AND TOPS OF BALLS, BUT NO BURLAP SHALL BE PULLED FROM UNDERNEATH.

12. PRUNING: EACH TREE SHALL BE PRUNED TO PRESERVE THE NATURAL CHARACTER OF THE PLANT AS SHOWN ON THE DRAWINGS. ALL SOFT WOOD OR SUCKER GROWTH AND ALL BROKEN OR BADLY DAMAGED BRANCHES SHALL BE REMOVED WITH A CLEAN CUT.

13. SHRUBS AND GROUND COVER PLANTS SHALL BE EVENLY SPACED IN ACCORDANCE WITH THE DRAWINGS AND AS INDICATED ON THE PLANT LIST. CULTIVATE ALL PLANTING AREAS TO A MINIMUM DEPTH OF 6"; REMOVE AND DISPOSE ALL DEBRIS. TILL INTO TOP 4" THE PLANTING SOIL MIX AS SPECIFIED IN SECTION E. THOROUGHLY WATER ALL PLANTS AFTER INSTALLATION.

14. TREE GUYING AND BRACING SHALL BE INSTALLED BY THE LANDSCAPE CONTRACTOR IN ACCORDANCE WITH THE PLANS TO INSURE STABILITY AND MAINTAIN TREES IN AN UPRIGHT POSITION. IF THE LANDSCAPE CONTRACTOR AND OWNER DECIDE TO WAIVE THE TREE GUYING AND BRACING, THE OWNER SHALL NOTIFY THE LANDSCAPE ARCHITECT IN WRITING OF THEIR INTENTIONS AND AGREE TO HOLD HARMLESS THE LANDSCAPE ARCHITECT IN THE EVENT ANY TREES FALL DOWN AND DAMAGE PERSON OR PROPERTY.

15. MULCHING: PROVIDE A THREE (3) INCH MINIMUM LAYER OF SPECIFIED MULCH OVER THE ENTIRE AREA OF EACH SHRUB BED, GROUND COVER, VINE BED, AND TREE PIT.

16. HERBICIDE WEED CONTROL: ALL PLANT BEDS SHALL BE KEPT FREE OF NOXIOUS WEEDS UNTIL FINAL ACCEPTANCE OF WORK. IF DIRECTED BY THE OWNER, AN APPROVED CHEMICAL HERBICIDE SHALL BE APPLIED FOR WEED CONTROL BY QUALIFIED PERSONNEL TO ALL PLANTING AREAS IN SPOT APPLICATIONS PER MANUFACTURER'S PRECAUTIONS AND SPECIFICATIONS. PRIOR TO FINAL INSPECTION, TREAT ALL PLANTING BEDS WITH AN APPROVED PRE-EMERGENT HERBICIDE AT AN APPLICATION RATE RECOMMENDED BY THE MANUFACTURER.

S. LAWN SODDING

1. THE WORK CONSISTS OF LAWN BED PREPARATION, SOIL PREPARATION, AND SODDING, IN STRICT ACCORDANCE WITH THE SPECIFICATIONS AND THE APPLICABLE DRAWINGS TO PRODUCE A GRASS LAWN ACCEPTABLE TO THE OWNER.

2. SOIL PREPARATION: PREPARE LOOSE BED FOUR (4) INCHES DEEP. APPLY FERTILIZER AT RATE OF TWENTY (20) POUNDS PER ONE THOUSAND (1000) SQUARE FEET. APPLICATION SHALL BE UNIFORM, UTILIZING APPROVED MECHANICAL SPREADERS. MIX FERTILIZER THOROUGHLY WITH THE SOIL TO A DEPTH OF THREE (3) INCHES. HAND RAKE UNTIL ALL BUMPS AND DEPRESSIONS ARE REMOVED. WET PREPARED AREA THOROUGHLY.

3. LAWN BED PREPARATION: ALL AREAS THAT ARE TO BE SODDED SHALL BE CLEARED OF ANY ROUGH GRASS, WEEDS, AND DEBRIS, AND THE GROUND BROUGHT TO AN EVEN GRADE. THE WHOLE SURFACE SHALL BE ROLLED WITH A ROLLER WEIGHING NOT MORE THAN ONE-HUNDRED (100) POUNDS PER SQUARE FOOT. DURING THE ROLLING, ALL DEPRESSIONS CAUSED BY SETTLEMENT OF ROLLING SHALL BE FILLED WITH ADDITIONAL SOIL, AND THE SURFACE SHALL BE REGRADED AND ROLLED UNTIL PRESENTING A SMOOTH AND EVEN FINISH THAT IS UP TO THE REQUIRED GRADE.

4. SODDING

A. THE CONTRACTOR SHALL SOD ALL AREAS THAT ARE NOT PAVED OR PLANTED AS DESIGNATED ON THE DRAWINGS WITHIN THE CONTRACT LIMITS, UNLESS SPECIFICALLY NOTED OTHERWISE.

B. THE SOD SHALL BE CERTIFIED TO MEET THE STATE PLANT BOARD SPECIFICATIONS, ABSOLUTELY TRUE TO VARIETAL TYPE, AND FREE FROM WEEDS, FUNGUS, INSECTS AND DISEASE OF ANY KIND.

C. SOD PANELS SHALL BE LAID TIGHTLY TOGETHER SO AS TO MAKE A SOLID SODDED LAWN AREA. SOD SHALL BE LAID UNIFORMLY AGAINST THE EDGES OF ALL CURBS AND OTHER HARDSCAPE ELEMENTS, PAVED AND PLANTED AREAS. IMMEDIATELY FOLLOWING SOD LAYING, THE LAWN AREAS SHALL BE ROLLED WITH A LAWN ROLLER CUSTOMARILY USED FOR SUCH PURPOSES, AND THEN THOROUGHLY IRRIGATED. IF, IN THE OPINION OF THE OWNER, TOP-DRESSING IS NECESSARY AFTER ROLLING TO FILL THE VOIDS BETWEEN THE SOD PANELS AND TO EVEN OUT INCONSISTENCIES IN THE SOD, CLEAN SAND AS APPROVED BY THE LANDSCAPE ARCHITECT OR OWNER SHALL BE UNIFORMLY SPREAD OVER THE ENTIRE SURFACE OF THE SOD AND THOROUGHLY WATERED IN.

D. DURING DELIVERY, PRIOR TO AND DURING THE PLANTING OF THE LAWN AREAS, THE SOD PANELS SHALL AT ALL TIMES BE PROTECTED FROM EXCESSIVE DRYING AND UNNECESSARY EXPOSURE OF THE ROOTS TO THE SUN. ALL SOD SHALL BE STACKED SO AS NOT TO BE DAMAGED BY SWEATING OR EXCESSIVE HEAT AND MOISTURE.

5. SEEDING

A. PROVIDE FRESH, CLEAN, NEW CROP LAWN SEED MIXTURE. FURNISH TO OWNER DEALERS GUARANTEED STATEMENT OF COMPOSITION OF MIXTURE AND PERCENTAGE OF PURITY AND GERMINATION OF EACH VARIETY.

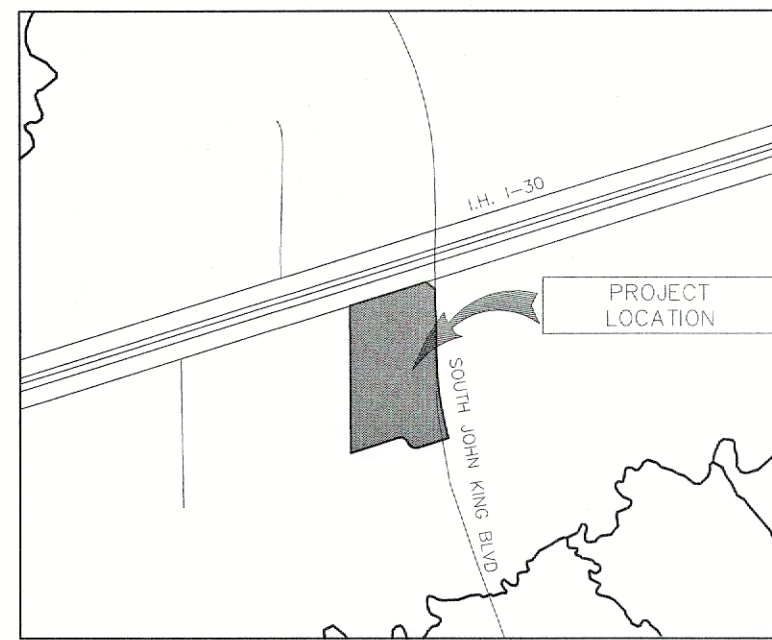
B. SEED MIXTURE: PROVIDE SEED OF GRASS SPECIES AND VARIETIES, PROPORTIONS BY WEIGHT AND MINIMUM PERCENTAGES OF PURITY, GERMINATION, AND MAXIMUM PERCENTAGE OF WEED SEED. SEED MIXTURES VARY BY REGION AND SEASON AND SHALL COMPLY WITH STATE AND LOCAL SOIL CONSERVATION SERVICE STANDARDS FOR LAWN TURF.

C. DO NOT PERFORM SEEDING IN WINDY CONDITIONS.

D. SEEDING SHALL BE DISPERSED IN 2 DIRECTIONS AT RIGHT ANGLES TO EACH OTHER.

E. PERMANENTLY SEED AND MULCH CUT AND FILL SLOPES AS CONSTRUCTION PROCEEDS TO EXTENT CONSIDERED DESIRABLE AND PRACTICAL. IN THE EVENT IT IS NOT PRACTICAL TO SEED AREAS, SLOPES SHALL BE STABILIZED WITH STRAW MULCH AND TACKIFIER, BONDED FIBER MATRIX, NETTING, BLANKETS OR OTHER MEANS TO REDUCE THE EROSION POTENTIAL OF THE AREA.

F. SEED LAWN AREAS BY SOWING EVENLY WITH APPROVED MECHANICAL SEEDER AT RATE OF MINIMUM OF 6 POUNDS PER 1,000 SQUARE FEET. AMOUNTS WILL VARY BASED ON VARIETY AND/OR SPECIES. A BACKPACKER OR APPROVED SIMILAR EQUIPMENT MAY BE USED TO COVER SEED AND TO FORM SEEDBED IN ONE OPERATION. IN AREAS INACCESSIBLE TO CUTI-PACKER, LIGHTLY RAKE SEEDED GROUND WITH FLEXIBLE RAKES AD ROLL WITH WATER BALLAST ROLLER. AFTER ROLLING, MULCH WITH STRAW MULCH AT THE RATE OF 2 TONS PER ACRE.



G. SURFACE LAYER OF SOIL FOR SEEDER AREAS SHALL BE KEPT MOIST DURING THE GERMINATION PERIOD. WATER SEEDER AREAS TWICE DURING THE FIRST WEEK TO A MINIMUM DEPTH OF 6 INCHES WITH A FINE SPRAY; AND, ONCE PER WEEK THEREAFTER AS NECESSARY TO SUPPLEMENT NATURAL RAIN TO EQUIVALENT OF 6 INCHES DEPTH.

H. CONTRACTOR TO REAPPLY SEED AS NECESSARY IN ORDER TO GET ALL SEEDER AREAS ESTABLISHED AS INTENDED.

6. LAWN MAINTENANCE:

A. WITHIN THE CONTRACT LIMITS, THE CONTRACTOR SHALL PRODUCE A DENSE, WELL ESTABLISHED LAWN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR AND RE-SODDING OF ALL ERODED, SUNKEN OR BARE SPOTS UNTIL CERTIFICATION OF ACCEPTABILITY BY THE LANDSCAPE ARCHITECT OR OWNER. REPAIRED SODDING SHALL BE ACCOMPLISHED AS IN THE ORIGINAL WORK (INCLUDING REGRADEING IF NECESSARY).

B. WATER EVERY DAY FOR TEN (10) SUCCESSIVE DAYS, THEN WATER THREE (3) TIMES PER WEEK (AT EVEN INTERVALS) FOR TWO (2) ADDITIONAL WEEKS. ALL WATERING SHALL BE OF SUFFICIENT QUANTITY TO WET OR RESTORE WATER TO DEPTH OF FOUR (4) INCHES. CONTRACTOR TO DETERMINE IF SITE IS IN A DROUGHT RESTRICTION AREA AND MUST FOLLOW CITY/ COUNTY PROTOCOL IF ANY ARE IN PLACE.

T. CLEAN-UP

UPON COMPLETION OF ALL PLANTING WORK AND BEFORE FINAL ACCEPTANCE, THE CONTRACTOR SHALL REMOVE ALL MATERIAL, EQUIPMENT, AND DEBRIS RESULTING FROM THEIR WORK. ALL PAVED AREAS SHALL BE BROOM CLEANED AND THE SITE LEFT IN A NEAT AND ACCEPTABLE CONDITION AS APPROVED BY THE OWNER'S AUTHORIZED REPRESENTATIVE.

U. PLANT MATERIAL MAINTENANCE

ALL PLANTS AND PLANTING INCLUDED UNDER THIS CONTRACT SHALL BE MAINTAINED BY WATERING, CULTIVATING, SPRAYING, AND ALL OTHER OPERATIONS NECESSARY TO INSURE A HEALTHY CONDITION BY THE CONTRACTOR UNTIL CERTIFICATION OF ACCEPTABILITY BY THE LANDSCAPE ARCHITECT OR OWNER. MAINTENANCE AFTER THE CERTIFICATION OF ACCEPTABILITY SHALL BE IN ACCORDANCE WITH THE SPECIFICATIONS IN THIS SECTION.

V. MAINTENANCE (ALTERNATE BID ITEM)

1. CONTRACTORS ARE REQUESTED TO PROVIDE A BID ESTIMATE FOR MAINTENANCE FOLLOWING THE INITIAL NINETY (90)-DAY MAINTENANCE PERIOD ON A COST PER MONTH BASIS.

W. GUARANTEE

1. THE LIFE AND SATISFACTORY CONDITION OF ALL PLANT MATERIAL INSTALLED BY THE LANDSCAPE CONTRACTOR SHALL BE GUARANTEED BY THE CONTRACTOR FOR A MINIMUM OF ONE (1) CALENDAR YEAR COMMENCING AT THE TIME OF CERTIFICATION OF ACCEPTABILITY BY THE LANDSCAPE ARCHITECT OR OWNER.

2. THE LIFE AND SATISFACTORY CONDITION OF ALL OTHER PLANT MATERIAL (INCLUDING SOD) INSTALLED BY THE LANDSCAPE CONTRACTOR SHALL BE GUARANTEED BY THE CONTRACTOR FOR A MINIMUM OF NINETY (90) CALENDAR DAYS, COMMENCING AT THE TIME OF CERTIFICATION OF ACCEPTABILITY BY THE LANDSCAPE ARCHITECT OR OWNER.

3. REPLACEMENT: ANY PLANT NOT FOUND IN A HEALTHY GROWING CONDITION AT THE END OF THE GUARANTEE PERIOD SHALL BE REMOVED FROM THE SITE AND REPLACED AS SOON AS WEATHER CONDITIONS PERMIT. ALL REPLACEMENTS SHALL BE PLANTS OF THE SAME KIND AND SIZE AS SPECIFIED IN THE PLANT LIST. THEY SHALL BE FURNISHED, PLANTED, AND MULCHED AS SPECIFIED UNDER "PLANTING", AT NO ADDITIONAL COST TO THE OWNER.

4. IN THE EVENT THE OWNER DOES NOT ENGAGE THE CONTRACTOR FOR LANDSCAPE (AND IRRIGATION) MAINTENANCE, THE CONTRACTOR IS ENCOURAGED TO VISIT THE PROJECT SITE PERIODICALLY DURING THE ONE YEAR WARRANTY PERIOD TO EVALUATE MAINTENANCE PROCEDURES BEING PERFORMED BY THE OWNER. CONTRACTOR SHALL NOTIFY THE OWNER IN WRITING OF MAINTENANCE PROCEDURES OR CONDITIONS WHICH THREATEN VIGOROUS AND HEALTHY PLANT GROWTH. IT IS SUGGESTED SUCH SITE VISITS SHALL BE AT A MINIMUM OF ONCE PER MONTH FOR A PERIOD OF TWELVE (12) MONTHS FROM THE DATE OF ACCEPTANCE.

X. FINAL INSPECTION AND ACCEPTANCE OF WORK

FINAL INSPECTION AT THE END OF THE GUARANTEE PERIOD SHALL BE ON PLANTING, CONSTRUCTION AND ALL OTHER INCIDENTAL WORK PERTAINING TO THIS CONTRACT. ANY REPLACEMENT AT THE TIME SHALL BE SUBJECT TO THE SAME ONE (1) YEAR GUARANTEE (OR AS SPECIFIED BY THE LANDSCAPE ARCHITECT OR OWNER IN WRITING) BEGINNING WITH THE TIME OF REPLACEMENT AND ENDING WITH THE SAME INSPECTION AND ACCEPTANCE HEREIN DESCRIBED.

APPROVED:  
I hereby certify that the above and foregoing site plan for development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission on the 9 day of January, 2024.

*[Signature]*  
Planning & Zoning Commission, Chairman

*[Signature]*  
Director of Planning & Zoning

BENCHMARKS:

- BM#1** "X" CUT SET IN BOX ON CENTERLINE OF A MEDIAN BULLNOSE ALONG SOUTH JOHN KING BOULEVARD. ±500' SOUTH OF THE CENTERLINE OF INTERSTATE HWY 30 AND ±140' NORTH OF A BICYCLIST SIGN ON THE WEST SIDE OF SOUTH JOHN KING BOULEVARD.  
SURFACE NORTHING: 7022825.45  
SURFACE EASTING: 2603164.43  
ELEV=566.757
- BM#2** "X" CUT SET IN BOX ON CENTERLINE OF A MEDIAN BULLNOSE ALONG SOUTH JOHN KING BOULEVARD. ±1100' SOUTH OF THE CENTERLINE OF INTERSTATE HWY 30 AND ±60' EAST OF THE NORTH ENTRANCE TO THE MANSION SENIOR LIVING CENTER.  
SURFACE NORTHING: 7022827.76  
SURFACE EASTING: 2603234.30  
ELEV=562.35
- BM#3** "X" CUT SET IN BOX ON CENTERLINE OF A MEDIAN BULLNOSE ALONG SOUTH JOHN KING BOULEVARD. ±40' EAST OF THE CENTERLINE OF INTERSTATE HWY 30 AND ±50' EAST OF A TRAFFIC SIGNAL POLE FOR THE SOUTHBOUND LANE OF SOUTH JOHN KING BOULEVARD.  
SURFACE NORTHING: 7023321.53  
SURFACE EASTING: 2603146.63  
ELEV=574.32
- MON#9** "BRASS DISC" STAMPED CITY OF ROCKWALL SURVEY MONUMENT ON THE SOUTH SIDE OF DISCOVERY BLVD. AT THE SOUTHEAST CORNER OF A CURB INLET. ±180' EAST INTERSECTION OF DISCOVERY/CORPORATE.  
PUBLISHED ELEV=595.63  
OBSERVED ELEV=595.69

**BEFORE YOU DIG, CALL DIG TESS**  
**1-800-DIG-TESS**

NOT FOR CON







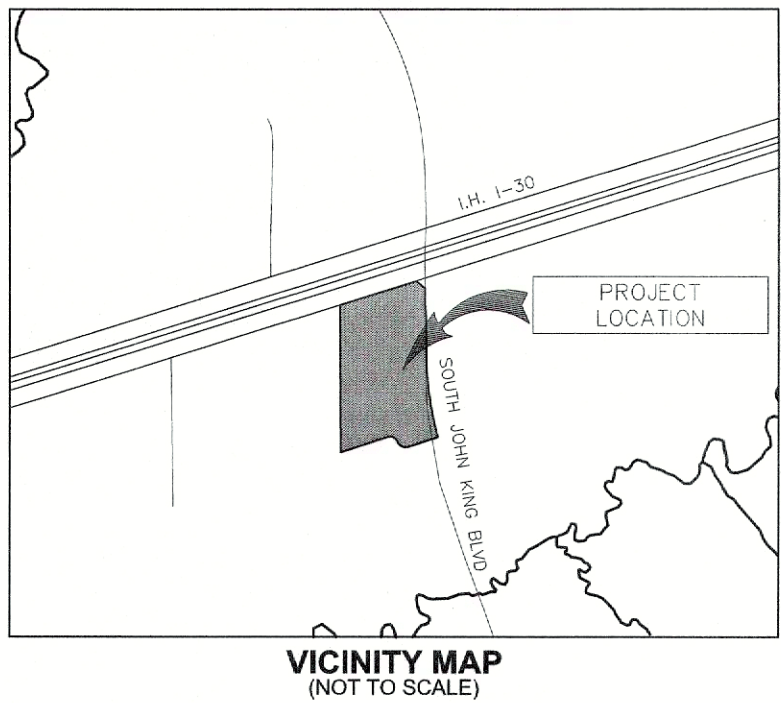
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TAG#	DBH	HT	COMMON NAME	SCIENTIFIC NAME	STATUS	MITIGATION TREES
679	18	8' +	Eastern Red Cedar	<i>Juniperus virginiana</i>	Remove	1
680	15	8' +	Eastern Red Cedar	<i>Juniperus virginiana</i>	Remove	1
681	11	8' +	Eastern Red Cedar	<i>Juniperus virginiana</i>	Remove	1
682	13	8' +	Eastern Red Cedar	<i>Juniperus virginiana</i>	Remove	1
683	16	8' +	Eastern Red Cedar	<i>Juniperus virginiana</i>	Remove	1
684	14	8' +	Eastern Red Cedar	<i>Juniperus virginiana</i>	Remove	1
685	11	8' +	Eastern Red Cedar	<i>Juniperus virginiana</i>	Remove	1
686	13	8' +	Eastern Red Cedar	<i>Juniperus virginiana</i>	Remove	1
687	15	8' +	Eastern Red Cedar	<i>Juniperus virginiana</i>	Remove	1
688	16	8' +	Eastern Red Cedar	<i>Juniperus virginiana</i>	Remove	1
689	12	8' +	Eastern Red Cedar	<i>Juniperus virginiana</i>	Remove	1
690	12	8' +	Eastern Red Cedar	<i>Juniperus virginiana</i>	Remove	1
691	16	8' +	Eastern Red Cedar	<i>Juniperus virginiana</i>	Remove	1
692	15	8' +	Eastern Red Cedar	<i>Juniperus virginiana</i>	Remove	1
693	16	8' +	Eastern Red Cedar	<i>Juniperus virginiana</i>	Remove	1
694	14	8' +	Eastern Red Cedar	<i>Juniperus virginiana</i>	Remove	1
695	11	8' +	Eastern Red Cedar	<i>Juniperus virginiana</i>	Remove	1
696	15	8' +	Eastern Red Cedar	<i>Juniperus virginiana</i>	Remove	1
697	17	8' +	Eastern Red Cedar	<i>Juniperus virginiana</i>	Remove	1
698	18	8' +	Eastern Red Cedar	<i>Juniperus virginiana</i>	Remove	1
699	11	8' +	Eastern Red Cedar	<i>Juniperus virginiana</i>	Remove	1
700	21	8' +	Eastern Red Cedar	<i>Juniperus virginiana</i>	Remove	1
701	17	8' +	Eastern Red Cedar	<i>Juniperus virginiana</i>	Remove	1
702	18	8' +	Eastern Red Cedar	<i>Juniperus virginiana</i>	Remove	1
703	16	8' +	Eastern Red Cedar	<i>Juniperus virginiana</i>	Remove	1
704	12	8' +	Eastern Red Cedar	<i>Juniperus virginiana</i>	Remove	1
705	14	8' +	Eastern Red Cedar	<i>Juniperus virginiana</i>	Remove	1
706	16	8' +	Eastern Red Cedar	<i>Juniperus virginiana</i>	Remove	1
707	11	8' +	Eastern Red Cedar	<i>Juniperus virginiana</i>	Remove	1
708	11	8' +	Eastern Red Cedar	<i>Juniperus virginiana</i>	Remove	1
709	11	8' +	Eastern Red Cedar	<i>Juniperus virginiana</i>	Remove	1
710	11	8' +	Eastern Red Cedar	<i>Juniperus virginiana</i>	Remove	1
711	12	8' +	Eastern Red Cedar	<i>Juniperus virginiana</i>	Remove	1
712	12	8' +	Eastern Red Cedar	<i>Juniperus virginiana</i>	Remove	1
713	11	8' +	Eastern Red Cedar	<i>Juniperus virginiana</i>	Remove	1
714	11	8' +	Eastern Red Cedar	<i>Juniperus virginiana</i>	Remove	1
715	12	8' +	Eastern Red Cedar	<i>Juniperus virginiana</i>	Remove	1
716	13	8' +	Eastern Red Cedar	<i>Juniperus virginiana</i>	Remove	1
717	12	8' +	Eastern Red Cedar	<i>Juniperus virginiana</i>	Remove	1
718	13	8' +	Eastern Red Cedar	<i>Juniperus virginiana</i>	Remove	1
719	14	8' +	Eastern Red Cedar	<i>Juniperus virginiana</i>	Remove	1
720	12	8' +	Eastern Red Cedar	<i>Juniperus virginiana</i>	Remove	1
721	11	8' +	Eastern Red Cedar	<i>Juniperus virginiana</i>	Remove	1
722	19	8' +	Eastern Red Cedar	<i>Juniperus virginiana</i>	Remove	1
723	12	8' +	Eastern Red Cedar	<i>Juniperus virginiana</i>	Remove	1
724	12	8' +	Eastern Red Cedar	<i>Juniperus virginiana</i>	Remove	1
725	11	8' +	Eastern Red Cedar	<i>Juniperus virginiana</i>	Remove	1

726	11	8' +	Eastern Red Cedar	<i>Juniperus virginiana</i>	Remove	1
727	11	8' +	Eastern Red Cedar	<i>Juniperus virginiana</i>	Remove	1
728	15	8' +	Eastern Red Cedar	<i>Juniperus virginiana</i>	Remove	1
729	12	8' +	Eastern Red Cedar	<i>Juniperus virginiana</i>	Remove	1
730	11	8' +	Eastern Red Cedar	<i>Juniperus virginiana</i>	Remove	1
731	11	8' +	Eastern Red Cedar	<i>Juniperus virginiana</i>	Remove	1
732	12	8' +	Eastern Red Cedar	<i>Juniperus virginiana</i>	Remove	1
733	11	8' +	Eastern Red Cedar	<i>Juniperus virginiana</i>	Remove	1
734	12	8' +	Eastern Red Cedar	<i>Juniperus virginiana</i>	Remove	1
735	11	8' +	Eastern Red Cedar	<i>Juniperus virginiana</i>	Remove	1
736	12	8' +	Eastern Red Cedar	<i>Juniperus virginiana</i>	Remove	1
737	11	8' +	Eastern Red Cedar	<i>Juniperus virginiana</i>	Remove	1
TOTAL MITIGATION TREES						59



BEFORE YOU DIG, CALL DIG TESS  
1-800-DIG-TESS



APPROVED:  
I hereby certify that the above and foregoing site plan for development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission on the 9 day of January, 2024.

*[Signature]* *[Signature]*  
Planning & Zoning Commission, Chairman Director of Planning & Zoning

BENCHMARKS:	
BM#1	"X" CUT SET IN BOX ON CENTERLINE OF A MEDIAN BULLNOSE ALONG SOUTH JOHN KING BOULEVARD. ±500' SOUTH OF THE CENTERLINE OF INTERSTATE HWY 30 AND ±140' NORTH OF A BICYCLIST SIGN ON THE WEST SIDE OF SOUTH JOHN KING BOULEVARD. SURFACE NORTHING: 7022825.45 SURFACE EASTING: 2603164.43 ELEV=565.757
BM#2	"X" CUT SET IN BOX ON CENTERLINE OF A MEDIAN BULLNOSE ALONG SOUTH JOHN KING BOULEVARD. ±1100' SOUTH OF THE CENTERLINE OF INTERSTATE HWY 30 AND ±60' EAST OF THE NORTH ENTRANCE TO THE MANSION SENIOR LIVING CENTER. SURFACE NORTHING: 7022262.76 SURFACE EASTING: 2603234.30 ELEV=552.35
BM#3	"X" CUT SET IN BOX ON CENTERLINE OF A MEDIAN BULLNOSE ALONG SOUTH JOHN KING BOULEVARD. ±40' EAST OF THE CENTERLINE OF INTERSTATE HWY 30 AND ±50' EAST OF A TRAFFIC SIGNAL POLE FOR THE SOUTHBOUND LANE OF SOUTH JOHN KING BOULEVARD. SURFACE NORTHING: 7023321.53 SURFACE EASTING: 2603146.63 ELEV=574.32
MON#9	"BRASS DISC" STAMPED CITY OF ROCKWALL SURVEY MONUMENT ON THE SOUTH SIDE OF DISCOVERY BLVD. AT THE SOUTHEAST CORNER OF A CURB INLET, ±180' EAST INTERSECTION OF DISCOVERY CORPORATE. PUBLISHED ELEV=595.63' OBSERVED ELEV=595.65'

NOT FOR CONSTRUCTION  
REVIEW PURPOSES ONLY

BGE, Inc.  
2595 Dallas Fwy., Suite 101  
Frisco, TX 75034  
Tel: 972-464-4800 • www.bgeinc.com  
TXPE Registration No. F-1046

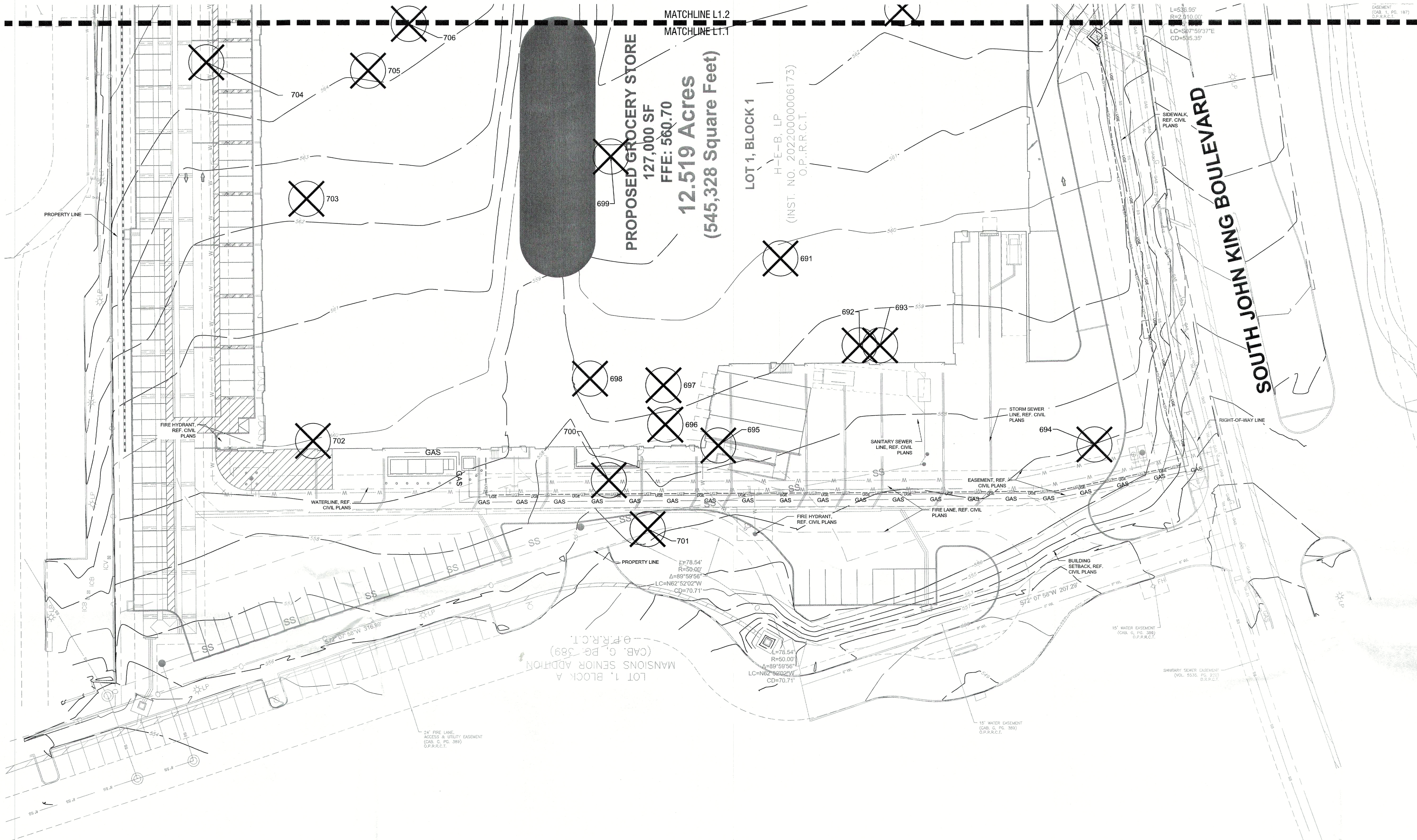
TREE PRESERVATION  
TABLE

H.E.B. ROCKWALL - STORE #810  
1600 E INTERSTATE 30  
ROCKWALL, TEXAS 75032

SCALE: AS NOTED  
CONSIL PROJ NO.: 9559-01  
DATE: 01/31/2024  
SHEET NO.

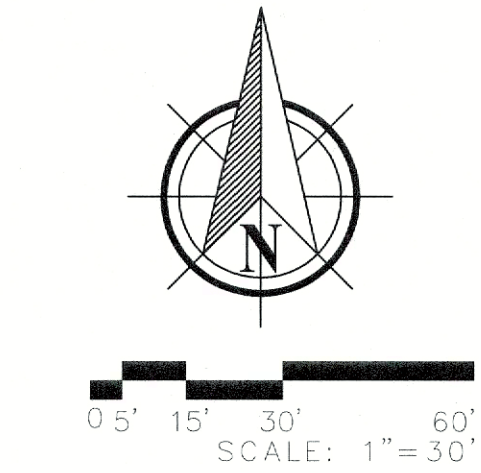
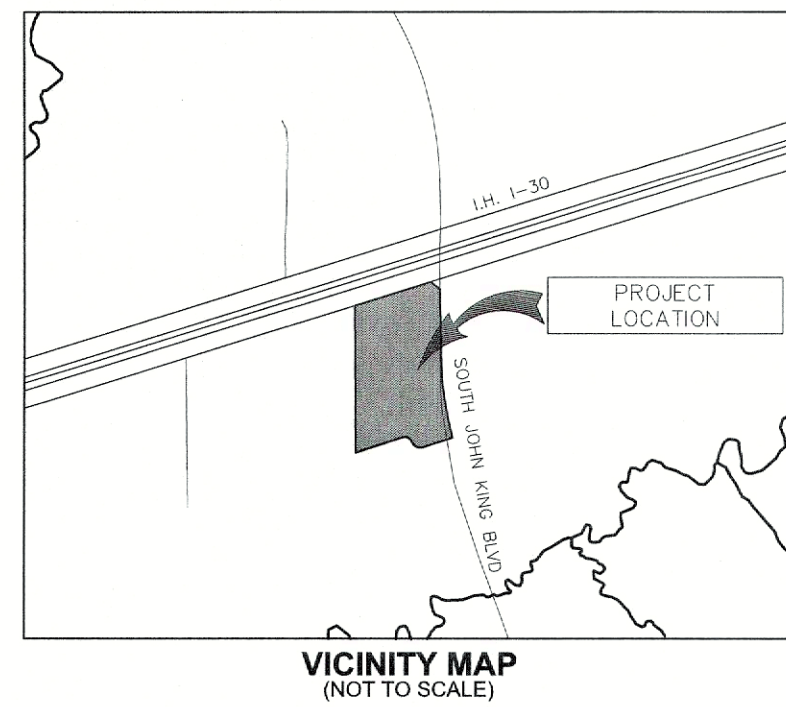
L1.00





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**1-800-DIG-TESS**



### LEGEND

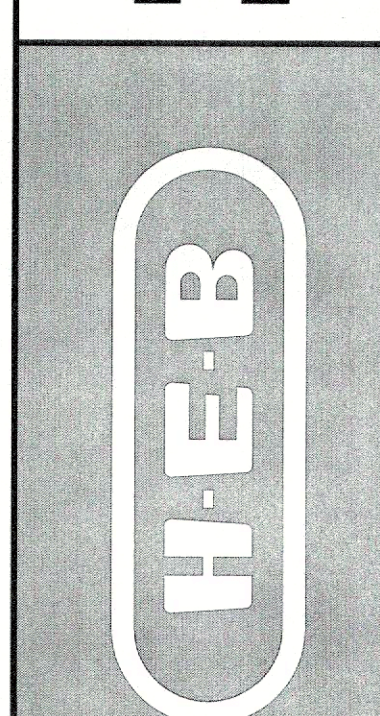
- PRESERVED TREE
- EXEMPT TREE TO BE REMOVED
- TREE TO BE REMOVED

APPROVED:  
I hereby certify that the above and foregoing site plan for development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission on the 4 day of January, 2024.  
  
Planning & Zoning Commission, Chairman

BENCHMARKS:	
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NOT FOR CONSTRUCTION  
REVIEW PURPOSES ONLY

**BGE, Inc.**  
2565 Dallas Pkwy., Suite 101  
Frisco, TX 75034  
Tel: 972-464-4800 • www.bgeinc.com  
TPE Registration No. F-1046

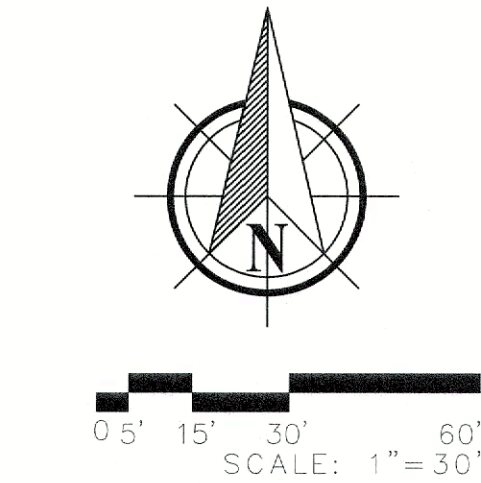
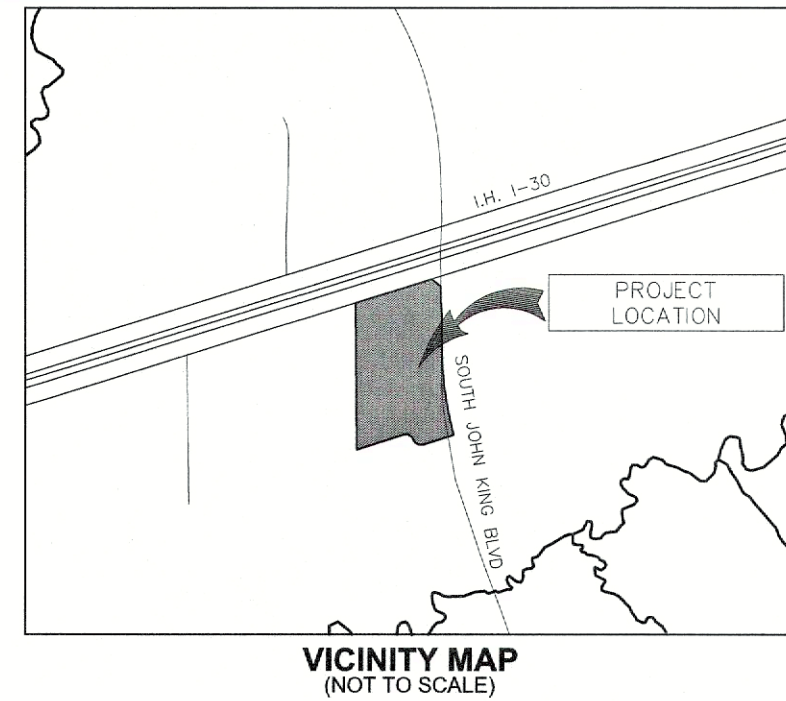
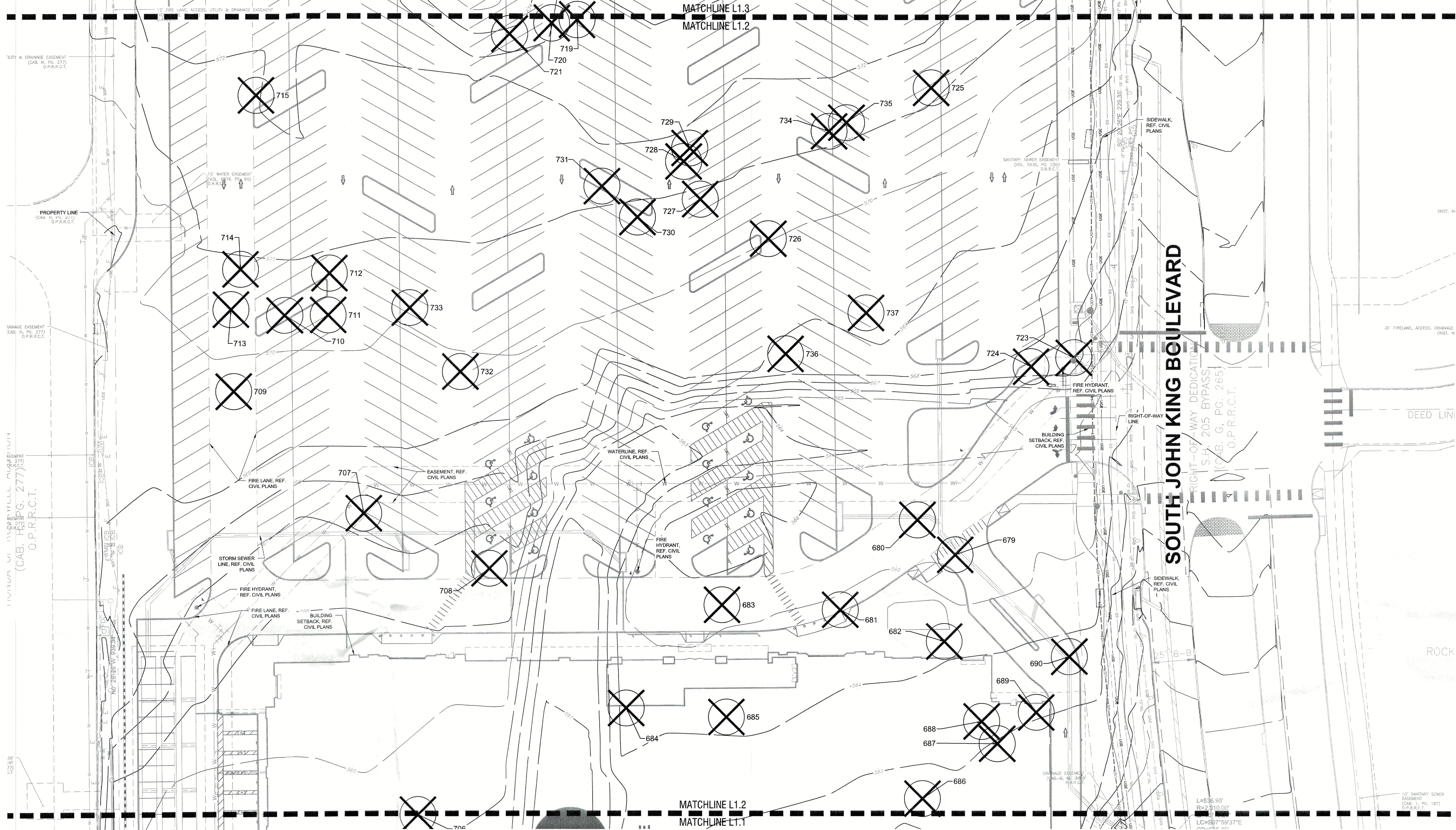


**TREE PRESERVATION PLAN**  
**H.E.B. ROCKWALL - STORE #810**  
1600 E INTERSTATE 30  
ROCKWALL, TEXAS 75082

SCALE: AS NOTED  
CONSULT: 05/09/01  
DATE: 01/01/2024  
SHEET NO.  
**L1.01**



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## LEGEND

- PRESERVED TREE
- EXEMPT TREE TO BE REMOVED
- TREE TO BE REMOVED

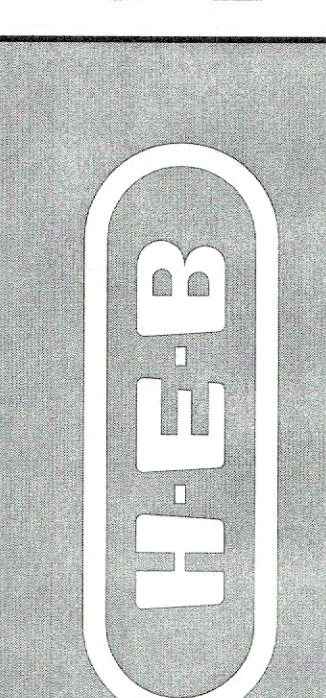
APPROVED:  
I hereby certify that the above and foregoing site plan for development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission on the 9 day of January, 2024.  
  
Planning & Zoning Commission, Chairman

BENCHMARKS:	
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**BEFORE YOU DIG, CALL DIG TESS**  
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TBE Registration No. F-1046

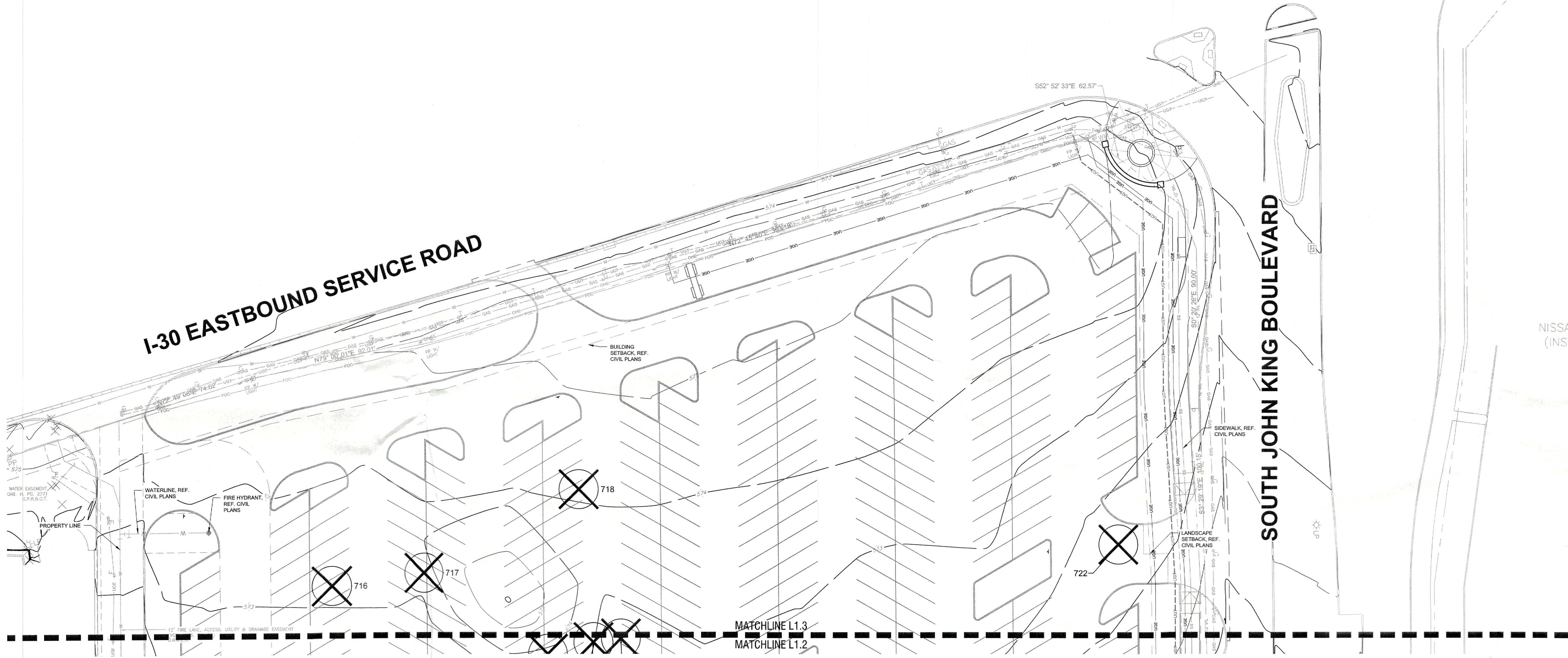


**TREE PRESERVATION PLAN**  
**H.E.B. ROCKWALL - STORE #810**  
1800 E INTERSTATE 30  
ROCKWALL, TEXAS 75082

SCALE: AS NOTED  
CONSULT: 1/23/24  
DATE: 01/03/2024  
SHEET NO.  
**L1.02**

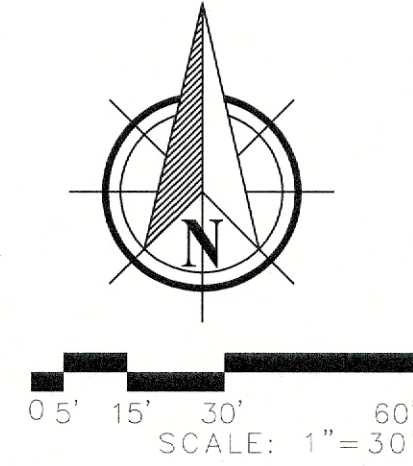
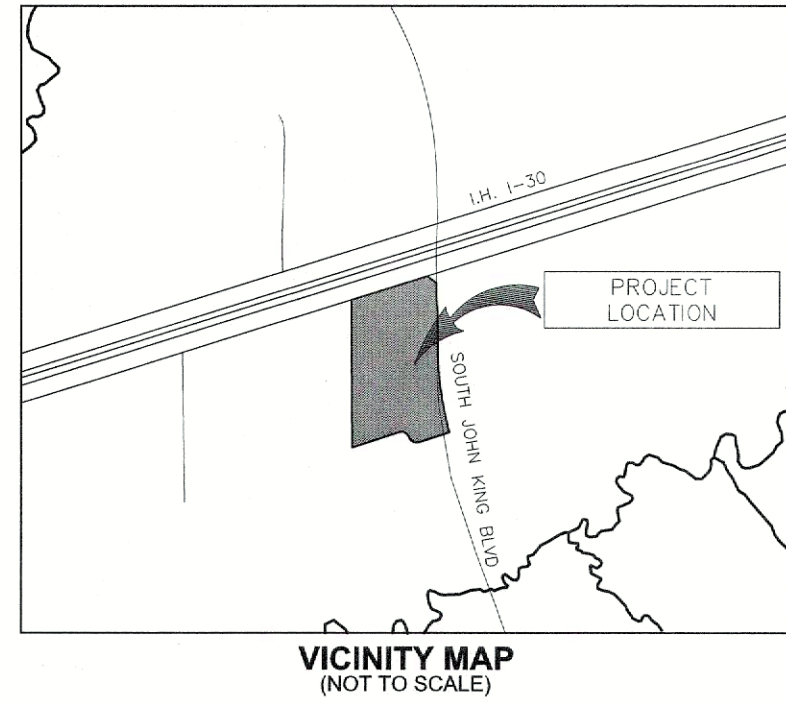


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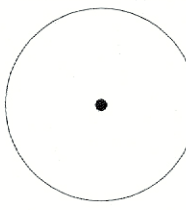
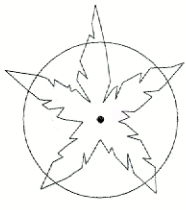
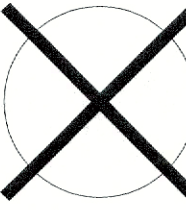


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1-800-DIG-TESS**




## LEGEND

-  PRESERVED TREE
-  EXEMPT TREE TO BE REMOVED
-  TREE TO BE REMOVED

APPROVED:  
I hereby certify that the above and foregoing site plan for development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission on the 9 day of January, 2024.

 Planning & Zoning Commission, Chairman

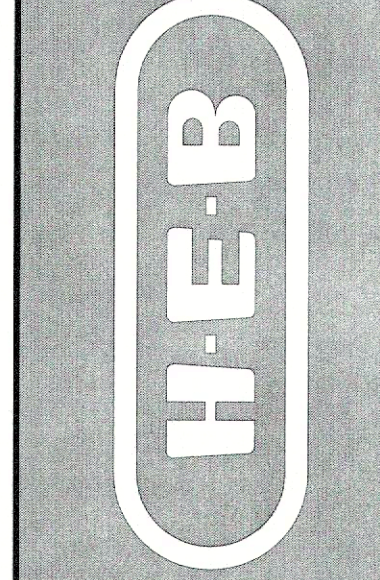
 Director of Planning & Zoning

## BENCHMARKS:

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2595 Dallas Pkwy., Suite 101  
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TBE Registration No. F-1046



**TREE PRESERVATION  
PLAN**


**H.E.B. ROCKWALL - STORE #810**  
1600 E INTERSTATE 30  
ROCKWALL, TEXAS 75082

SCALE: AS NOTED  
CONSULT: 959-01  
DATE: 01/31/2024  
SHEET NO:  
**L1.03**



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PLANT SCHEDULE

CANOPY TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	COND	HT	SPR	REMARKS
	JV5	10	Juniperus virginiana	Eastern Red Cedar	5" cal	B&B	10' ht	5' spr	Full, Straight, Single Leader, Street Tree
	QM	12	Quercus macrocarpa	Burr Oak	4" cal	B&B	14' ht	6' spr	Full, Straight, Single Leader
	QM5	6	Quercus macrocarpa	Burr Oak	5" cal	B&B	14' ht	6' spr	Full, Straight, Single Leader, Street Tree
	QS	20	Quercus shumardii	Shumard Red Oak	4" cal	B&B	14' ht	6' spr	Full, Straight, Single Leader
	QS5	13	Quercus shumardii	Shumard Red Oak	5" cal	B&B	14' ht	6' spr	Full, Straight, Single Leader, Street Tree
	QV	8	Quercus virginiana	Southern Live Oak	4" cal	B&B	14' ht	6' spr	Full, Straight, Single Leader
	QV5	4	Quercus virginiana	Southern Live Oak	5" cal	B&B	14' ht	6' spr	Full, Straight, Single Leader, Street Tree
	UC	23	Ulmus crassifolia	Cedar Elm	4" cal	B&B	14' ht	6' spr	Full, Straight, Single Leader
	UC5	4	Ulmus crassifolia	Cedar Elm	5" cal	B&B	14' ht	6' spr	Full, Straight, Single Leader, Street Tree
	UP	4	Ulmus parvifolia 'Allee'	Allee Lacebark Elm	4" cal	B&B	14' ht	6' spr	Full, Straight, Single Leader
	UP5	5	Ulmus parvifolia 'Allee'	Allee Lacebark Elm	5" cal	B&B	14' ht	6' spr	Full, Straight, Single Leader, Street Tree
ORNAMENTAL TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	COND	HT	SPR	REMARKS
	CC	21	Cercis canadensis	Eastern Redbud	2" cal	B&B	8' ht	4' spr	Full, Multi-Trunk
	CL	34	Chilopsis linearis	Desert Willow	2" cal	B&B	6' ht	4' spr	Full, Multi-Trunk
	IV	6	Ilex vomitoria	Yaupon Holly	3" cal	10" ht	4' spr	B&B	Full, Multi-Trunk
SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	COND	HT	SPR	REMARKS
	ABG	29	Abelia x grandiflora	Glossy Abelia	5 gal	CONT	24" ht	24" spr	Full, Matching, 36" o.c. spacing
	DAS	6	Dasylirion texanum	Texas Sotol	5 gal	CONT	30" ht	24" spr	Full, Matching, 24" o.c. spacing
	HPR	4	Hesperaloe parviflora	Red Yucca	5 gal	CONT	24" ht	24" spr	Full, Matching, 24" o.c. spacing
	HPY	4	Hesperaloe parviflora 'Yellow'	Yellow Yucca	5 gal	CONT	24" ht	24" spr	Full, Matching, 24" o.c. spacing
	INR	91	Ilex x 'Nellie R. Stevens'	Nellie R. Stevens Holly	5 gal	CONT	30" ht	24" spr	Full, Matching, 72" o.c. spacing
	LFC	196	Leucophyllum frutescens 'Compacta'	Compact Texas Sage	5 gal	CONT	24" ht	24" spr	Full, Matching, 36" o.c. spacing
	MAD	40	Malvaviscus drummondii	Turk's Cap	5 gal	CONT	30" ht	24" spr	Full, Matching, 24" o.c. spacing
	MYP	147	Myrica pusilla	Dwarf Wax Myrtle	5 gal	CONT	30" ht	24" spr	Full, Matching, 36" o.c. spacing
	OPU	5	Opuntia aurea 'Texas Feeder'	Spineless Pricklypear	5 gal	CONT	30" ht	30" spr	Full, Matching, Spacing Per Plan
	YUR	17	Yucca recurvifolia	Soft Leaf Yucca	5 gal	CONT	30" ht	24" spr	Full, Matching, 24" o.c. spacing
GRASSES	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	COND	HT	SPR	REMARKS
	MUL	16	Muhlenbergia lindheimeri	Lindheimeri Muhly	3 gal	CONT	24" ht	--	Full, Matching, 36" o.c. spacing
	NAS	378	Nassella tenuissima	Mexican Feather Grass	3 gal	CONT	18" ht	--	Full, Matching, 24" o.c. spacing
	SCS	28	Schizachyrium scoparium	Little Bluestem Grass	3 gal	CONT	12" ht	--	Full, Matching, 24" o.c. spacing
GROUND COVER	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	COND	HT	SPR	REMARKS
	CAR	204	Carex divulsa	Berkeley Sedge	1 gal	CONT	12" ht	12" spr	Full, 1 gallon min., 18" o.c. spacing
	LNG	120	Lantana x 'New Gold'	New Gold Lantana	1 gal	CONT	12" ht	12" spr	Full, 1 gallon min., 18" o.c. spacing
SOD	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	COND	HT	SPR	REMARKS
	SOD	65,162 sf	Cynodon dactylon x transvaalensis 'TifTuf'	TifTuf Bermudagrass	---	---	---	---	Solid Sod, tight sand filled joints, 100% weed, disease and pest free
MISC	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	COND	HT	SPR	REMARKS
	STEEL EDGE	TBD		Steel Edging	---	---	---	---	3" x 6", black
	MULCH	TBD		Shredded Hardwood Mulch	---	---	---	---	Min. 3" depth, trees in sod to receive 4" dia ring
	DG	115 sf		Decomposed Granite	---	---	---	---	Min. 4" depth, natural color

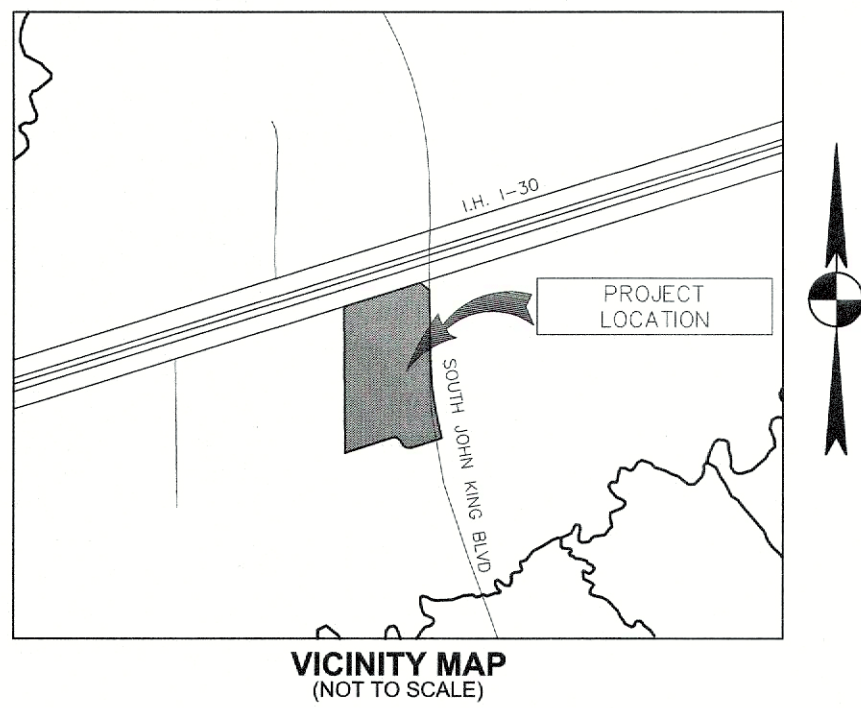
CITY OF ROCKWALL - CODE REQUIREMENTS



LANDSCAPE AREA	REQUIRED	PROVIDED
20% OF SITE 545,328 SF X 20% = 109,066 SF IMPERVIOUS AREA= 469,816 SF	109,066 SF 20%	76,310 SF 14% (EXCEPTION)
SITE TREES	REQUIRED	PROVIDED
12 TREES PER ACRE 12.519 AC X 12 = 150.228 TREES	150 TREES	170 TREES
IH-30 OVERLAY DISTRICT LANDSCAPE BUFFER: 20' DEPTH	REQUIRED	PROVIDED
MIN. 30" HT SHRUBS	YES	YES
CANOPY TREES 2 TREES PER 100 LF (519.8 LF / 100) x 2 = 10 TREES	11 TREES	11 TREES
ORNAMENTAL TREES 4 TREE PER 100 LF (519.8 LF / 100) x 4 = 21 TREES	21 TREES	21 TREES
SH-205 BY-PASS OVERLAY DISTRICT LANDSCAPE BUFFER: 25' DEPTH	REQUIRED	PROVIDED
MIN. 30" HT SHRUBS	YES	YES
CANOPY TREES 2 TREE PER 100 LF (956.44 LF / 100) x 2 = 20 TREES	20 TREES	20 TREES
ORNAMENTAL TREES 4 TREE PER 100 LF (956.44 LF / 100) x 4 = 40 TREES	40 TREES	40 TREES
CEDAR TREES 1 TREE PER 100 LF 956.44 LF / 100 = 10 TREES	10 TREES	10 TREES
SCREENING FROM RESIDENTIAL ORNAMENTAL IRON FENCE	REQUIRED	PROVIDED
SCREENING SHRUBS	YES	YES
50' BUFFER	YES	YES (EXCEPTION)
HEADLIGHT SCREENING MIN. 2' HT BERM	REQUIRED	PROVIDED
EVERGREEN SHRUBS	YES	YES
PARKING REQUIREMENTS MIN. 5 % INTERIOR LANDSCAPING TOTAL PARKING=136,099 SF	REQUIRED	PROVIDED
PARKING TREES 1 TREE PER 10 SPACES 673 SPACES / 10 = 67 TREES	67 TREES	67 TREES
1 TREE WITHIN 80 LF OF EACH SPACE	YES	YES (EXCEPTION)
TREE MITIGATION TREE MITIGATION ONE 4" TREE PER 8' HT CEDAR REMOVED 59 TREES X 4" = 236"	REQUIRED	PROVIDED
	236"	236" PROVIDED BY CODE REQUIRED TREES

IRRIGATION NOTE:  
ALL PLANT MATERIAL TO BE IRRIGATED IN COMPLIANCE TO CITY OF ROCKWALL,  
UNIFIED DEVELOPMENT CODE ARTICLE 8.05.04

!!WARNING!!  
EXISTING UNDERGROUND UTILITIES. CONTRACTOR  
SHALL VERIFY THE EXACT LOCATION OF ALL UTILITIES  
AND COORDINATE WITH CORRESPONDING COMPANY  
PRIOR TO CONSTRUCTION.

BEFORE YOU DIG, CALL DIG TESS  
1-800-DIG-TESS



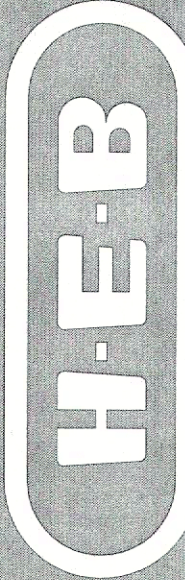
APPROVED:  
I hereby certify that the above and foregoing site plan for  
development in the City of Rockwall, Texas, was approved by the  
Planning & Zoning Commission on the 9 day of January, 2024.  
  
Planning & Zoning Commission, Chairman  
  
Director of Planning & Zoning

BENCHMARKS:	
BM#1	"X" CUT SET IN BOX ON CENTERLINE OF A MEDIAN BULLNOSE ALONG SOUTH JOHN KING BOULEVARD. ±500' SOUTH OF THE CENTERLINE OF INTERSTATE HWY 30 AND ±140' NORTH OF A BICYCLIST SIGN ON THE WEST SIDE OF SOUTH JOHN KING BOULEVARD. SURFACE NORTHING: 7022825.45 SURFACE EASTING: 2603164.43 ELEV=565.757
BM#2	"X" CUT SET IN BOX ON CENTERLINE OF A MEDIAN BULLNOSE ALONG SOUTH JOHN KING BOULEVARD. ±1100' SOUTH OF THE CENTERLINE OF INTERSTATE HWY 30 AND ±60' EAST OF THE NORTH ENTRANCE TO THE MANSION SENIOR LIVING CENTER. SURFACE NORTHING: 7022262.76 SURFACE EASTING: 2603234.30 ELEV=562.35
BM#3	"X" CUT SET IN BOX ON CENTERLINE OF A MEDIAN BULLNOSE ALONG SOUTH JOHN KING BOULEVARD. ±40' EAST OF THE CENTERLINE OF INTERSTATE HWY 30 AND ±50' EAST OF A TRAFFIC SIGNAL POLE FOR THE SOUTHBOUND LANE OF SOUTH JOHN KING BOULEVARD. SURFACE NORTHING: 7023321.53 SURFACE EASTING: 2603146.63 ELEV=574.32
MON#9	"BRASS DISC" STAMPED CITY OF ROCKWALL SURVEY MONUMENT ON THE SOUTH SIDE OF DISCOVERY BLVD. AT THE SOUTHEAST CORNER OF A CURB INLET, ±180' EAST INTERSECTION OF DISCOVERY CORPORATE. PUBLISHED ELEV=595.63' OBSERVED ELEV=595.89'

NOT FOR CONSTRUCTION  
REVIEW PURPOSES ONLY



BGE, Inc.  
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Frisco, TX 75034  
Tel: 972-464-4800 • www.bgeinc.com  
TXPE Registration No. F-1046

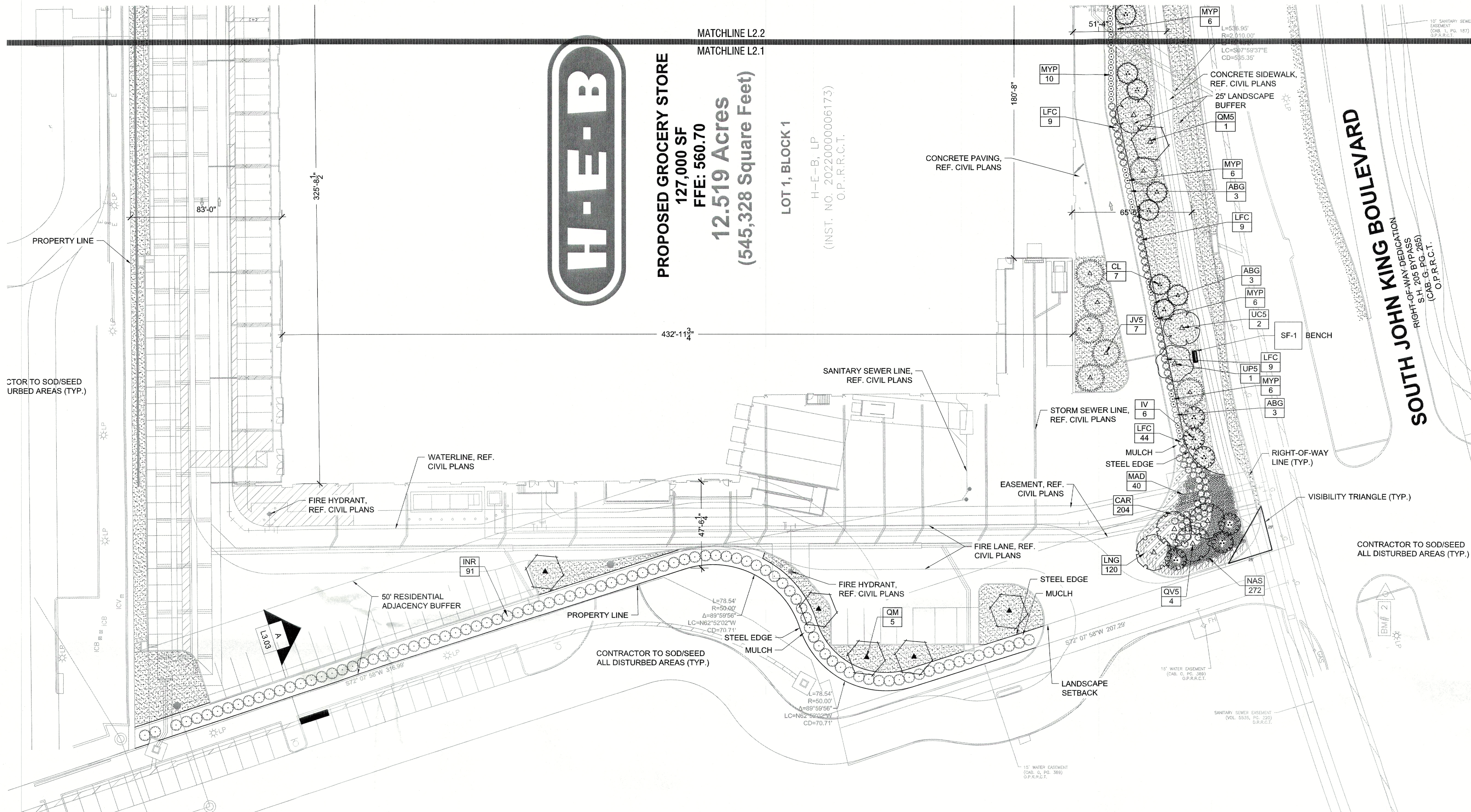


PLANTING SCHEDULE &  
TABULATIONS

H.E.B. ROCKWALL - STORE #810  
1600 E INTERSTATE 30  
ROCKWALL, TEXAS 75032


SCALE: AS NOTED  
CONSUL. PROJ. NO.: 959-01  
DATE: 01/31/2024  
SHEET NO.  
L2.00






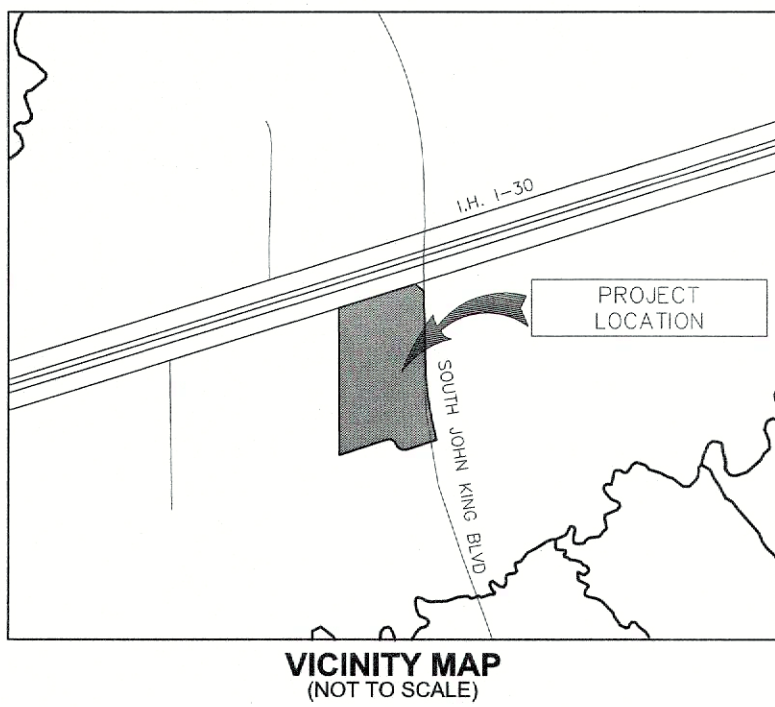
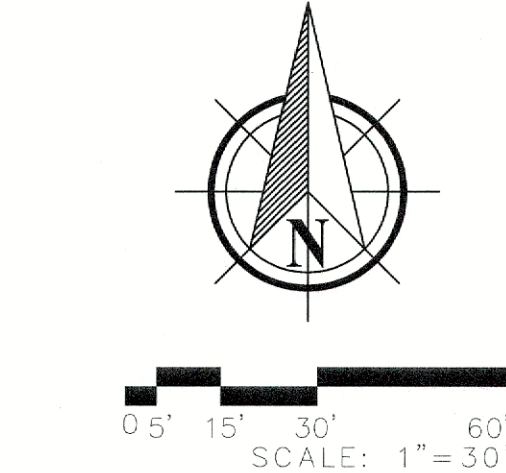
BEFORE YOU DIG, CALL DIG TESS  
1-800-DIG-TESS

APPROVED: I hereby certify that the above and foregoing site plan for development in the City of Rockwall, Texas, was approved by the Planning and Zoning Commission on the 9 day of January, 2004.

  
\_\_\_\_\_  
Planning and Zoning Chairman

  
\_\_\_\_\_  
Director of Planning and Zoning

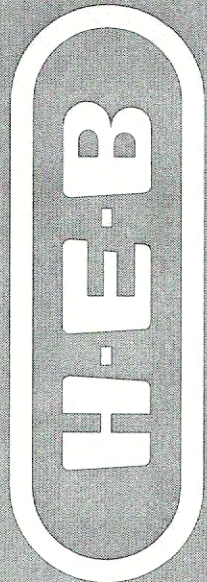
BENCHMARKS:	
BM#1	<p>"X" CUT SET IN BOX ON CENTERLINE OF A MEDIAN BULWOSSE ALONG SOUTH JOHN KIN BOULEVARD, .3500' SOUTH OF THE CENTERLINE OF INTERSTATE HWY 30 AND .550' NORTH OF A BICYCLIST SIGN ON THE WEST SIDE OF SOUTH JOHN KIN BOULEVARD.</p> <p>SURFACE NORTHING: 7022825.45 SURFACE EASTING: 2603164.43 ELEV=565.75</p>
BM#2	<p>"X" CUT SET IN BOX ON CENTERLINE OF A MEDIAN BULWOSSE ALONG SOUTH JOHN KIN BOULEVARD, .1100' SOUTH OF THE CENTERLINE OF INTERSTATE HWY 30 AND EAST OF THE NORTH ENTRANCE TO THE MANSION SENIOR LIVING CENTER.</p> <p>SURFACE NORTHING: 7022262.76 SURFACE EASTING: 2602324.30 ELEV=562.35</p>
BM#3	<p>"X" CUT SET IN BOX ON CENTERLINE OF A MEDIAN BULWOSSE ALONG SOUTH JOHNS BAY BOULEVARD, .240' EAST OF THE CENTERLINE OF INTERSTATE HWY 30 AND .550' EAST OF A TRAFFIC SIGNAL POLE FOR THE SOUTHBOUND LANE OF SOUTH JOHN KIN BOULEVARD.</p> <p>SURFACE NORTHING: 7023321.53 SURFACE EASTING: 2603146.63 ELEV=574.32</p>
MON#9	<p>"BRASS DISC" STAMPED CITY OF ROCKWALL SURVEY MONUMENT ON THE SOUTH SIDE OF DISCOVERY BLVD. AT THE SOUTHEAST CORNER OF A CURB INLET, .180' EAST OF THE INTERSECTION OF DISCOVERY/CORPORATE.</p> <p>PUBLISHED ELEV=595.63 OBSERVED ELEV=596.63</p>



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REVIEW PURPOSES ONLY



**BGE, Inc.**  
2595 Dallas Pkwy., Suite 101  
Frisco, TX 75034  
Tel: 972-464-4800 • [www.bge.com](http://www.bge.com)  
TBPE Registration No. F-1048



# PLANTING PLAN

H.E.B. ROCKWALL - STORE #810  
1600 E INTERSTATE 30  
ROCKWALL, TEXAS 75032

SCALE: AS NOTED	CONSUL.	PROJ. NO.: 9559-01
		DATE: 01/31/2024
		SHEET NO.

## L2.01



E

D



A



**!!WARNING!!**  
EXISTING UNDERGROUND UTILITIES. CONTRACTOR  
SHALL VERIFY THE EXACT LOCATION OF ALL UTILITIES  
AND COORDINATE WITH CORRESPONDING COMPANY  
PRIOR TO CONSTRUCTION.

**MARKS:**

"X" CUT SET IN BOX ON CENTERLINE OF A MEDIAN BULLIONS ALONG SOUTH JOHN KING BOULEVARD. 4500' SOUTH OF THE CENTERLINE OF INTERSTATE HWY 30 AND 1/4 MILE NORTH OF A BICYCLIST SIGN ON THE WEST SIDE OF SOUTH JOHN KING BOULEVARD.

SURFACE NORTHING: 7022825  
SURFACE EASTING: 2603164.43  
ELEV=565.575

"X" CUT SET IN BOX ON CENTERLINE OF A MEDIAN BULLIONS ALONG SOUTH JOHN KING BOULEVARD. 41100' SOUTH OF THE CENTERLINE OF INTERSTATE HWY 30 AND 1/4 MILE NORTH OF THE NORTH ENTRANCE TO THE MANSION SENIOR LIVING CENTER.

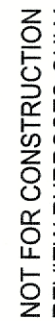
SURFACE NORTHING: 7022826  
SURFACE EASTING: 2603234.30  
ELEV=552.36

"X" CUT SET IN BOX ON CENTERLINE OF A MEDIAN BULLIONS ALONG SOUTH JOHN KING BOULEVARD. 450' EAST OF THE CENTERLINE OF INTERSTATE HWY 30 AND 1/4 MILE NORTH OF THE TRAFFIC SIGNAL POLE FOR THE SOUTHBOUND LANE OF SOUTH JOHN KING BOULEVARD.

SURFACE NORTHING: 7023321  
SURFACE EASTING: 2603146.63  
ELEV=574.32

"BRASS DISC" STAMPED CITY OF ROCKWALL SURVEY MONUMENT ON THE SOUTH SIDE OF DISCOVERY BLVD. AT THE SOUTHEAST CORNER OF A CURB ULN1. 4180' EAST OF INTERSECTION OF DISCOVERY/CORPORATE.

SUBMITTED ELEV=566.63  
OBSERVED ELEV=565.89



**H·E·B**

H.E.B. ROCKWALL - STORE #810  
1600 E INTERSTATE 30  
ROCKWALL, TEXAS 75032

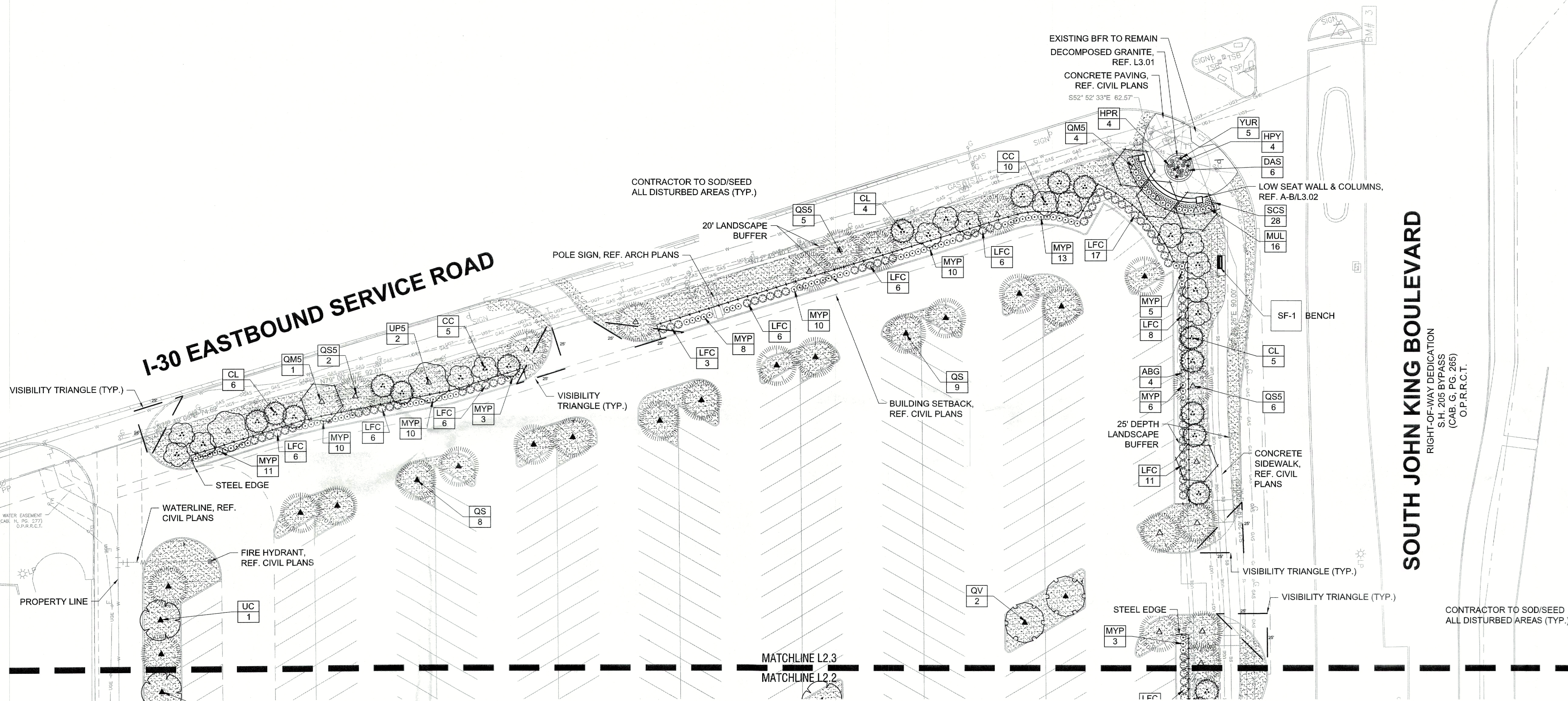
CALE: AS NOTED

ONSUL.  
BRI NO: 9559-01

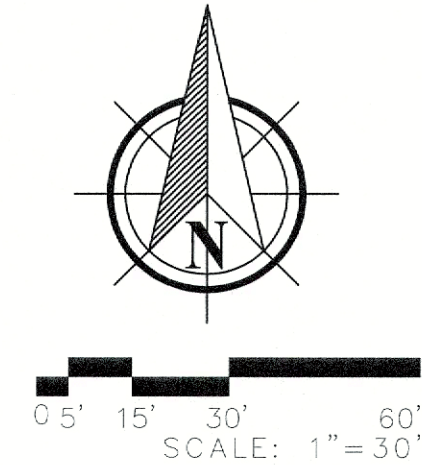
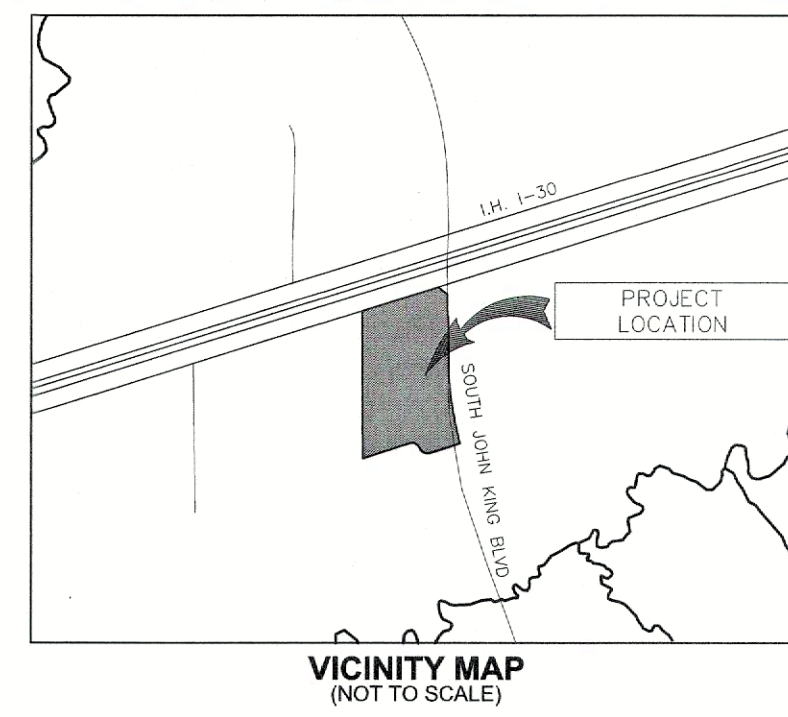
DATE: 01/14/2014

## L2.02





BEFORE YOU DIG, CALL DIG TESS  
1-800-DIG-TESS



APPROVED:  
I hereby certify that the above and foregoing site plan for development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission on the 9 day of January, 2024.

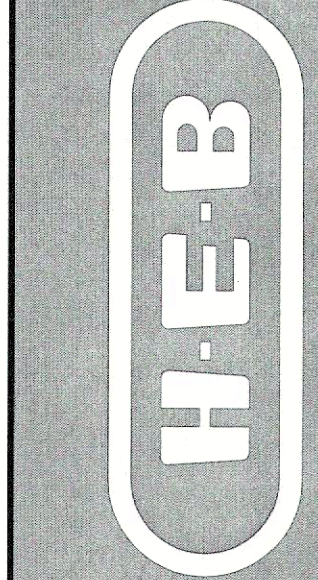
*[Signature]* Planning & Zoning Commission, Chairman  
*[Signature]* Director of Planning & Zoning

BENCHMARKS:	
BM#1	"X" CUT SET IN BOX ON CENTERLINE OF A MEDIAN BULLNOSE ALONG SOUTH JOHN KING BOULEVARD, ±500' SOUTH OF THE CENTERLINE OF INTERSTATE HWY 30 AND ±140' NORTH OF A BICYCLIST SIGN ON THE WEST SIDE OF SOUTH JOHN KING BOULEVARD. SURFACE NORTHING: 7022825.45 SURFACE EASTING: 2603164.43 ELEV=565.757
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BM#3	"X" CUT SET IN BOX ON CENTERLINE OF A MEDIAN BULLNOSE ALONG SOUTH JOHN KING BOULEVARD, ±40' EAST OF THE CENTERLINE OF INTERSTATE HWY 30 AND ±50' EAST OF A TRAFFIC SIGNAL POLE FOR THE SOUTHBOUND LANE OF SOUTH JOHN KING BOULEVARD. SURFACE NORTHING: 7023321.53 SURFACE EASTING: 2603146.63 ELEV=574.32
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REVIEW PURPOSES ONLY



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Frisco, TX 75034  
Tel: 972-464-4800 • www.bgeinc.com  
TPE Registration No. F-1046



PLANTING PLAN

H.E.B. ROCKWALL - STORE #810  
1800 E INTERSTATE 30  
ROCKWALL, TEXAS 75032

SCALE: AS NOTED  
CONSULT: 9559-01  
PROJ. NO.:  
DATE: 01/31/2024  
SHEET NO.

L2.03

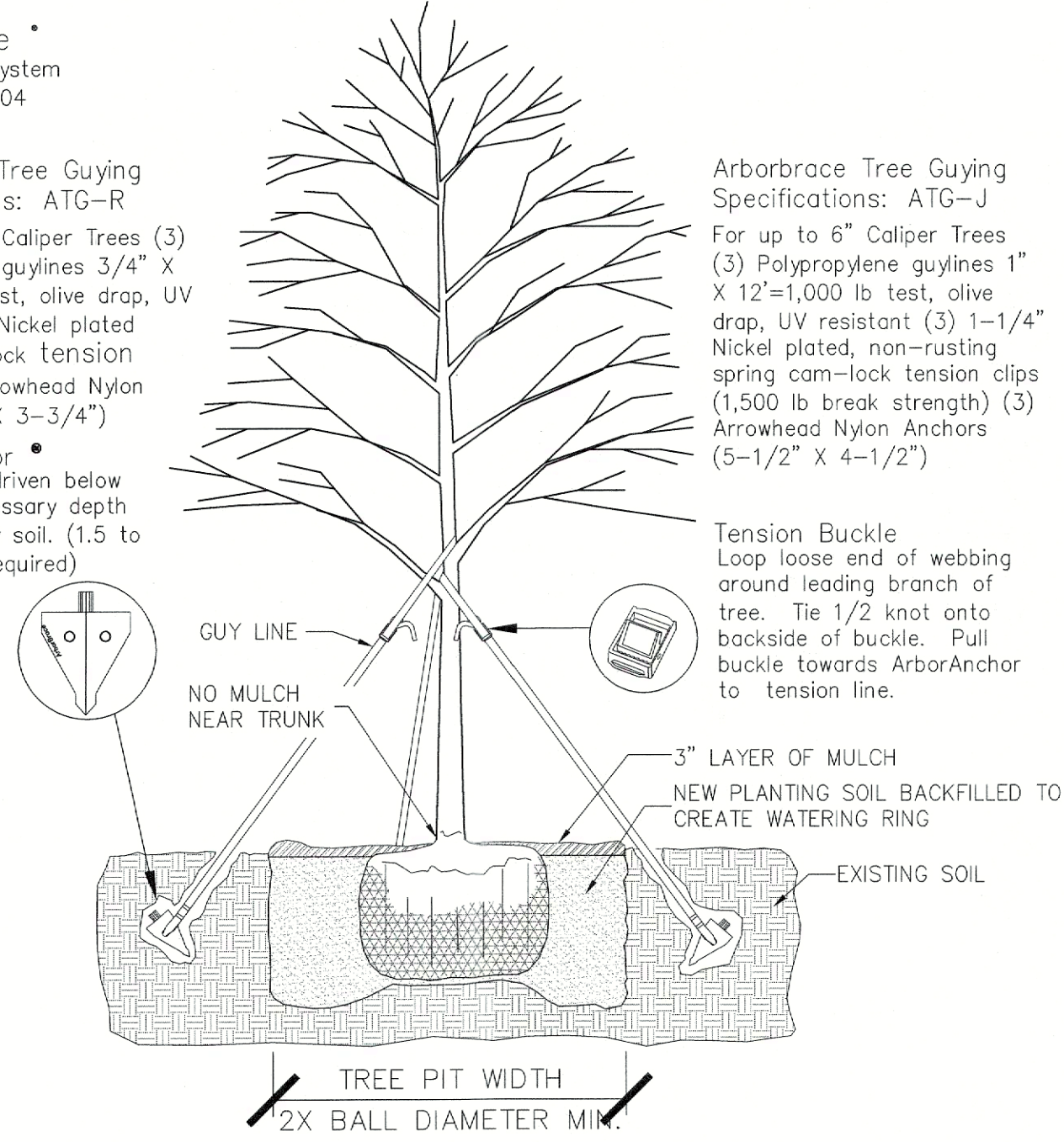


THIS DOCUMENT, TOGETHER WITH THE CONCEPTS AND DESIGNS PRESENTED HEREIN, IS AN INSTRUMENT OF SERVICE, AS AN INSTRUMENT OF SERVICE, IS INTENDED ONLY FOR THE SPECIFIC PURPOSE AND CLIENT FOR WHICH IT WAS PREPARED. REUSE OF AND IMPROPER RELIANCE ON THIS DOCUMENT WITHOUT WRITTEN AUTHORIZATION AND ADAPTATION BY BGE, INC. SHALL BE WITHOUT LIABILITY TO BGE, INC.

ArborBrace  
Tree Guying System  
(305) 992-4104

Arborbrace Tree Guying  
Specifications: ATG-R  
For up to 4" Caliper Trees (3)  
Polypropylene guylines 3/4" X  
12'=800 lb test, olive drab, UV  
resistant (3) Nickel plated  
spring cam-lock tension clips  
(3) Arrowhead Nylon  
Anchors (4" X 3-3/4")

Arbor Anchor  
ArborAnchor driven below  
grade to necessary depth  
determined by soil. (1.5 to  
2.5 feet as required)



Arborbrace Tree Guying  
Specifications: ATG-J  
For up to 6" Caliper Trees  
(3) Polypropylene guylines 1"  
X 12'=1,000 lb test, olive  
drab, UV resistant (3) 1-1/4"  
Nickel plated, non-rusting  
spring cam-lock tension clips  
(1,500 lb break strength) (3)  
Arrowhead Nylon Anchors  
(5-1/2" X 4-1/2")

Tension Buckle  
Loop loose end of webbing  
around leading branch of  
tree. Tie 1/2 knot onto  
backside of buckle. Pull  
buckle towards ArborAnchor  
to tension line.

3" LAYER OF MULCH  
NEW PLANTING SOIL BACKFILLED TO  
CREATE WATERING RING  
EXISTING SOIL

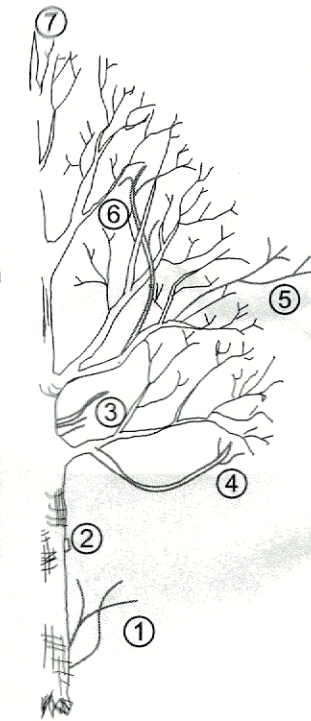
TREE PIT WIDTH  
2X BALL DIAMETER MIN.

## A SHADE TREE STAKING-ARBORBRACE

SECTION NOT TO SCALE

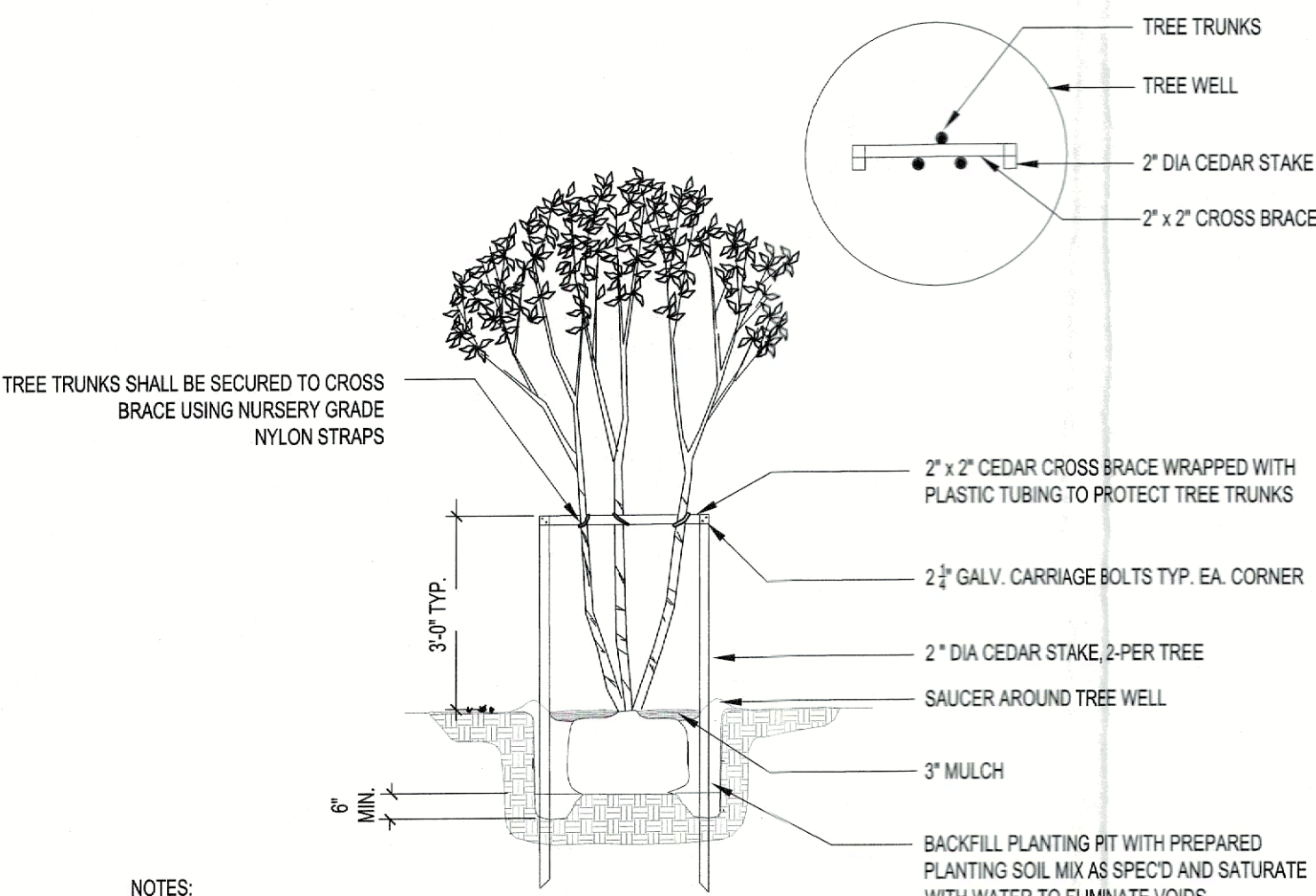
1. REMOVE SUCKER SHOOTS AT BASE OF TREE.
2. MAKE CLEAN CUTS ON OLD STUDS IF PRESENT.
3. REMOVE ENTIRE SUPPLY OF TWIGGS AND BUDS ON TRUNK.
4. REMOVE LOWER BRANCH WHERE AN OVERLYING BRANCH OCCUPIES APPROX. SAME AREA.
5. SHAPE TREE BY REMOVING INJURED AND MISSHAPED BRANCHES.
6. REMOVE CROSS BRANCHES AND THOSE DEVELOPING INTO SECONDARY LEADERS.
7. DO NOT REMOVE LEADER.

NOTE: DASHED LINES INDICATE BRANCHES TO BE REMOVED. - NO MORE THAN 20 PERCENT OF LIMBS, FOLIAGE, ETC., TO BE REMOVED, UNLESS NOTED OTHERWISE



## B SHADE TREE PRUNING

SECTION NOT TO SCALE



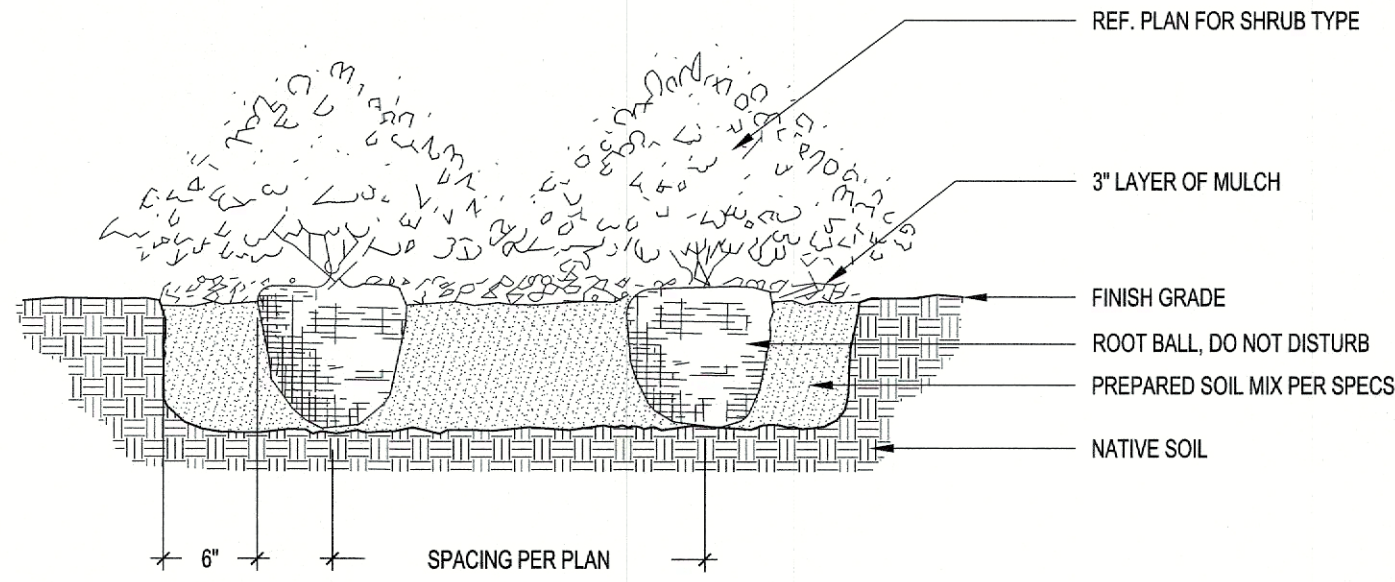
NOTES:

\* TEMPORARY TREE WELL, STAKES AND CROSS BRACE TO BE REMOVED AFTER ONE FULL GROWING SEASON

\* APPROXIMATELY 1/3 OF THE BRANCH STRUCTURE SHALL BE REMOVED BY THINNING BUT THE NATURAL CHARACTER AND GENERAL SHAPE OF THE TREE SHALL BE PRESERVED

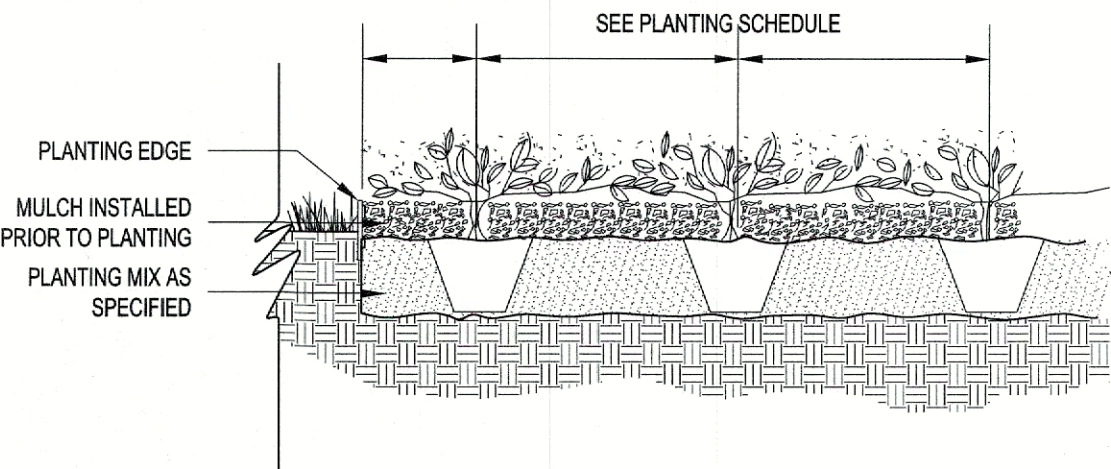
## C ORNAMENTAL / MULTI-TRUNK TREE PLANTING

SECTION / ELEVATION NOT TO SCALE



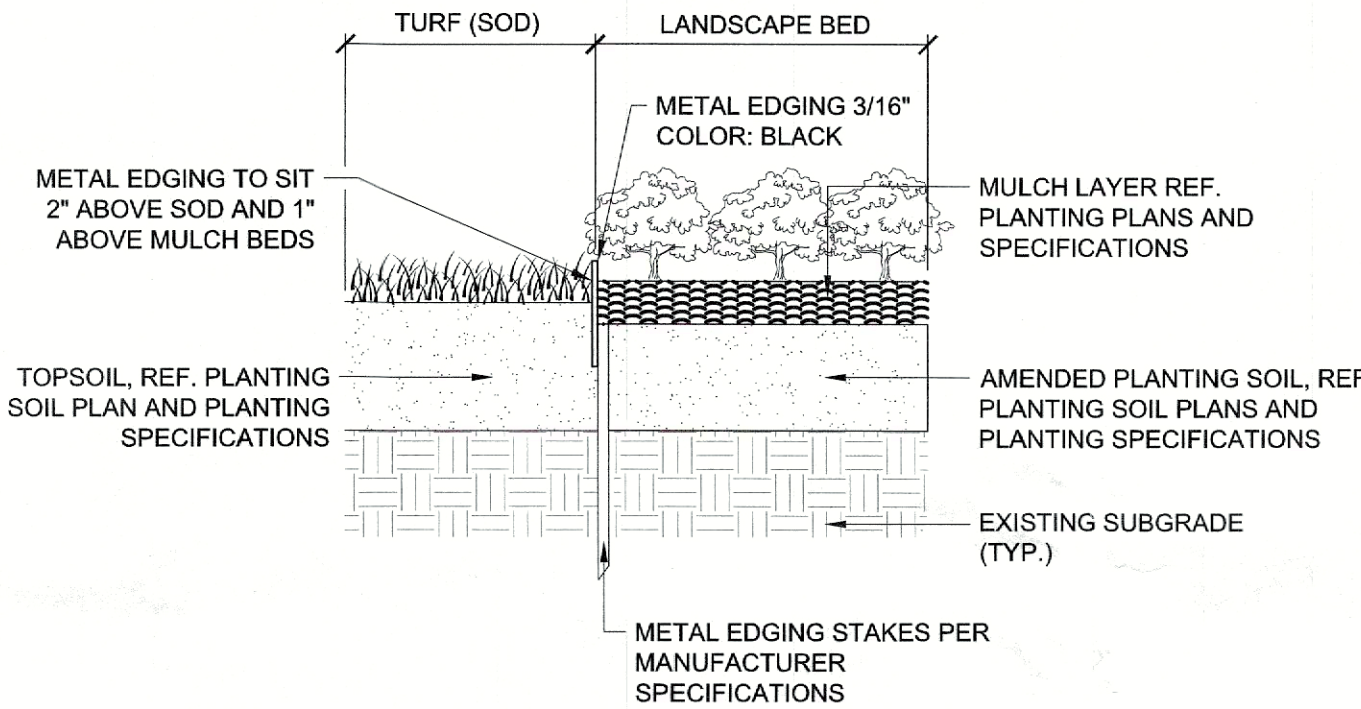
## D SHRUB PLANTING

SECTION NOT TO SCALE



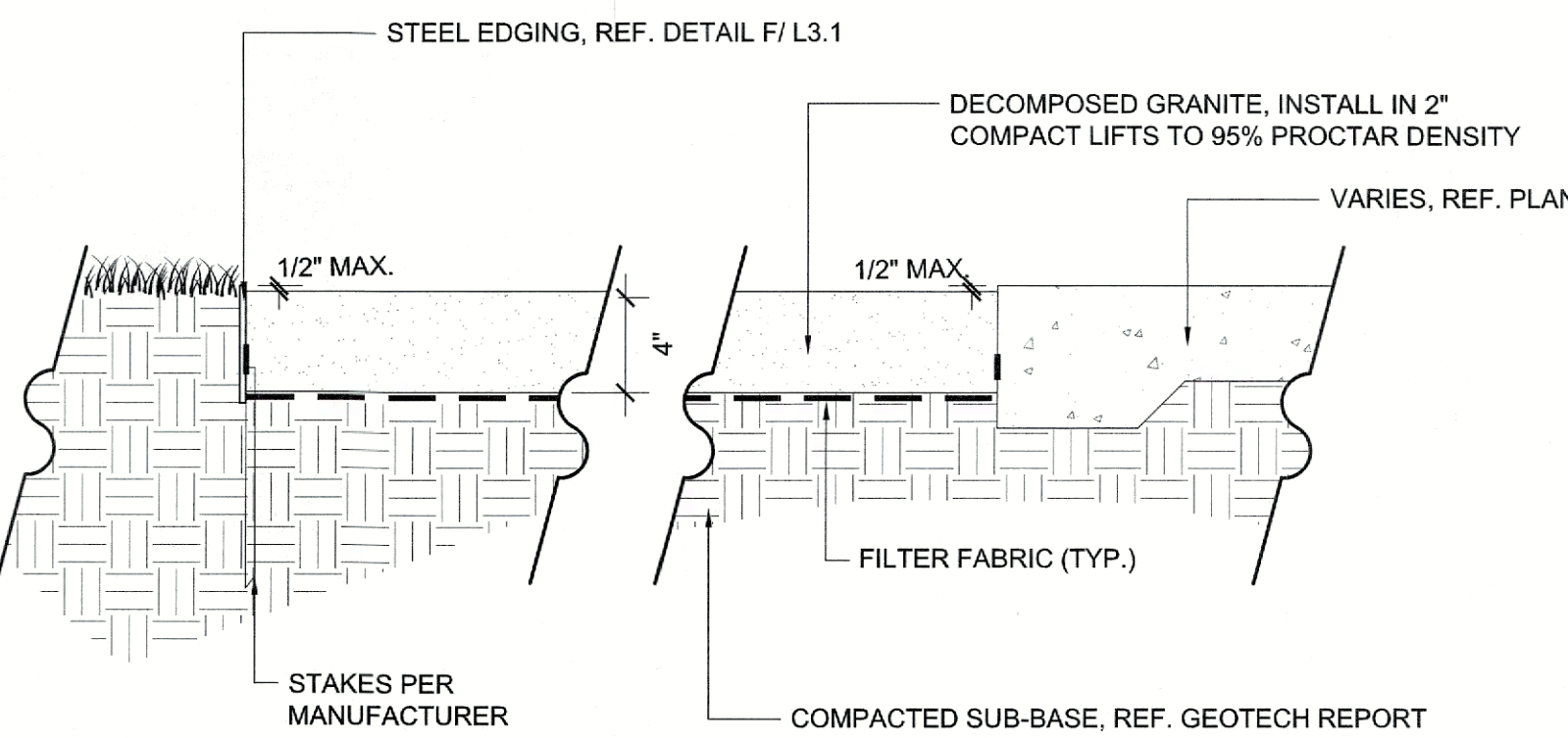
## E GROUNDCOVER PLANTING

SECTION NOT TO SCALE



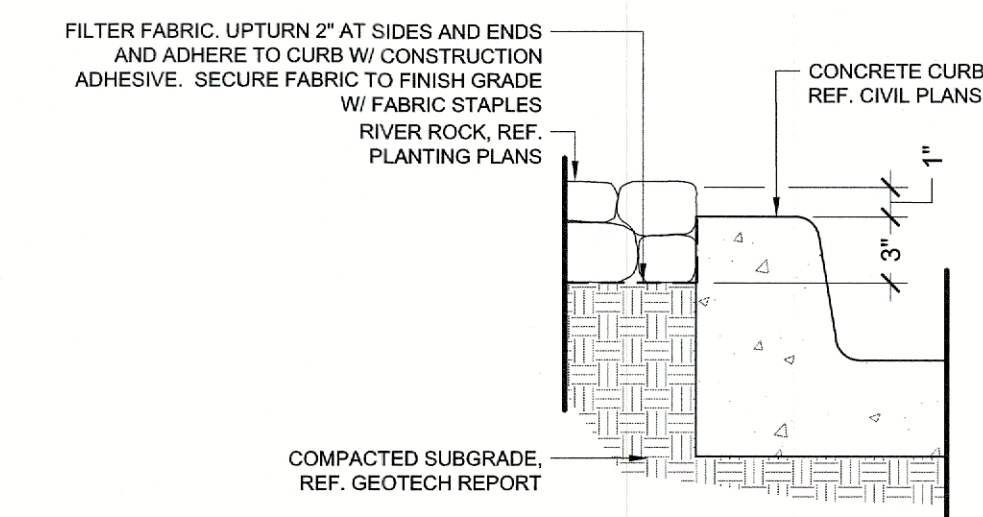
## F STEEL EDGE

SECTION NOT TO SCALE



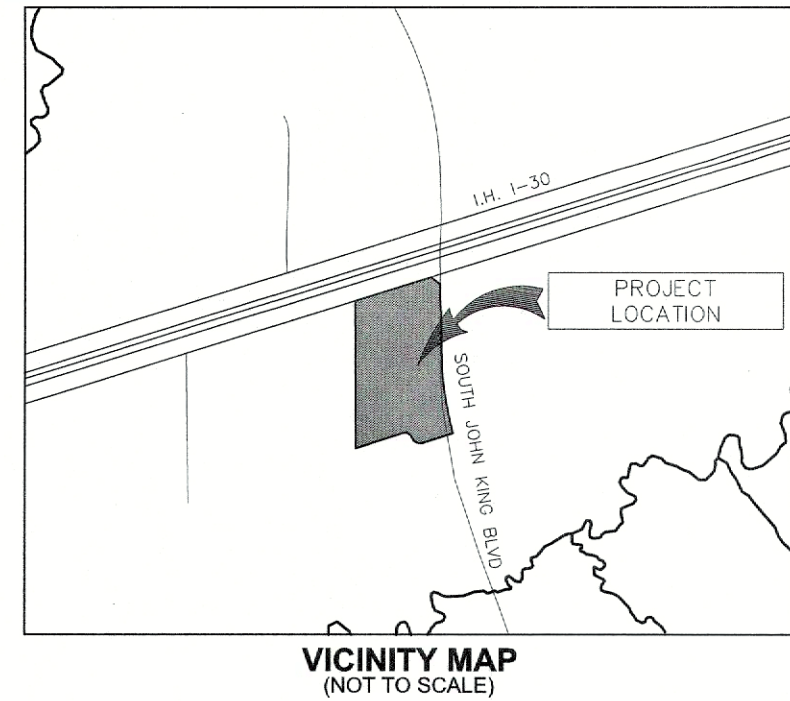
## G DECOMPOSED GRANITE

SECTION 1-1/2" = 1'-0"



## H RIVER ROCK

SECTION 1-1/2" = 1'-0"



APPROVED:  
I hereby certify that the above and foregoing site plan for development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission on the 9 day of January, 2024.

*[Signature]*  
Planning & Zoning Commission, Chairman

*[Signature]*  
Director of Planning & Zoning

BENCHMARKS:

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BM#2	"X" CUT SET IN BOX ON CENTERLINE OF A MEDIAN BULLNOSE ALONG SOUTH JOHN KING BOULEVARD. ±1100' SOUTH OF THE CENTERLINE OF INTERSTATE HWY 30 AND ±60' EAST OF THE NORTH ENTRANCE TO THE MANSION SENIOR LIVING CENTER. SURFACE NORTHING: 7022622.76 SURFACE EASTING: 2603324.30 ELEV=552.35
BM#3	"X" CUT SET IN BOX ON CENTERLINE OF A MEDIAN BULLNOSE ALONG SOUTH JOHN KING BOULEVARD. ±40' EAST OF THE CENTERLINE OF INTERSTATE HWY 30 AND ±50' EAST OF A TRAFFIC SIGNAL POLE FOR THE SOUTHBOUND LANE OF SOUTH JOHN KING BOULEVARD. SURFACE NORTHING: 7023321.53 SURFACE EASTING: 2603146.63 ELEV=574.32
MON#9	"BRASS DISC" STAMPED CITY OF ROCKWALL SURVEY MONUMENT ON THE SOUTH SIDE OF DISCOVERY BLVD. AT THE SOUTHEAST CORNER OF A CURB INLET, ±180' EAST INTERSECTION OF DISCOVERY/CORPORATE. PUBLISHED ELEV=595.63 OBSERVED ELEV=595.85

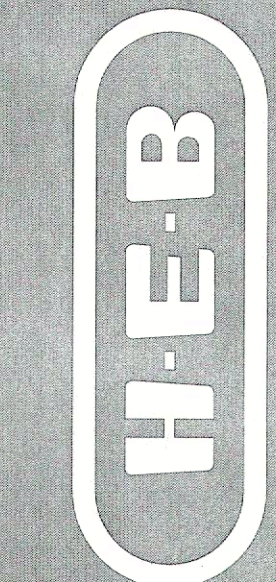
**!!WARNING!!**  
EXISTING UNDERGROUND UTILITIES. CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF ALL UTILITIES AND COORDINATE WITH CORRESPONDING COMPANY PRIOR TO CONSTRUCTION.

BEFORE YOU DIG, CALL DIG TESS  
1-800-DIG-TESS

NOT FOR CONSTRUCTION  
REVIEW PURPOSES ONLY



BGE, Inc.  
2585 Dallas Hwy., Suite 101  
Frisco, TX 75034  
Tel: 972-484-4800 • www.bgeinc.com  
TPE Registration No. F-046



LANDSCAPE DETAILS

H.E.B. ROCKWALL - STORE #810  
1600 E INTERSTATE 30  
ROCKWALL, TEXAS 75032

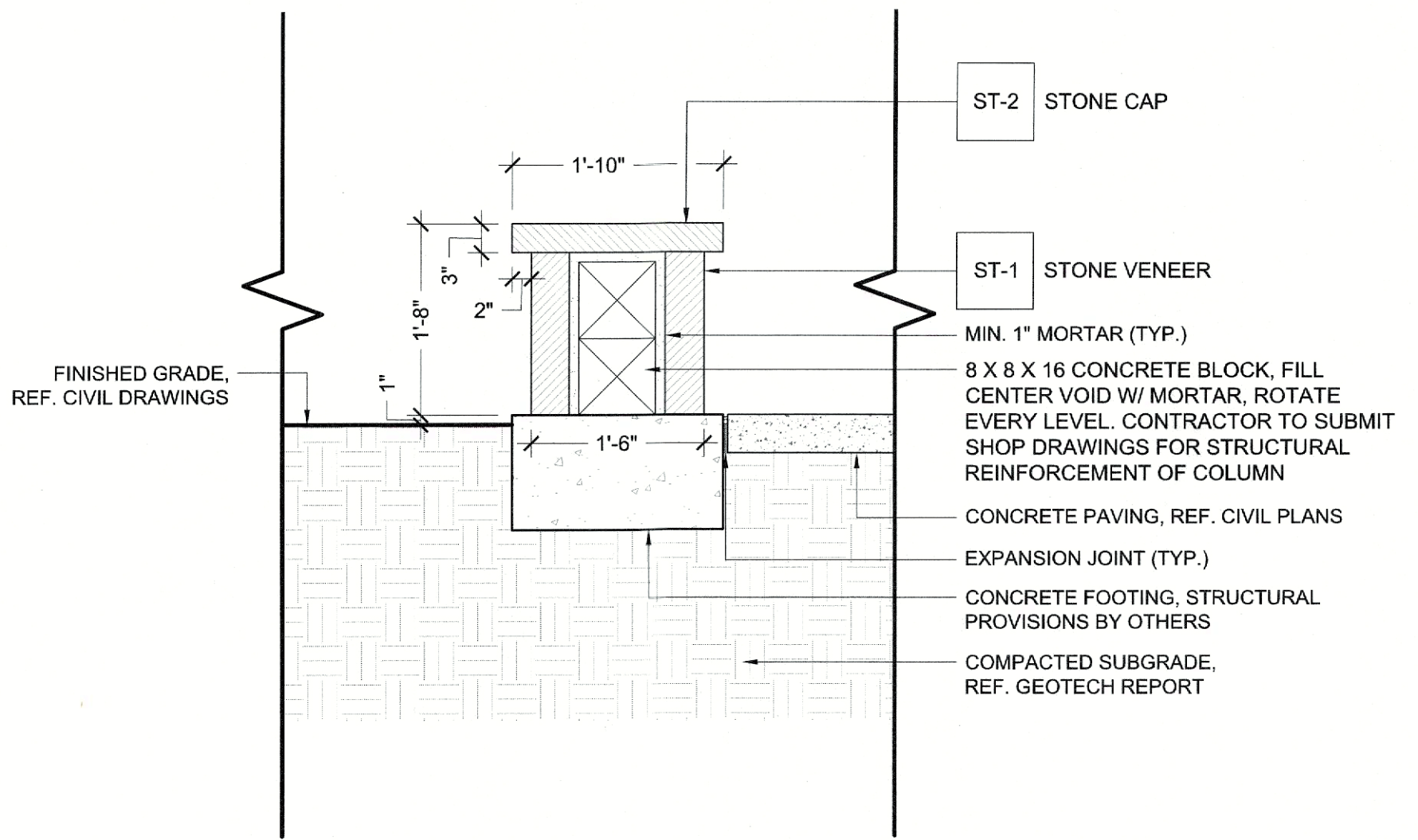
SCALE: AS NOTED  
CONSULT: 9559-01  
DATE: 01/31/2024  
SHEET NO.  
L3.01



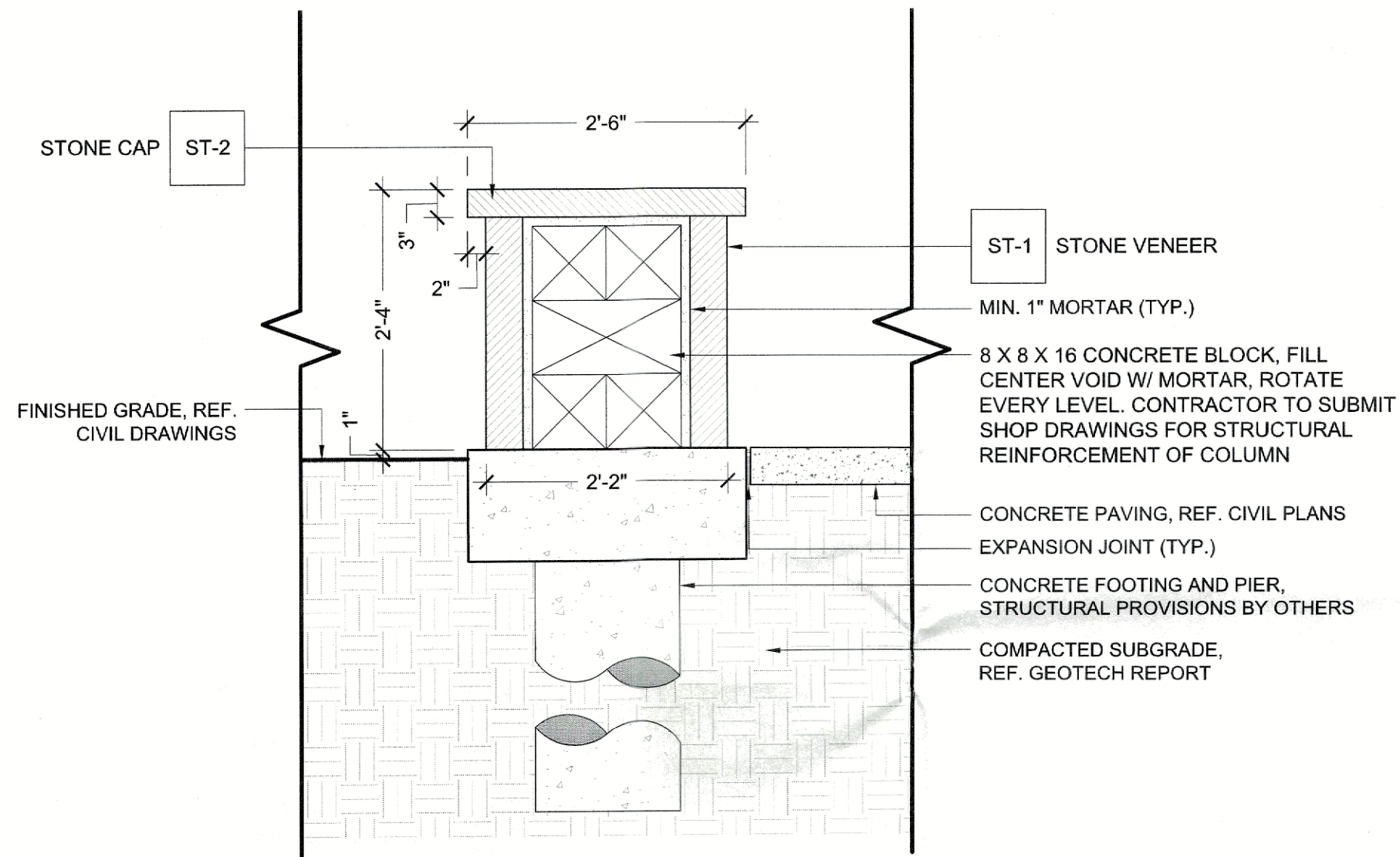
C:\TXN\Projects\NEE\_Gosney\_Co\3609-00-9W\_Civ\_L3\_King\_Bldg\_IL30\_Rockwall\LP-NYK\03-CAD\03-SHETS\0369-L-DETAILS.dwg File: 27, 2024-8-26m mstotter

BGE, INC.

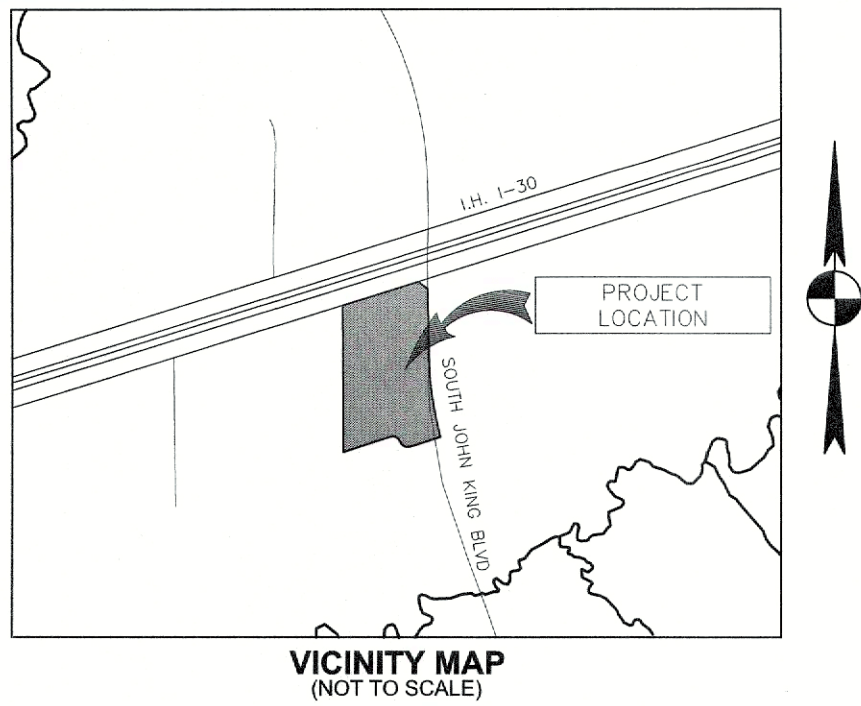
THIS DOCUMENT, TOGETHER WITH THE CONCEPTS AND DESIGNS PRESENTED HEREIN, AS AN INSTRUMENT OF SERVICE, IS INTENDED ONLY FOR THE SPECIFIC PURPOSE AND CLIENT FOR WHICH IT WAS PREPARED. REUSE OF AND IMPROPER RELIANCE ON THIS DOCUMENT WITHOUT WRITTEN AUTHORIZATION AND ADAPTATION BY BGE, INC. SHALL BE WITHOUT LIABILITY TO BGE, INC.



**A** STONE SEAT WALL  
SECTION  
3/4" = 1'-0"



**B** STONE COLUMN  
SECTION  
3/4" = 1'-0"



**!!WARNING!!**  
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1-800-DIG-TESS

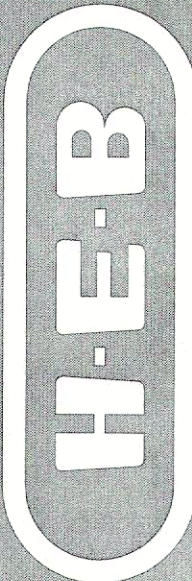
APPROVED:  
I hereby certify that the above and foregoing site plan for the development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission on the 9 day of January, 2024.  
*[Signature]* Planning & Zoning Commission, Chairman  
*[Signature]* Director of Planning & Zoning

BENCHMARKS:	
BM#1	"X" CUT SET IN BOX ON CENTERLINE OF A MEDIAN BULLNOSE ALONG SOUTH JOHN KING BOULEVARD. ±500' SOUTH OF THE CENTERLINE OF INTERSTATE HWY 30 AND ±140' NORTH OF A BICYCLIST SIGN ON THE WEST SIDE OF SOUTH JOHN KING BOULEVARD. SURFACE NORTHING: 7022825.45 SURFACE EASTING: 2603164.43 ELEV=565.757
BM#2	"X" CUT SET IN BOX ON CENTERLINE OF A MEDIAN BULLNOSE ALONG SOUTH JOHN KING BOULEVARD. ±1100' SOUTH OF THE CENTERLINE OF INTERSTATE HWY 30 AND ±80' EAST OF THE NORTH ENTRANCE TO THE MANSION SENIOR LIVING CENTER. SURFACE NORTHING: 7022262.76 SURFACE EASTING: 2603234.30 ELEV=552.35
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REVIEW PURPOSES ONLY



**BGE, Inc.**  
2595 Dallas Pkwy, Suite 101  
Frisco, TX 75034  
Tel: 972-464-4800 • www.bgeinc.com  
TSP# Registration No. F-1046



**HARDSCAPE DETAILS**

**H.E.B. ROCKWALL - STORE #810**  
1600 E INTERSTATE 30  
ROCKWALL, TEXAS 75082

SCALE: AS NOTED  
CONSUL. PROJ. NO.: 8659-01  
DATE: 01/31/2024  
SHEET NO.  
**L3.02**



E

D

C

B

A

A



- EXISTING ORNAMENTAL IRON FENCE (OFFSITE)

NELLIE R. STEVENS HOLLY SCREENING TREE  
MIN. 5 GALLON SIZE

- FINISHED GRAD

3" SHREDDED HARDWOOD MULCH, TYPE

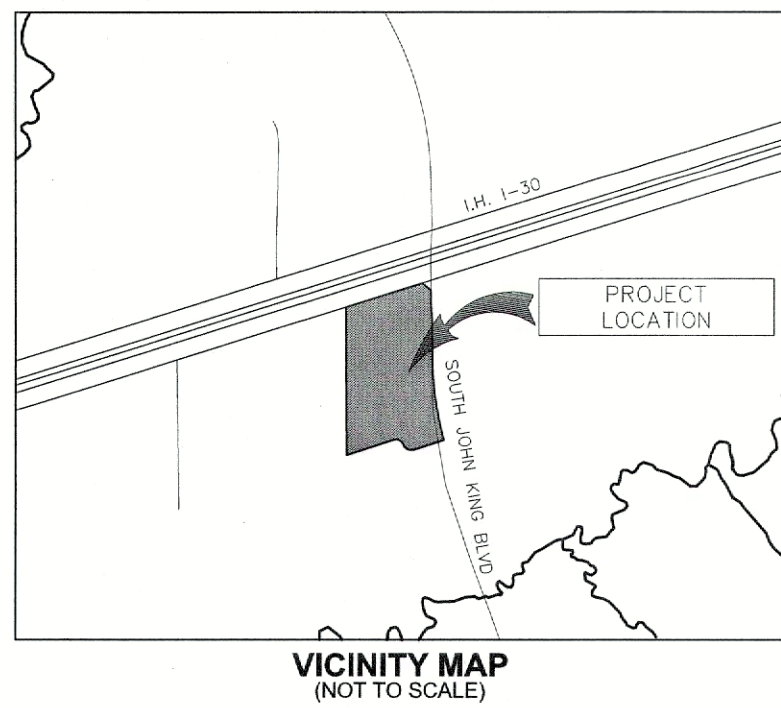
- STEEL EDGE, TYPE

- EXISTING GRAD

SCALE: 6" = 1'-0"

**!!WARNING!!**  
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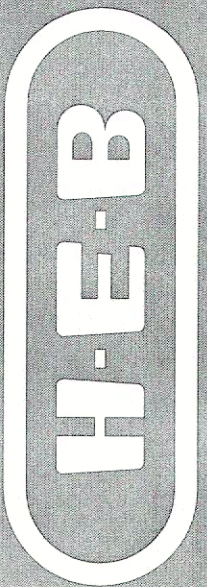
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Frisco, TX 75034  
Tel: 972-464-4800 • [www.bgeinc.com](http://www.bgeinc.com)  
TBPE Registration No. F-1046

RESIDENTIAL  
ADJACENCY DETAIL

H.E.B. ROCKWALL - STORE #810  
1600 E INTERSTATE 30  
ROCKWALL, TEXAS 75032

SCALE: AS NOTED  
CONSUL.

PROJ. NO.:

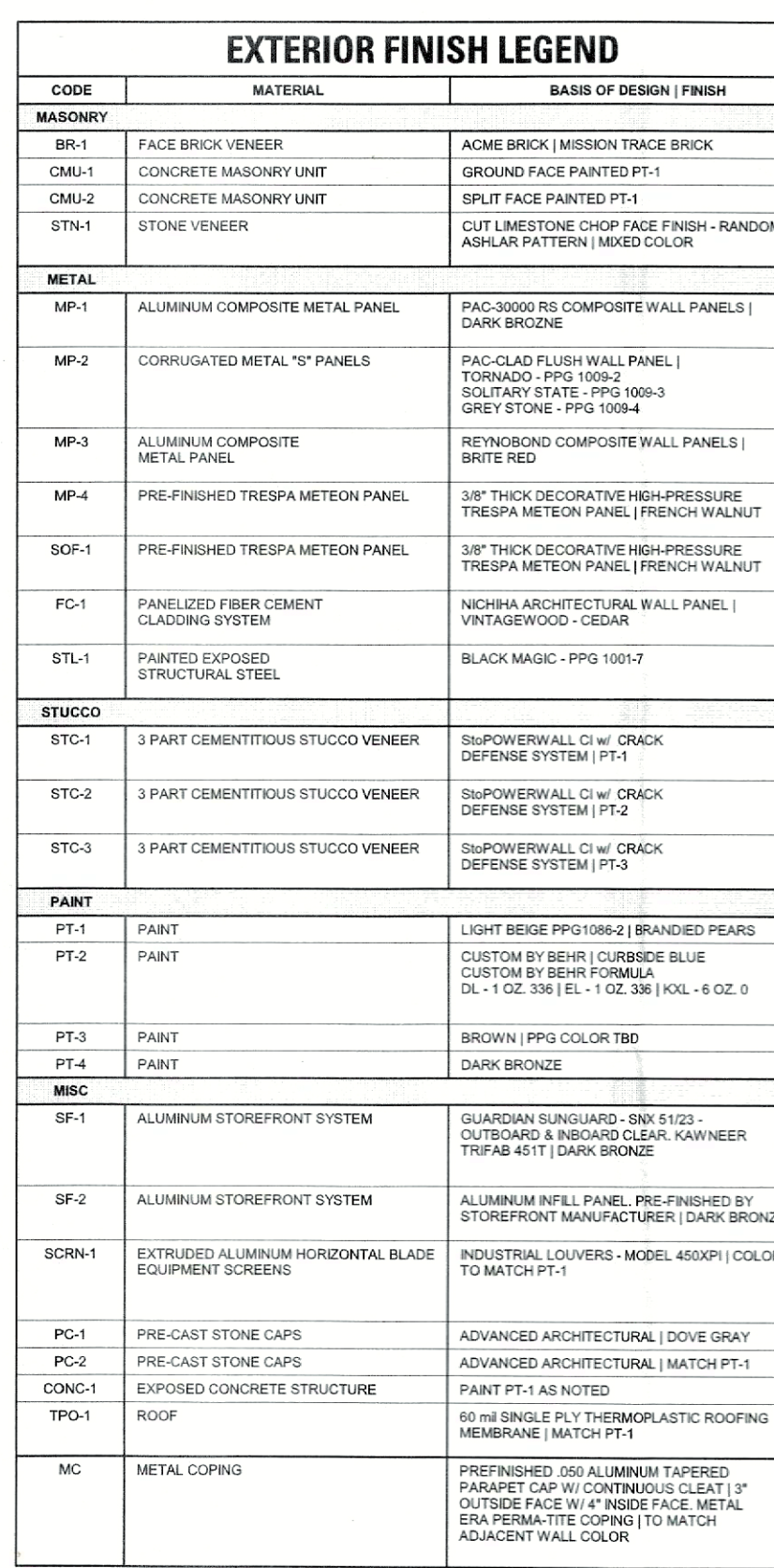
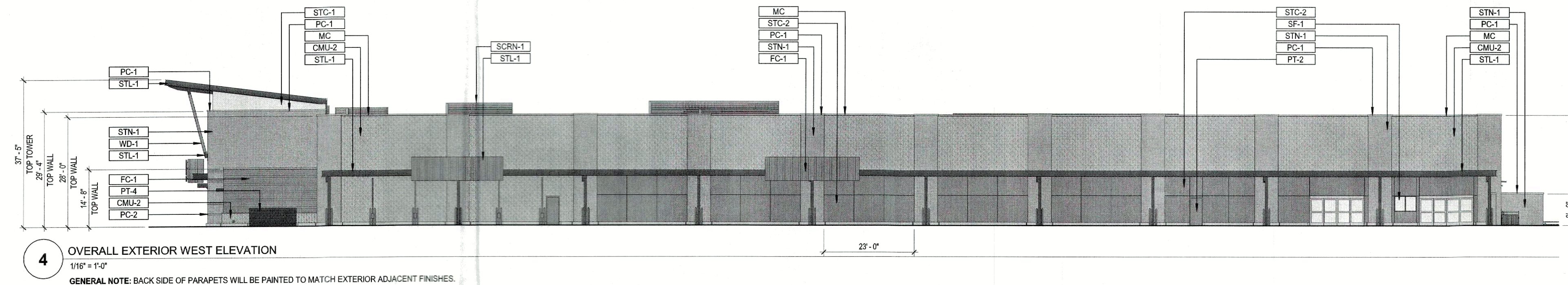
DATE: 01/3

SHEET NO.

88

### L3.03





NORTH ELEVATION - 12,945 SF			
MATERIAL	CODE	SF	PERCENTAGE
MASONRY	STN	2,748	26%
MASONRY	CMU-1	2,189	21%
MASONRY	CMU-2	368	3%
MASONRY	RB-1	656	6%
STUCCO	STC	1,410	13%
METAL PANELS	MP	2,245	21%
FIBER CEMENT SIDING	FC-1	998	9%
<b>TOTAL</b>		<b>10,614</b>	<b>100%</b>

## CITY OF ROCKWALL GENERAL NOTES

1. THE BUILDING PLAN IS FOR CONCEPTUAL PURPOSES ONLY. ALL BUILDING PLANS REQUIRE APPROVAL FROM PLANNING AND ZONING DEPARTMENT BEFORE CONSTRUCTION.

2. ALL MECHANICAL EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW. ROOF TOP REQUIRED EQUIPMENT SHALL BE SCREENED BY A PARADET WALL OR SCREENING WALL. SCREENING WALLS SHALL BE PAINTED TO MATCH THE BUILDING.

3. WHEN PERMITTED, EXPOSED UTILITIES BOXES AND CONDUITS SHALL BE PAINTED TO MATCH THE BUILDING.

4. ALL SIGNAGE AREAS AND LOCATIONS ARE SUBJECT TO APPROVAL BY THE BUILDING INSPECTIONS DIVISION.

5. WINDOWS SHALL HAVE A MINIMUM EXTERIOR VISIBLE REFLECTIVITY OF 0% (10% PERCENT).

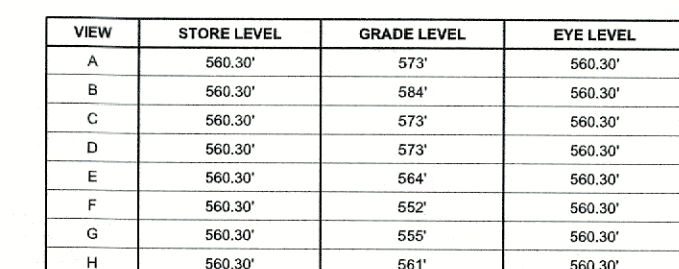
6. ANY VIOLATION FROM THE APPROVED FACA PLAN WILL REQUIRE RE-APPROVAL BY THE DIVISION OF PROPOSER.

APPROVED:

I hereby certify that the above and foregoing site plan for development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission on the 4 day of January, 2014.

\_\_\_\_\_  
Director of Planning & Zoning





**1** ARCHITECTURAL SITE PLAN  
1" = 200'-0"

PROJECT #  
H.E.B. ROCKWALL - STORE  
12.519 ACRES  
LOT 1 | BLOCK 1  
AN ADDITION TO THE CITY OF ROCKWALL  
ROCKWALL COUNTY, TEXAS  
DECEMBER, 2023

GROCERY COMPANY LP	OWNER
646 S. FLORES ST.	(210) 938-4076
SAN ANTONIO, TEXAS 78204	

CONTACT: LANCE KLEIN


BGE, INC ENGINEER  
2595 DALLAS PKWY, SUITE 101 (972) 464-4865  
FRISCO, TEXAS 75034


CONTACT: NICK HOBBS

## CITY OF ROCKWALL GENERAL NOTES

1. THIS FACADE PLAN IS FOR CONCEPTUAL PURPOSES ONLY. ALL BUILDING PLANS REQUIRE REVIEW AND APPROVAL FROM THE BUILDING INSPECTIONS DIVISION.
2. ALL MECHANICAL EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW. ROOF TOP MOUNTED EQUIPMENT SHALL BE SCREENED BY A PARAPET WALL OR SCREENING WALL. SCREENING WALLS SHALL BE PAINTED TO MATCH THE BUILDING.
3. WHEN PERMITTED, EXPOSED UTILITIES BOXES AND CONDUITS SHALL BE PAINTED TO MATCH THE BUILDING.
4. ALL SIGNAGE AREAS AND LOCATIONS ARE SUBJECT TO APPROVAL BY THE BUILDING INSPECTIONS DIVISION.
5. WINDOWS SHALL HAVE A MINIMUM EXTERIOR VISIBLE REFLECTIVITY OF TEN (10) PERCENT.
6. ANY DEVIATION FROM THE APPROVED FACADE PLAN WILL REQUIRE RE-APPROVAL BY THE TOWN OF PROSPER.

APPROVED:  
I hereby certify that the above and foregoing site plan for  
development in the City of Rockwall, Texas, was approved by the  
Planning & Zoning Commission on the 9 day of January,  
2011.


  
 Planning & Zoning Commission,  
 Chairman

  
 Director of Planning & Zoning

[illegible]

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ARE NOT INTENDED FOR  
BIDDING, PERMITTING OR  
CONSTRUCTION PURPOSES.  
ARCHITECT:  
RSP ARCHITECTS, LTD.

**RSP Architects, Ltd.**  
6003 W. 8th Street, Suite 100  
Fort Worth, TX 76102  
882.200.0340 main  
812.677.7498 fax  
[www.rsparch.com](http://www.rsparch.com)

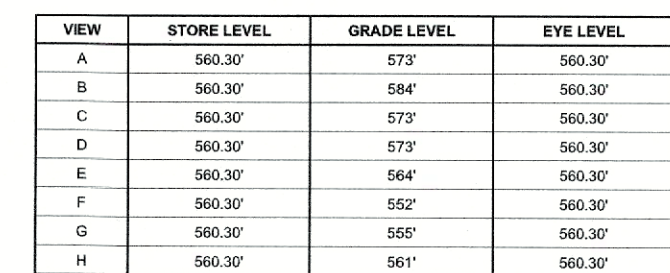
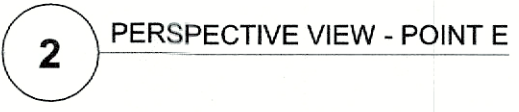
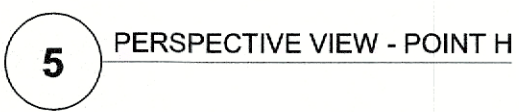


SITE LINE STUDY

H-E-B ROCKWALL | CORP # 810  
1600 E Interstate 30 | Rockwall, Texas  
75032

02





**1** ARCHITECTURAL SITE PLAN  
1" = 200'-0"

PROJECT #  
H.E.B. ROCKWALL - STORE  
12.519 ACRES  
LOT 1 | BLOCK 1  
AN ADDITION TO THE CITY OF ROCKWALL  
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GROCERY COMPANY LP	OWNER
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CONTACT: LANCE KLEIN

<u>BGE, INC</u>	<u>ENGINEER</u>
2595 DALLAS PKWY, SUITE 101	(972) 464-4865
FRISCO, TEXAS 75034	


CONTACT: NICK HOBBS


**CITY OF ROCKWALL GENERAL NOTES**

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5. WHEN PERMITTED, EXPOSED UTILITY BOXES AND CONDUITS SHALL BE PAINTED TO MATCH THE BUILDING.
6. ALL SIGNAGE AREAS AND LOCATIONS ARE SUBJECT TO APPROVAL BY THE BUILDING INSPECTIONS DIVISION.
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APPROVED:

I hereby certify that the above and foregoing site plan for development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission on the 9 day of January, 2024.

  
Planning & Zoning Commission,  
Chairman

  
Director of Planning & Zoning

[illegible]

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ARCHITECT:  
RSP ARCHITECTS, LTD.

**RSP Architects, Ltd.**  
6900 W. 6th Street, Suite 100  
Fort Worth, TX 76102  
862.200.0340 main  
817.677.7499 fax  
[www.rsparch.com](http://www.rsparch.com)

**H·E·B**

SITE LINE STUDY

H-E-B ROCKWALL | CORP # 810  
1600 E Interstate 30 | Rockwall, Texas  
75032

03



