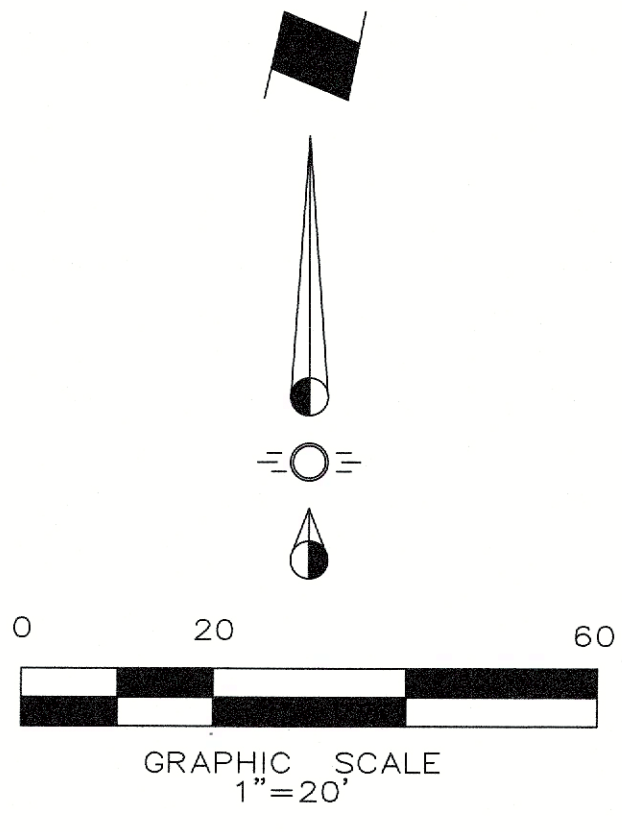


VICINITY MAP
NTS



LEGEND

- Existing Firelane
- Proposed Firelane
- Proposed Sidewalk
- Proposed Sloped Concrete Paving
- Proposed Retaining Wall
- Proposed Wheel Stop Typical
- Existing Fire Hydrant
- Proposed Fire Hydrant
- BFR Barrier Free Ramp

SYNOPSIS

Zoning: PD-65 w/ N. SH 205 Overlay
Proposed Use: Retail/Restaurant
Lot Area: 0.7621 Acres (33,198 sf)
Building Areas: Building 4,836 sf
Lot Coverage: 13.59% (Total Bldg Area 4,512 sf)
Floor Area Ratio: 0.14 : 1
Building Height: 25'
Required Parking: Retail 1:250 (3533/250) = 15 Spcs.
Restaurant 1:250 (1247/250) = 5 Spcs (Limited Service)

Parking Required Total:	20 Parking Spaces
Parking Provided Total:	21 Parking Spaces (1 HC)

NOTE:
ALL PARKING PAVING TO BE 5", 3000 PSI CONCRETE.
(Min. 5 sack mix)
ALL FIRELANE PAVING TO BE MIN. 6", 3600 PSI CONCRETE.
(Min. 6 sack mix)

ENGINEER:

Cross Engineering Consultants, Inc.
1720 W. Virginia Street
McKinney, Texas 75069
Phone (972) 562-4409
Fax (972) 562-4471
Contact: Jon David Cross, P.E.

SURVEYOR:

Barton Chapa Surveying
5200 State Highway 121
Colleyville, TX 76034
Phone (817) 864-1957
Contact: Jack Barton

OWNER:

JCDB Goliad Holdings, LLC
8350 N. Central Expressway
Dallas, Texas 75206

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the 14th day of MAY, 2024.
WITNESS OUR HANDS, this 14th day of MAY, 2024.
[Signature] Planning & Zoning Commission, Chairman
[Signature] Director of Planning and Zoning

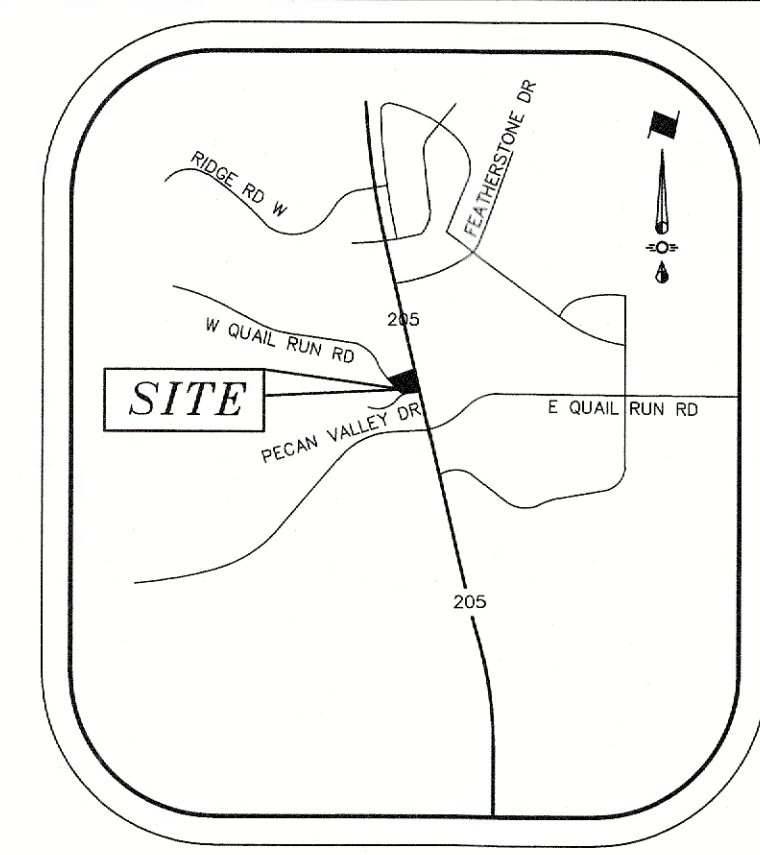
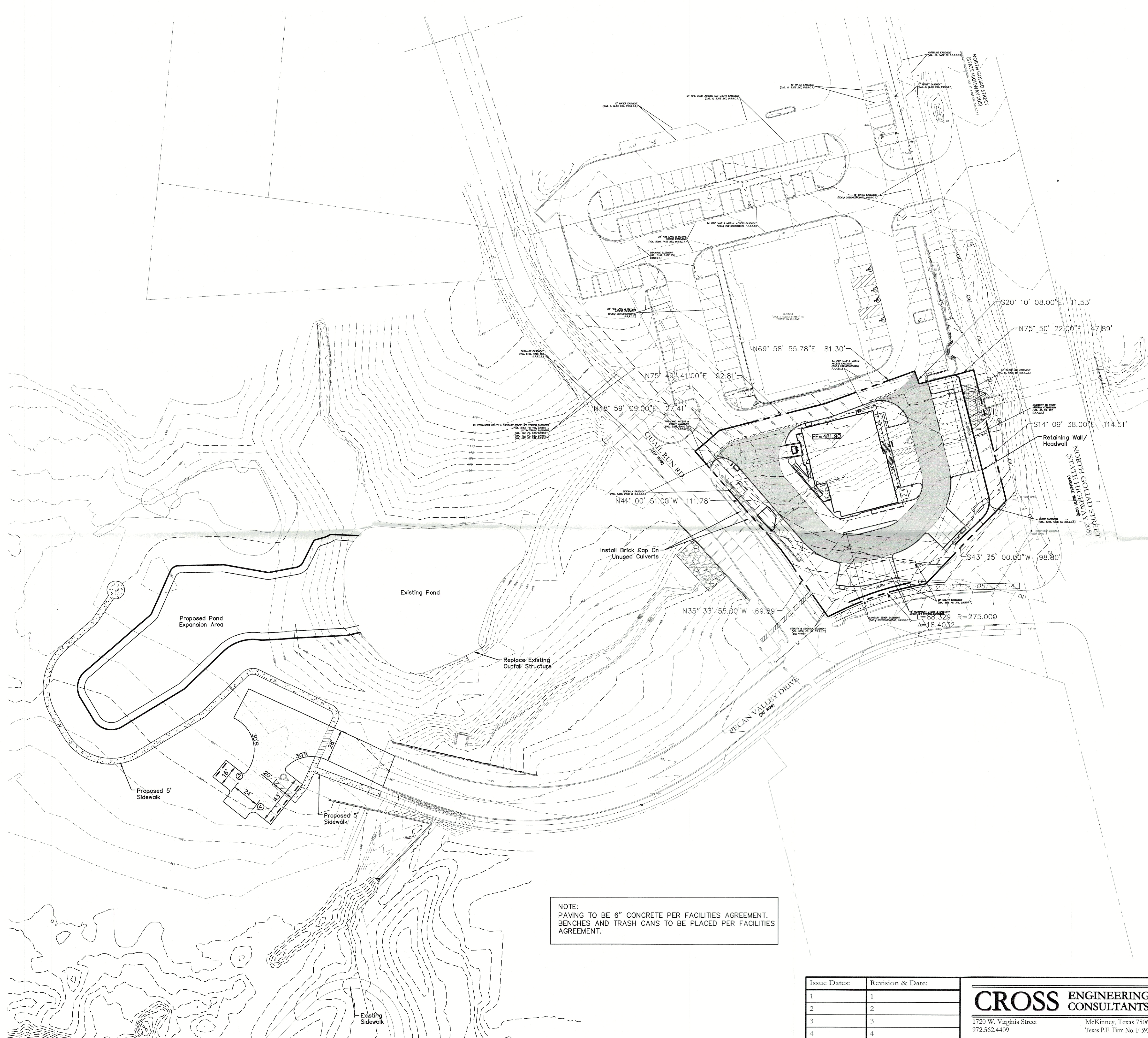
Note:
REFERENCE ARCHITECTURAL PLANS
FOR BUILDING DIMENSIONS.

NOTE: THIS IS NOT A CONSTRUCTION DOCUMENT.
THIS DOCUMENT IS FOR CONCEPTUAL PLANNING PURPOSES ONLY.

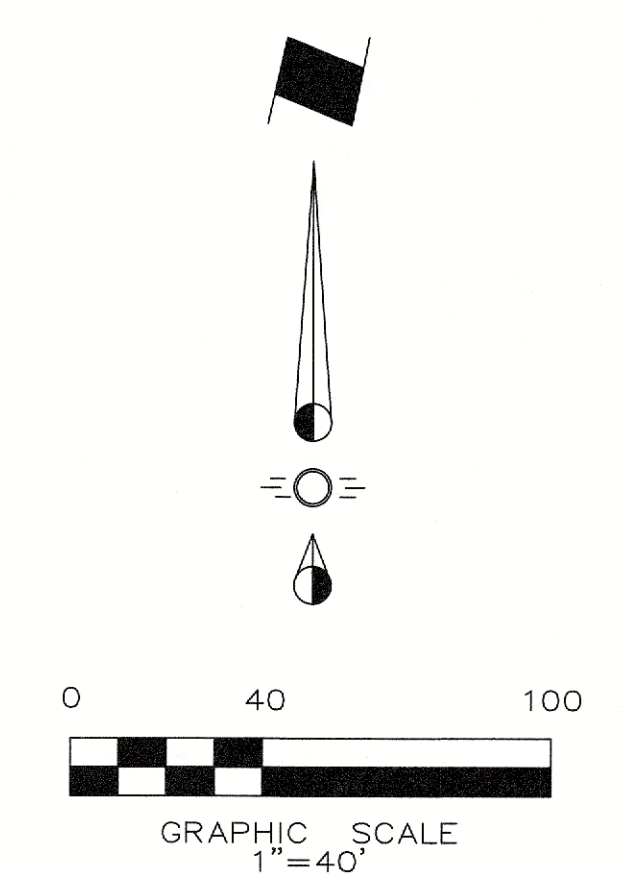
CASE NO. SP2024-008

Issue Dates:	Revision & Date:	<div>CROSS ENGINEERING CONSULTANTS</div> <div>1720 W. Virginia Street 972.562.4409</div> <div>McKinney, Texas 75069 Texas P.E. Firm No. F-5935</div>					SITE PLAN		Sheet No.
1	1						SMOOTHIE KING ROCKWALL		SP
2	2								
3	3								
4	4								
5	5						DA Goliad Partners, LP		Project No. 20089
6	6	CITY OF ROCKWALL, TEXAS							
		Drawn By:	Checked By:	Scale:					
		C.E.C.I.	C.E.C.I.	1"=20'					

SMOOTHIE KING ROCKWALL



VICINITY MAP
NTS



LEGEND

- Proposed Retaining Wall
- Proposed Wheel Stop Typical
- Existing Fire Hydrant
- Proposed Fire Hydrant
- BFR Barrier Free Ramp

NOTE:
PAVING TO BE 6" CONCRETE PER FACILITIES AGREEMENT.
BENCHES AND TRASH CANS TO BE PLACED PER FACILITIES AGREEMENT.

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the 14th day of May, 2024.
WITNESS OUR HANDS, this 14th day of May, 2024.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

NOTE: THIS IS NOT A CONSTRUCTION DOCUMENT.
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CASE NO. SP2024-008

Issue Dates:	Revision & Date:	CROSS ENGINEERING CONSULTANTS		
1	1	1720 W. Virginia Street McKinney, Texas 75069 972.562.4409 Texas P.E. Firm No. F-5935		
2	2			
3	3			
4	4			
5	5			
6	6			
		Drawn By:	Checked By:	Scale:
		C.E.C.I.	C.E.C.I.	1"=40'

SITE PLAN - OVERALL
SMOOTHIE KING ROCKWALL
DA Goliad Partners, LP
CITY OF ROCKWALL, TEXAS

Sheet No.
SP-O
Project No.
20089

SMOOTHIE KING ROCKWALL

MATERIAL LEGEND:

- 1

3 PART STUCCO WITH REVEALS-
FOR BUILDING FACADE AND BACK OF PARAPETS
- 2

PROJECTING STUCCO ACCENT BAND
- 3

BRICK VENEER
- 4

MANUFACTURED METAL COPING
- 5

PAINTED METAL CANOPY
- 6

ALUMINUM STOREFRONT AND ENTRANCES WITH CLEAR
INSULATING GLASS OR SPANDREL GLASS
- 7

PAINTED HOLLOW METAL DOORS AND FRAMES
- 8

CAST STONE ACCENT BAND
- 9

LINE OF ROOF DECK WITH HVAC UNITS BEYOND
- 10

ALUMINUM DRIVE-UP WINDOW
- 11

NATURAL STONE
- 12

ELECTRICAL EQUIPMENT ZONE
- 13

SELF-LATCHING GATE
- 14

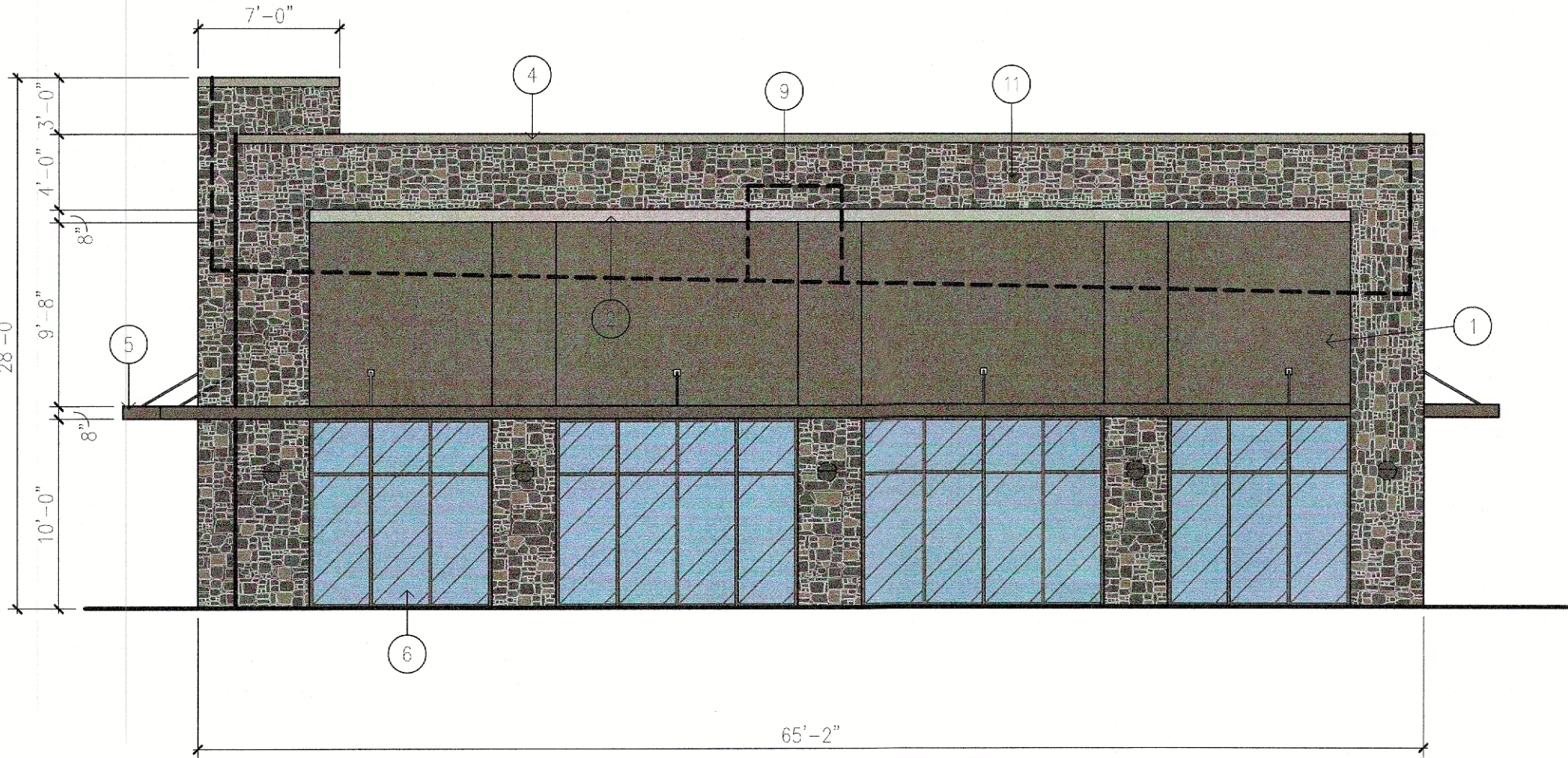
PAINTED STEEL RAILING
- 15

EXPANDED METAL INFILL PANEL



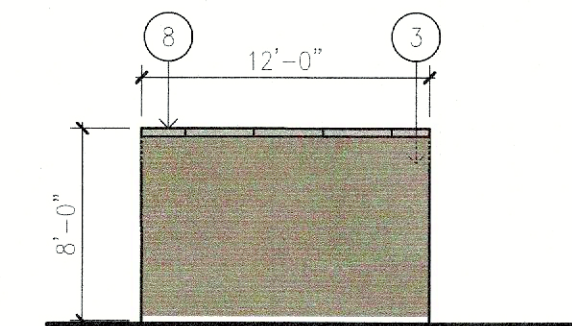
EAST

TOTAL FACADE	= 2,161.0 SF	100%
-TOTAL GLASS	= 515.0 SF	23.8%
NET FACADE = 1,646.0 SF		
TOTAL BRICK/CAST STONE	= 183.6 SF	11.1%
TOTAL NATURAL STONE	= 735.8 SF	44.7%
TOTAL STUCCO	= 634.0 SF	38.5%
TOTAL METAL	= 94.6 SF	5.7%

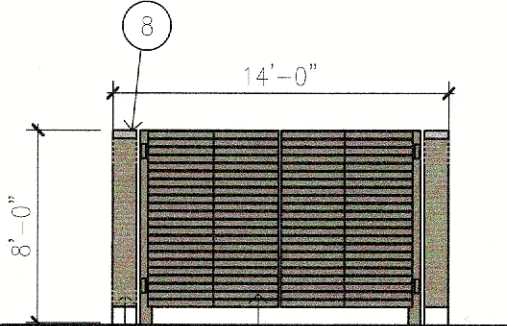


NORTH

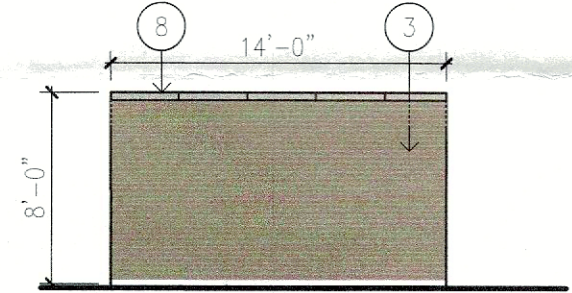
TOTAL FACADE	= 1,657.0 SF	100%
-TOTAL GLASS	= 451.4 SF	27.2%
NET FACADE = 1,205.6 SF		
TOTAL BRICK/CAST STONE	= 36.9 SF	3.0%
TOTAL NATURAL STONE	= 554.8 SF	45.9%
TOTAL STUCCO	= 535.1 SF	44.4%
TOTAL METAL	= 81.4 SF	6.7%



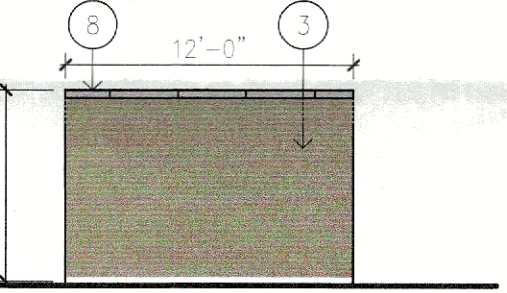
NORTH



WEST

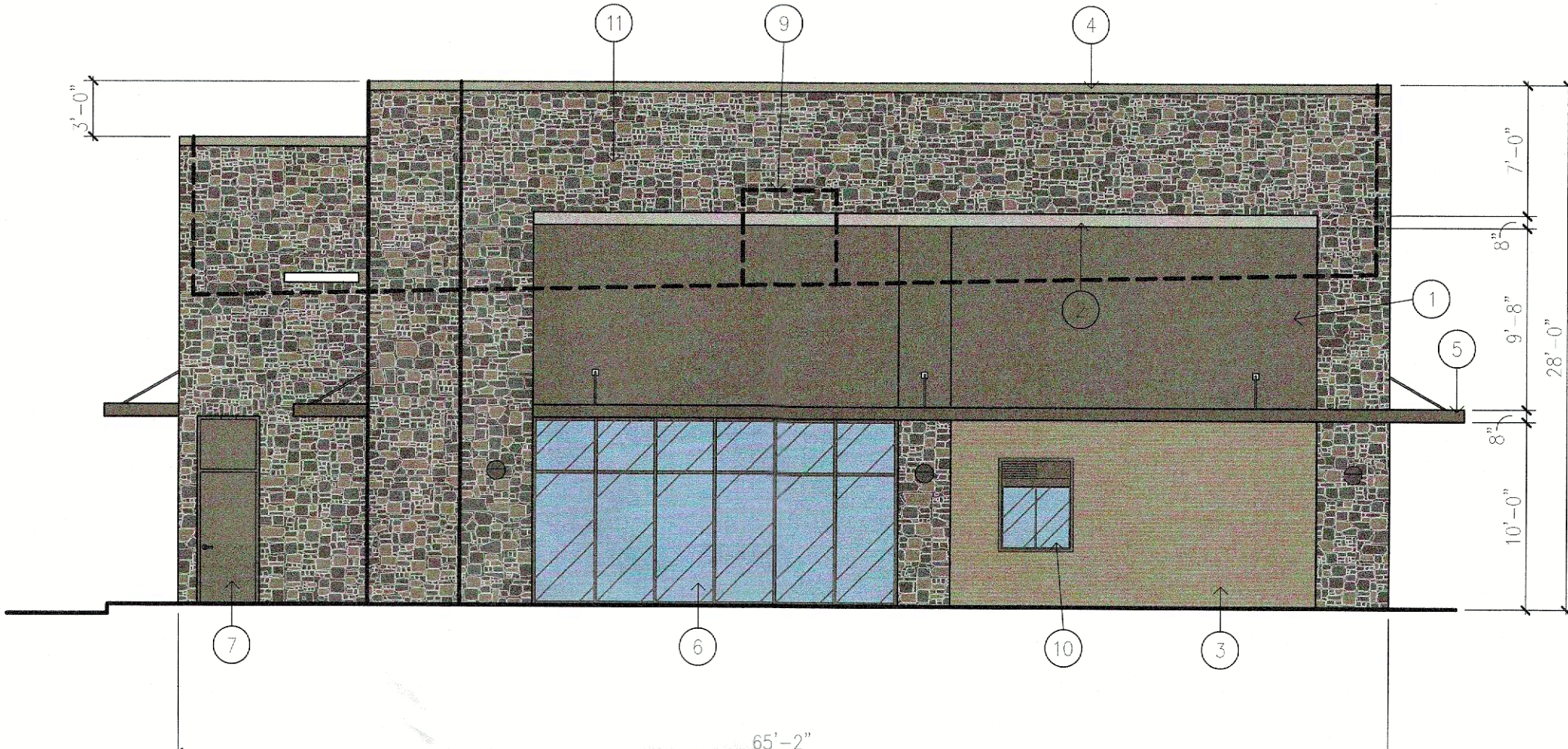


EAST



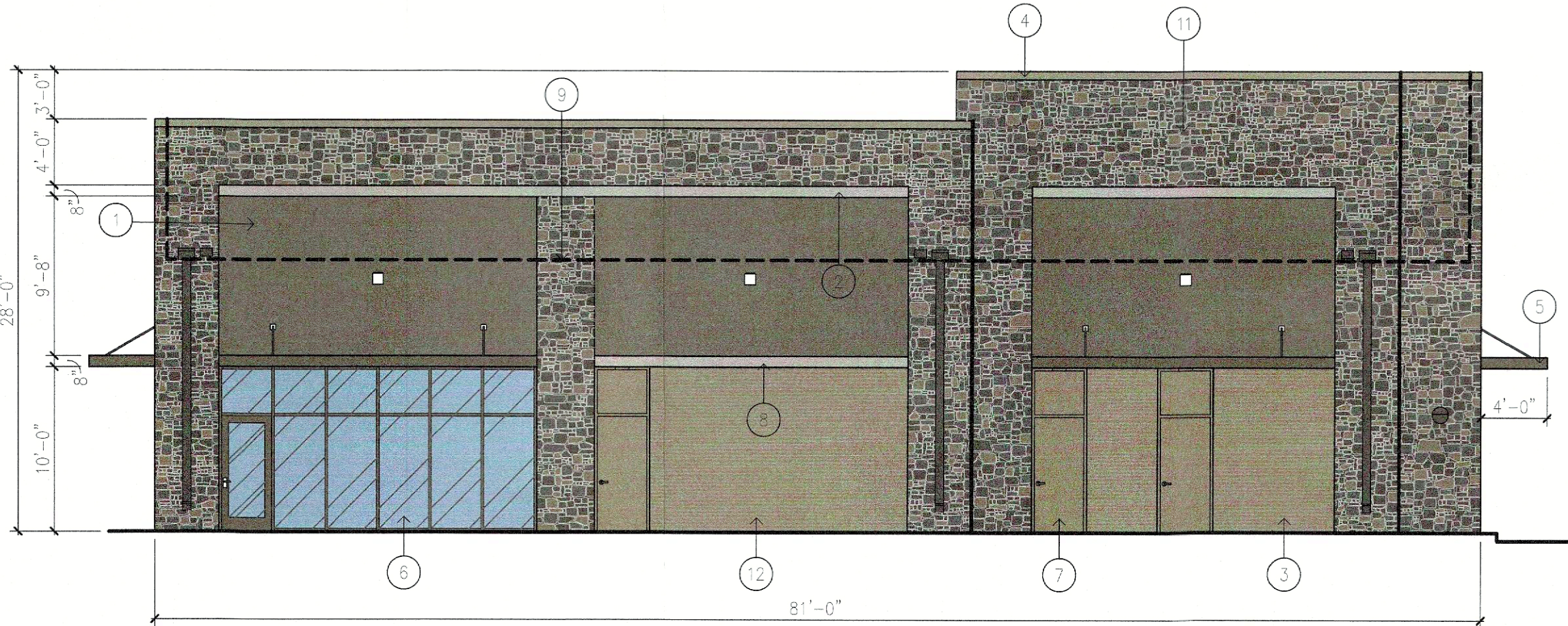
SOUTH

TRASH ENCLOSURE ELEVATIONS



SOUTH

TOTAL FACADE	= 1,797.0 SF	100%
-TOTAL GLASS	= 216.6 SF	12.0%
-TOTAL DOORS	= 24.2 SF	1.3%
NET FACADE = 1,556.2 SF		
TOTAL BRICK/CAST STONE	= 204.6 SF	13.1%
TOTAL NATURAL STONE	= 877.8 SF	56.5%
TOTAL STUCCO	= 407.6 SF	26.2%
TOTAL METAL	= 66.0 SF	4.2%

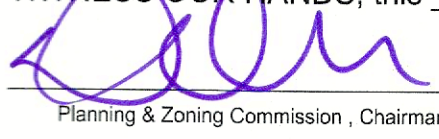
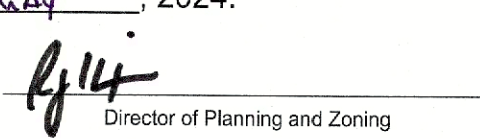


WEST

TOTAL FACADE	= 2,123.6 SF	100%
-TOTAL GLASS	= 193.7 SF	9.1%
-TOTAL DOORS	= 72.6 SF	3.4%
NET FACADE = 1,857.3 SF		
TOTAL BRICK/CAST STONE	= 371.6 SF	20.0%
TOTAL NATJRAL STONE	= 794.9 SF	42.8%
TOTAL STUCCO	= 590.4 SF	31.8%
TOTAL METAL	= 99.9 SF	5.4%

ARCHITECTURAL ELEMENTS:

1. CANOPIES
2. DISPLAY WINDOWS
3. OUTDOOR PATIO
4. ARCHITECTURAL DETAILS - ACCENT BANDS
5. REVEALS

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the city of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the 14th day of May, 2024.
WITNESS OUR HANDS, this 14th day of May, 2024.
 Planning & Zoning Commission , Chairman
 Director of Planning and Zoning

SITE PLAN SUBMITTAL

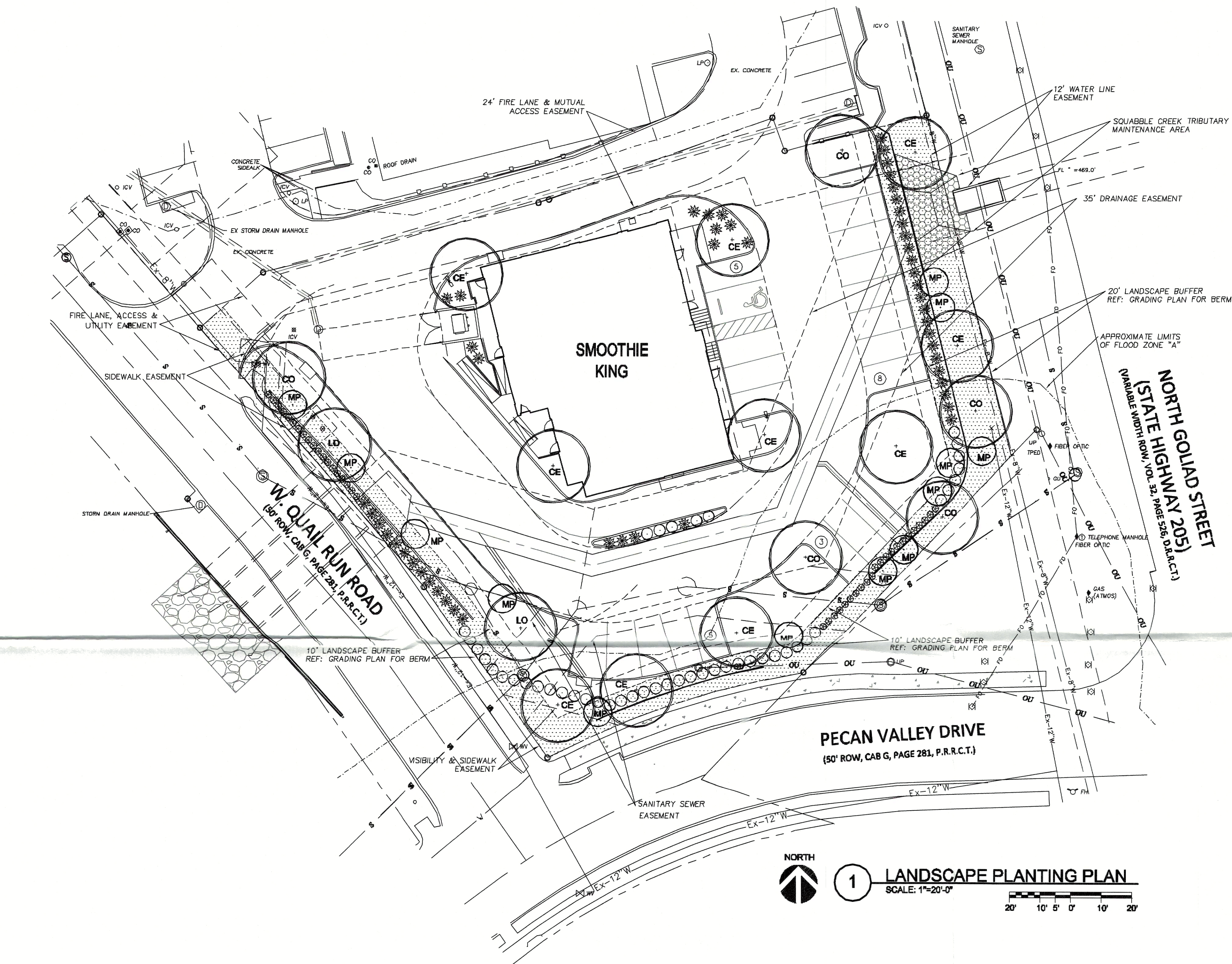
REVISION NO: DATE:

SHEET TITLE:
BUILDING FACADE / ELEVATION PLAN

OWNER:
CC ROCKWALL, LLC
8350 NORTH CENTRAL EXPRESSWAY,
SUITE 1300 DALLAS, TEXAS 75206
CHAD DUBOSE 214-701-8455 chad@foremark.com

ARCHITECT:
DONALD F. SOPRANZI, AIA, LEED-AP ARCHITECT
10300 NORTH CENTRAL EXPRESSWAY,
SUITE 450 DALLAS, TEXAS 75231
DONALD SOPRANZI 817-903-6663 dons@dfsarchitect.com

CASE NUMBER:
SP2024-008
SCALE: 1/8"=1'-0"



MAINTENANCE NOTE:

THE OWNER, TENANT AND THEIR AGENT, IF ANY, SHALL BE JOINTLY AND SEVERALLY RESPONSIBLE FOR THE MAINTENANCE OF ALL LANDSCAPING. ALL REQUIRED LANDSCAPING SHALL BE MAINTAINED IN A NEAT AND ORDERLY MANNER AT ALL TIMES. THIS SHALL INCLUDE, BUT NOT BE LIMITED TO: MOWING (OF TURF GRASS SIX (6") INCHES OR HIGHER), EDGING, PRUNING, FERTILIZING, WATERING, WEEDING, AND OTHER SUCH ACTIVITIES COMMON TO THE MAINTENANCE OF LANDSCAPING. LANDSCAPED AREAS SHALL BE KEPT FREE OF ALL TRASH, LITTER, WEEDS, AND OTHER SUCH MATERIALS OR PLANTS THAT ARE NOT A PART OF THE LANDSCAPING. ALL PLANT MATERIALS SHALL BE MAINTAINED IN A HEALTHY AND GROWING CONDITION AS IS APPROPRIATE FOR THE SEASON OF THE YEAR. PLANT MATERIALS WHICH DIE SHALL BE REPLACED WITH PLANT MATERIAL OF SIMILAR SIZE, WITHIN NINETY (90) DAYS. TREES WITH A TRUNK DIAMETER IN EXCESS OF SIX (6") INCHES MEASURED TWENTY-FOUR (24") INCHES ABOVE THE GROUND MAY BE REPLACED WITH ONES (THAT HAVE BEEN PRE-APPROVED) OF SIMILAR VARIETY, HAVING A TRUNK DIAMETER OF NO LESS THAN THREE (3") INCHES MEASURED TWENTY-FOUR (24") INCHES ABOVE THE GROUND. A TIME EXTENSION MAY BE GRANTED BY CITY STAFF IF SUBSTANTIAL EVIDENCE IS PRESENTED TO INDICATE ABNORMAL CIRCUMSTANCES BEYOND THE CONTROL OF THE OWNER OR HIS AGENT.

LANDSCAPE CALCULATIONS

ZONING - COMM (20%) LANDSCAPE AREA REQUIRED.
LOT AREA - 32,676 SF
20% = 6,535 SF

LANDSCAPE AREA PROVIDED = 9,308 SF = 28.4%
WITH 7,513 SF = IN FRONT YARD.

LANDSCAPE BUFFER AT STREET R.O.W. =
10' WITH 1-CANOPY TREE & 1-ACCENT TREE/50'
AND A ROW OF SHRUBS AND A BERM.
QUAIL RUN = 180' 180'/50' = 4+4
3-CANOPY TREES* & 4 ORN. TREES PROVIDED.
PECAN VALLEY = 185' 185'/50' = 4+4
4-CANOPY TREES & 4 ORN. TREES PROVIDED.

LANDSCAPE BUFFER AT SH-205 =
20' WITH 2-CANOPY TREE & 4-ACCENT TREE/100'
AND A ROW OF SHRUBS AND A BERM.
SH-205 (N. GOLIAD ST.) = 110' 110'/100' = 3+5

11 CANOPY TREES REQUIRED. 11-PROVIDED.
13 ACCENT TREES REQUIRED. 13-PROVIDED.
118 SHRUBS PROVIDED.

INTERIOR PARKING LOT LANDSCAPING:
4,374 SF PARKING LOT AREA
1,120 SF LANDSCAPE AREA PROVIDED = 25%

NOTES:

ALL TREES MUST BE PLANTED AT LEAST FIVE (5) FEET FROM WATER, SEWER AND STORM LINES.

IRRIGATION SYSTEM WILL MEET REQUIREMENTS OF UDC.

ALL RETAINING WALLS SHALL BE FINISHED IN ROCK OR STONE.

HEADLIGHT SCREENING ALONG SH 205 (N. GOLIAD STREET) AND PECAN VALLEY DRIVE MEETS REQUIREMENTS OF S.U.P. S-293.

BERMS SHALL NOT BE PLACED IN AREAS THAT WILL BLOCK DRAINAGE OF SQUABBLE CREEK TRIBUTARY.

* 1 OF THE 4 CANOPY STREET TREES ON QUAIL RUN IS RELOCATED TO PARK SITE.

LANDSCAPE NOTES:

- ALL LANDSCAPE REQUIREMENTS AND UNDERGROUND IRRIGATION SYSTEM WILL CONFORM TO THE LOCAL CITY ORDINANCE AND DESIGN STANDARDS AND ANY REQUIREMENTS OF THE STATE, IF APPLICABLE.
- NO PLANT MATERIAL SHALL BE PLANTED UNTIL THE LANDSCAPE IRRIGATION SYSTEM HAS BEEN INSTALLED AND IS OPERATING WITH 100% COVERAGE OF PROPOSED LANDSCAPE AREAS.
- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING HIMSELF FAMILIAR WITH ALL UNDERGROUND UTILITIES, PIPES, CABLES, STRUCTURES AND LINE RUNS.
- THE CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF ALL QUANTITIES BASED ON THE DRAWING(S) AND ACTUAL FIELD DIMENSIONS. PLANT QUANTITIES HAVE BEEN PROVIDED AS A CONVENIENCE ONLY TO THE OWNER(S) AND SHALL NOT BE CONSIDERED ABSOLUTE. CONTRACTOR SHALL FOLLOW DESIGN INTENT.
- NOTIFY THE OWNER OF ANY DISCREPANCIES THAT ARISE DURING THE CONSTRUCTION PERIOD. FAILURE TO MAKE SUCH DISCREPANCIES KNOWN TO OWNER WILL RESULT IN THE CONTRACTOR'S LIABILITY TO REDO WORK AS NECESSARY TO ACHIEVE THE DESIGN INTENT.
- PROTECT EXISTING VEGETATION, EQUIPMENT, STRUCTURES, UTILITIES, AND OTHER IMPROVEMENTS AT THE PROJECT SITE AND ON ADJACENT PROPERTIES, EXCEPT THOSE INDICATED TO BE REMOVED OR ALTERED. ALL AREAS DISTURBED BY DEMOLITION AND CONSTRUCTION ACTIVITIES SHALL BE REPAIRED AND RESTORED TO THEIR PRE-CONSTRUCTION CONDITION INCLUDING: PAVEMENTS, LANDSCAPE AREAS, IRRIGATION AND LIGHTING.
- PROVIDE MEASURES AS REQUIRED TO PREVENT EROSION AND DISCHARGE OF SOIL-BEARING RUNOFF AND AIRBORNE DUST TO UNDISTURBED AREA AND ADJACENT PROPERTIES, SIDEWALKS, STREETS, AND OTHER PAVED SURFACES.
- ALL PROPOSED SUBSTITUTIONS MUST BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR INSTALLATION.
- NOTIFY THE LANDSCAPE ARCHITECT IF LAYOUT OF TREES, BEDS AND/OR PLANTS REQUIRE ALTERATION FROM THE LANDSCAPE PLAN. NOTIFICATION WILL BE REQUIRED PRIOR TO ALTERING THE LAYOUT.
- TREES SHALL BE HANDLED BY ROOT BALLS ONLY. DO NOT DAMAGE BALL, TRUNK, OR LOOSEN TRUNK FROM BALL. TREE TRUNKS ARE TO BE PLANTED STRAIGHT AND MAY BE REQUIRED BY THE OWNER AND/OR THE LANDSCAPE ARCHITECT TO BE STAKED.
- WHERE NEWLY PLANTED TREES ARE NOT ABLE TO STAND ON THEIR OWN, TREES SHALL BE STAKED WITH AN AT-GRADE ROOT BALL SECURING SYSTEM. THE SYSTEM SHALL SECURELY ANCHOR THE ROOT BALL, WHILE ALLOWING THE TRUNK AND CROWN TO MOVE NATURALLY. THE SYSTEM SHALL NOT USE MATERIALS AND METHODS THAT PENETRATE OR DAMAGE THE ROOT BALL. ABOVE GRADE STAKING SYSTEMS SUCH AS "T" POSTS WITH WIRES, HOSES, STRAPS, OR GUY WIRES WRAPPED AROUND THE TREE TRUNK SHALL NOT BE ALLOWED UNLESS AUTHORIZED BY THE LANDSCAPE ARCHITECT.
- ALL TREES TO BE UNIFORM BY SPECIES WITH STRAIGHT TRUNKS AND MATCHING CHARACTER AND BRANCHING STRUCTURE.
- ALL TREE LOCATIONS SHALL BE APPROVED BY THE OWNER OR OWNER'S REPRESENTATIVE PRIOR TO PLANTING.
- FINAL LOCATIONS OF PLANT MATERIAL IS SUBJECT FOR REVIEW AND APPROVAL BY OWNER PRIOR TO PLANTING.
- PROVIDE POSITIVE DRAINAGE THROUGHOUT THE PROJECT AREA. NO PONDING OR STANDING WATER IS ACCEPTABLE.
- CONTRACTOR SHALL PROVIDE A MINIMUM 2% SLOPE AWAY FROM ALL BUILDINGS.
- AT NO TIME WILL ANY PLANT MATERIAL BE ALLOWED TO SETTLE BEYOND THE TOP OF THE ROOT FLARE OR POTTED SOIL LINE. SHOULD PLANT MATERIAL SETTLE, THE PLANT(S) WILL BE REPLANTED AT THE PROPER HEIGHT AND/OR REPLACED IF NECESSARY AT THE CONTRACTOR'S COST.
- ALL PROPOSED BED AREAS SHALL BE TILLED TO A DEPTH OF SIX INCHES (6"), ADDING A THREE INCH (3") MINIMUM LAYER OF ORGANIC COMPOST DURING THE PROCESS. THE LEVEL OF THE BED AREAS SHOULD BE LEFT THREE INCHES (3") ABOVE THE PROPOSED FINISHED GRADE TO ALLOW FOR COMPACTION AND SETTLEMENT.
- ALL BED AREAS SHALL BE SEPARATED FROM TURF AREAS USING 1/8" X 4" STEEL EDGING, PAINTED GREEN. ALL ENDS OF STEEL EDGE RUNS SHALL HAVE A RADIUS OR 45 DEGREE ANGLE TO ELIMINATE SHARP EDGES. HAND FILING MAY BE REQUIRED TO ACHIEVE A SMOOTH EDGE.
- TRIM STEEL EDGING AT A 45 DEGREE ANGLE WHEN EDGING INTERSECTS WITH A WALK OR CURB. DO NOT INSTALL EDGING ALONG CURBS OR WALKS.
- ALL LANDSCAPE BEDS SHALL RECEIVE A TWO INCH (2") TOP DRESS LAYER OF HARDWOOD MULCH AND ALL TREE WELLS SHALL RECEIVE A THREE INCH (3") LAYER OF SHREDED HARDWOOD MULCH. DO NOT COVER ROOT FLARE.
- TOP OF MULCH SHALL BE 1/2" MINIMUM BELOW THE TOP OF WALKS AND CURBS.
- TURF AREAS SHALL BE CLEAN OF DEBRIS AND RAKED (GRADED) SMOOTH PRIOR TO HYDROMULCH OR SOD INSTALLATION. LANDSCAPE CONTRACTOR TO RECEIVE GRADE WITHIN APPROX. 1/10th OF FINAL GRADE.
- OWNER RESPONSIBLE TO PROVIDE ELECTRICAL SERVICE FOR THE IRRIGATION SYSTEM, WHICH INCLUDES A HARDWARE OF 110 VOLTS AT MINIMUM FOR THE CONTROLLER.
- ALL LANDSCAPING LOCATED WITHIN THE VISIBILITY TRIANGLES SHALL COMPLY WITH THE VISIBILITY TRIANGLE REQUIREMENTS AS PER THE CITY STANDARDS.
- ALL LIGHT POLES MAY NOT BE SHOWN ON THE PROJECT SITE OR ADJACENT PROPERTIES. IF A PROPOSED TREE IS IN CONFLICT WITH ANY LIGHT OR UTILITY POLE, THE CONTRACTOR SHALL CONTACT THE LANDSCAPE ARCHITECT, TO DETERMINE OPTIONS, PRIOR TO PLANTING.
- ALL PLANTS AND TREES ARE TO CONFORM TO AMERICAN ASSOCIATION OF NURSERYMEN AND TEXAS ASSOCIATION OF NURSERYMEN STANDARDS.
- THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REFUSE ANY LANDSCAPE MATERIAL ON SITE.

PLANT MATERIAL SCHEDULE				
KEY	QUAN	COMMON NAME	BOTANICAL NAME	SPECIFICATIONS
CANOPY TREES				
CE	10	CEDAR ELM	Ulmus crassifolia	5" cal. 12'-14' tall, b&b.
CO	5	CHINQUAPIN OAK	Quercus muhlenbergi	5" cal. 12'-14' tall, b&b.
LO	2	LIVE OAK	Quercus virginiana	5" cal. 12'-14' tall, b&b.
ORNAMENTAL TREES				
MP	13	MEXICAN PLUM	Prunus mexicana	2" cal., 6'-8' tall, container
SHRUBS				
CTS	45	COMPACT TEXAS SAGE	Leucophyllum frutescens "Compacta"	5 gallon, 48" on center.
RM	41	ROSEMARY	Rosemary officinalis	5 gallon, 30" on center.
RY	54	RED YUCCA	Hesperaloe parvifolia	5 gallon, 48" on center.
GROUND COVER				
PW	-	PURPLE WINTERCREEPER	Euonymus fortunei 'Coloratus'	1 gallon, 18" on center.
TURF GRASS				
BG	-	TIFF TURF BERMUDA	Cynodon spp. "Tiff Turf"	solid sod

REVISION	No.	DATE	 Don C. Wheeler Landscape Architect P.O. Box 470865 Office 817.335.1405 PROJECT NO. 2K22-45	 DATE: 4-26-24	LANDSCAPE PLAN SMOOTHIE KING ROCKWALL DA Goliad Partners. L.P. CITY OF ROCKWALL, TEXAS	Sheet No.
						L1

APPROVED:	
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the 31st day of May, 2024.	
WITNESS OUR HANDS, this 31st day of May, 2024.	
 Planning & Zoning Commission, Chairman	 Director of Planning and Zoning
PLAN PREPARED BY: DON C. WHEELER, RLA PO BOX 470865 FT. WORTH, TX 76147 817.335.1405 dan@dcwla.com	

TREE LEGEND

- (5) EXISTING TREES (NOT PROTECTED) TO BE REMOVED BUT NOT MITIGATED.
- EXISTING PROTECTED TREES TO BE REMOVED AND MITIGATED.
- 17-NEW 5" TREES PLANTED = 85"
- (10) CEDAR ELM 'CE'
- (5) CHINQUAPIN OAK 'CO'
- (2) LIVE OAK 'LO'
- (13) MEXICAN PLUM 'MP'

EXISTING TREE SCHEDULE

#	SPECIE	CALIPER	PROTECT OR REMOVE	TREE HEALTH (1-5)	*DISEASE (Y/N)	*INSECT (Y/N)	*STRUCTURAL (Y/N)	MITIGATION REQ'D (IN.)
2561	PECAN	22	REMOVE	4	N	N	N	22
2562	PECAN	16	.	.	.	.	.	16
2563	PECAN	24	.	.	.	.	.	24
2566	PECAN	8	.	.	.	.	.	8
2567	PECAN	24	.	.	.	.	.	24
2568	PECAN	20	.	.	.	.	.	20
2569	PECAN	24	.	.	.	.	.	24
2655	CHINABERRY	8	.	.	.	.	.	0
2656	CHINABERRY	9	.	.	.	.	.	0
2676	CHINABERRY	5	.	.	.	.	.	0
2677	CHINABERRY	15	.	.	.	.	.	0
2701	PECAN	18	.	.	.	.	.	18
2707	PECAN	24	.	.	.	.	.	24
2708	PECAN	16	.	.	.	.	.	16
2709	PECAN	24	.	.	.	.	.	24
2710	PECAN	7	.	.	.	.	.	7
2714	PECAN	17	.	.	.	.	.	17
2716	BOIS D'ARC	27	.	.	.	.	.	0
2750	ELM	12	.	.	.	.	.	12
2751	ELM	16	.	.	.	.	.	16
2752	ELM	16	.	.	.	.	.	16
2753	ELM	16	.	.	.	.	.	16
2806	ELM	40	.	.	.	.	.	80
2834	ELM	48	.	.	.	.	.	88

*ASSUMED DUE TO LACK OF INFO PROVIDED ON TREE SURVEY. TOTAL = 481"

(19) PROTECTED TREES TO MITIGATE = 481 INCHES
LESS (17) NEW 5" TREES TO PLANT = 85 INCHES
SUB-TOTAL = 396 INCHES

396" x 20% = 79" x \$200 = \$15,800 PAID INTO TREE FUND.

REMAINING INCHES TO MITIGATE = 396-79= 317.

317"/4" = (80) 4" TREES - PLANTED IN PARK.

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the 11th day of May, 2024.
WITNESS OUR HANDS, this 11th day of May, 2024.
Don C. Wheeler, Planning & Zoning Commission, Chairman
Bill, Director of Planning and Zoning

SP2024-008

TREE SURVEY BY:
STOVALL & ASSOCIATES
P.O. BOX 202
GREENVILLE, TEXAS 75403
PHONE (903) 450-1120
info@stovallassociates.com
SEPT. 24, 2015
PLAN PREPARED BY:
DON C. WHEELER, RLA
PO BOX 470865
FT. WORTH, TX 76147
817.335.1405
don@dcwla.com



TREE PLAN
SMOOTHIE KING ROCKWALL
DA Goliad Partners. L.P.
CITY OF ROCKWALL, TEXAS

Sheet No.
TP1

REVISION

No.

DATE

Don C. Wheeler
Landscape Architect
P.O. Box 470865
Office 817.335.1405
Fort Worth, Texas 76147
don@dcwla.com

PROJECT NO.
2K22-45

DATE:
12-15-2023

Course	Bearing	Distance
L 1	N 35°33'55" W	69.89'
L 2	N 18°54'05" W	37.43'

Curve	Radius	Length	Delta	Chord	Chord Bear.
C 1	275.00'	88.33'	18°24'13"	87.95'	S 71°24'38" W



MITIGATION OF EXISTING TREES

19 PROTECTED TREES TOTALING
481 CALIPER INCHES ON SMOOTHIE
KING SITE.

(17) 5 INCH CALIPER NEW TREES
TOTALING 85 INCHES PROPOSED
FOR THE SMOOTHIE KING SITE.

(80) 4 INCH CALIPER NEW TREES
TOTALING 317 INCHES (80%)
PROPOSED FOR THE SMOOTHIE
KING SITE.

396" x 20% = 79" x \$200 = \$15,800.
PAID INTO TREE FUND.

TREE LEGEND:

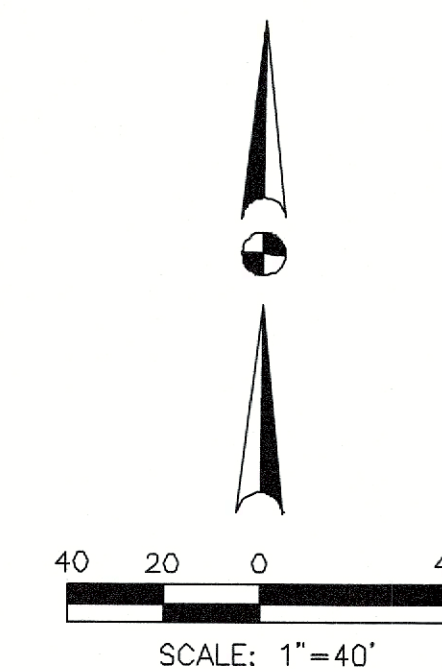
○ 17-PROPOSED TREES
SMOOTHIE KING SITE.

● EXISTING TREES
PARK SITE

○ 80-PROPOSED TREES
PARK SITE:

SUGGESTED TREES SPECIES
4" CALIPER

BALD CYPRESS
MAPLES
OAKS



SP2024-008

APPROVED:

I hereby certify that the above said foregoing site plan for a development in the City of Rockwall, Texas, was
approved by the Planning & Zoning Commission of the City of Rockwall on the 14th day of MAY,
2024.


WITNESS OUR HANDS, this 14th day of MAY, 2024.

[Signature]
Planning & Zoning Commission, Chairman

[Signature]
Director of Planning and Zoning

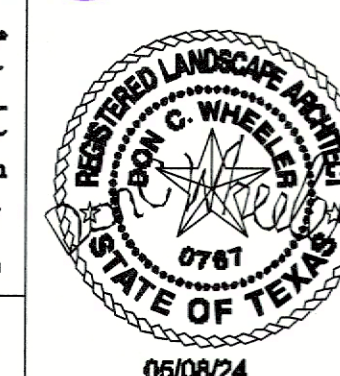
PLAN PREPARED BY:
DON C. WHEELER, RLA
PO BOX 470865
FT. WORTH, TX 76147
817.335.1405
don@dowla.com

REVISION	No.	DATE

**Don C. Wheeler**
Landscape Architect
P.O. Box 470865
Office 817.335.1405
don@dowla.com
Fort Worth, Texas 76147
don@dowla.com

PROJECT NO.
21K22-45

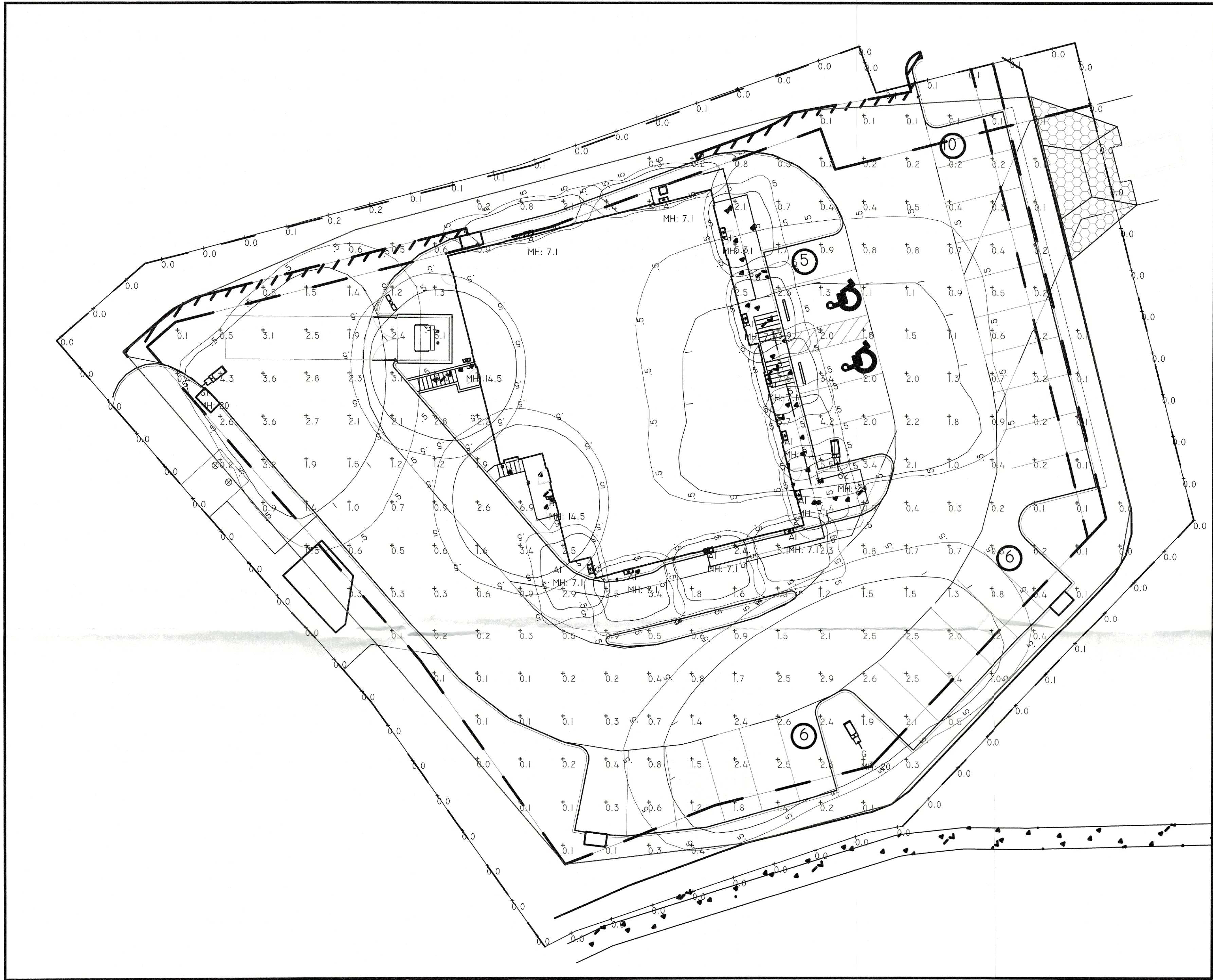
DATE
12-15-2023



TREE MITIGATION PLAN
SMOOTHIE KING ROCKWALL
DA Goliad Partners, L.P.
CITY OF ROCKWALL, TEXAS

Sheet No.

TP2




GENERAL NOTES:

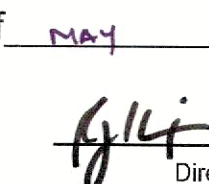
- ASSUMED REFLECTANCE- 0.8 CEILING, .85 WALLS, .82 FLOORS
- WORKPLANE 2'-6" AFF FOR ROOMS AND 0'-0" AFF FOR CORRIDORS
- THIS CALCULATION IS BASED ON AN OPEN AREA. OBJECTS AND OBSTRUCTIONS WITHIN THIS AREA WILL AFFECT FINAL LIGHTING LEVELS.
- THE CALCULATED FOOTCANDLE LEVELS INDICATE LUMINAIRE PERFORMANCE BASED ON THE INFORMATION PROVIDED TO TEXAS LIGHTING SALES, INC. WE MAKE NO CLAIMS OF COMPLIANCE WITH ANY STATE OR LOCAL LIGHTING CODES.
- CALCULATIONS ARE PROVIDED USING INDUSTRY RECOGNIZED SOFTWARE AND ARE PROVIDED FOR ESTIMATION PURPOSES ONLY. INPUT DATA FOR THE CALCULATIONS CORRESPONDS TO THE INFORMATION PROVIDED TO US. ASSUMPTIONS MAY BE MADE FOR INFORMATION THAT IS NOT PROVIDED. IT IS THE RESPONSIBILITY OF THOSE USING THIS SERVICE TO VERIFY OUR INPUT DATA IS CONSISTANT WITH EXPECTED FIELD CONDITIONS. RESULTS OF THE LIGHTING CALCULATIONS ACCURATELY REFLECT THE INPUT DATA. HOWEVER, ACTUAL LIGHTING LEVELS WILL VARY DEPENDING ON FIELD CONDITIONS SUCH AS ROOM CHARACTERISTICS, TEMPERATURE, VOLTAGE AND LAMP/BALLAST OUTPUT AND OTHER FACTORS. CALCULATIONS ARE ALSO SUBJECT TO THE LIMITATIONS OF THE SOFTWARE. DUE TO THE ABOVE CONSIDERATIONS, TEXAS LIGHTING SALES CANNOT GUARANTEE THAT ACTUAL LIGHT LEVELS MEASURED IN THE FIELD WILL MATCH OUR INITIAL CALCULATIONS.

APPROVED:

I hereby certify that the above and foregoing site plan for a development in the city of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the 14th day of MAY, 2024.

WITNESS OUR HANDS, this 14th day of MAY, 2024.

 Planning & Zoning Commission, Chairman

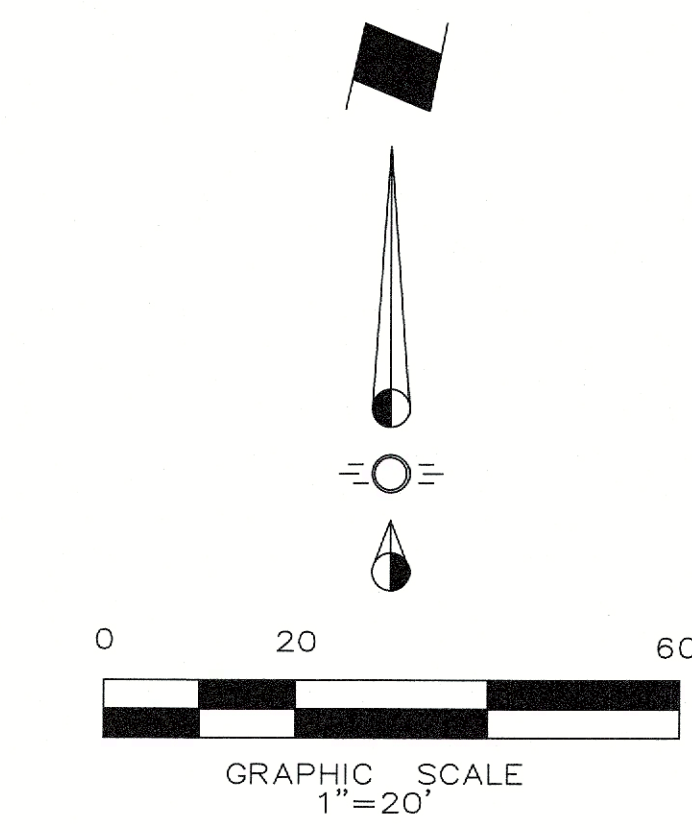
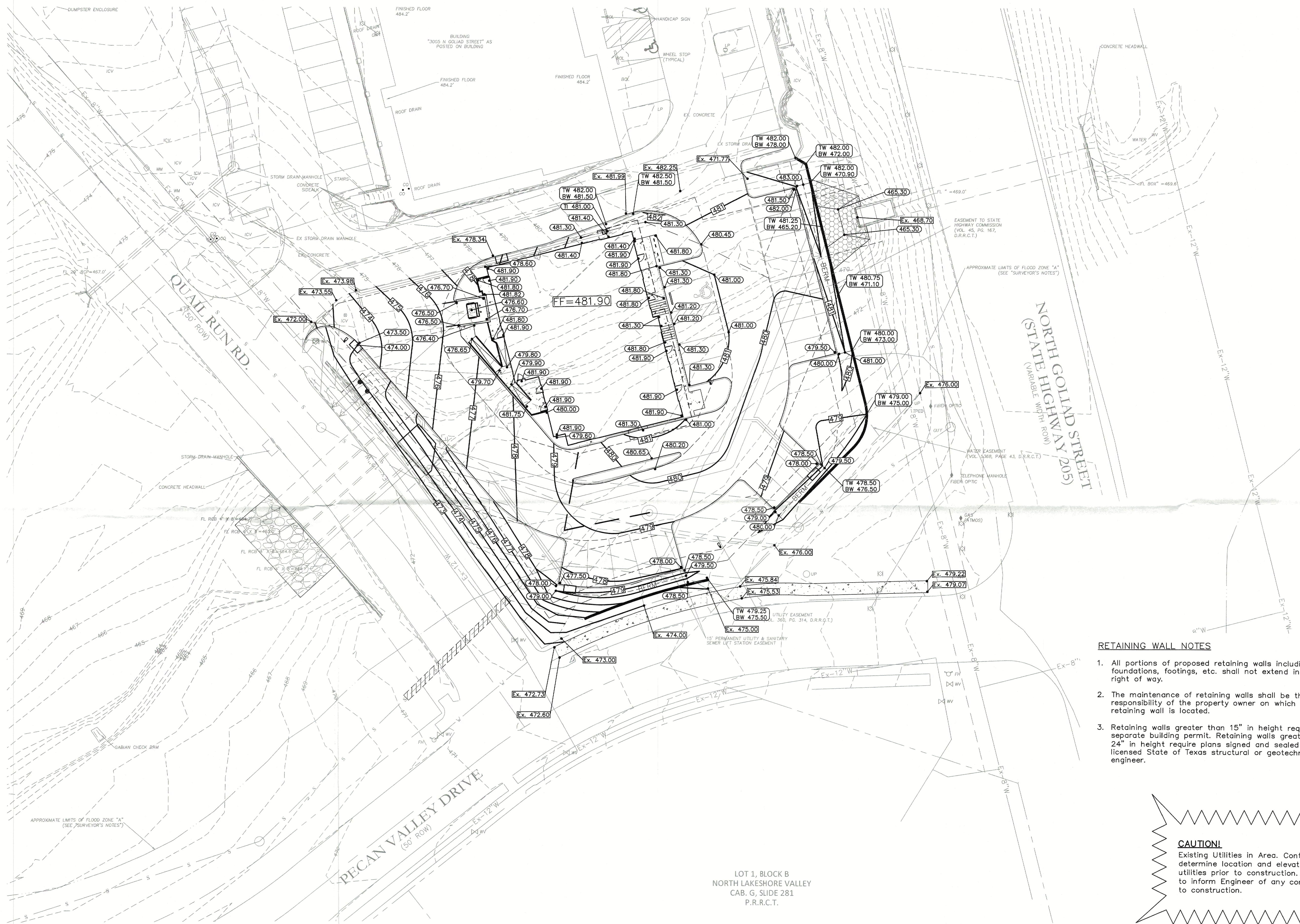
 Director of Planning and Zoning

SITE PLAN SUBMITTAL

REVISION NO:	DATE:
SHEET TITLE: PHOTOMETRIC PLAN	
OWNER: CC ROCKWALL, LLC 8350 NORTH CENTRAL EXPRESSWAY, SUITE 1300 DALLAS, TEXAS 75206 CHAD DUBOSE 214-701-8455 chad@foremark.com	
ARCHITECT: DONALD F. SOPRANZI, AIA, LEED-AP ARCHITECT 10300 NORTH CENTRAL EXPRESSWAY, SUITE 450 DALLAS, TEXAS 75231 DONALD SOPRANZI 817-903-6663 dons@dfsarchitect.com	
SCALE: 1" = 10'-0"	CASE NUMBER: SP 2024-008

CALCULATION SUMMARY									
LABEL	SCALE TYPE	UNITS	AVG	MAX	MIN	AVERAGE	MAXIMUM	SCALE	UNIT
PROF LINE	ILLUMINANCE	FC	0.00	0.0	0.0	N/A	N/A	N/A	FT
SITE	ILLUMINANCE	FC	1.50	0.0	0.0	N/A	N/A	N/A	FT

LUMINAIRE SCHEDULE									
SYMBOL	QTY	LABEL	ARRANGEMENT	DESCRIPTION	FAD	CFP	LUMINAIRE	LUMINAIRE	TOTAL
1	1	A1	SINGLE	100W-100W-100W	100	0.000	100W	100W	100W
2	1	A2	SINGLE	100W-100W-100W	100	0.000	100W	100W	100W
3	1	B1	SINGLE	100W-100W-100W	100	0.000	100W	100W	100W
4	1	B2	SINGLE	100W-100W-100W	100	0.000	100W	100W	100W
5	1	C1	SINGLE	100W-100W-100W	100	0.000	100W	100W	100W
6	1	C2	SINGLE	100W-100W-100W	100	0.000	100W	100W	100W



GRADING NOTES

1. All materials and construction shall be in accordance with the City of Rockwall Standard Specifications and Construction Standards, and Standard Specifications for Public Works Construction prepared by North Central Texas Council of Governments (Latest Revision).
2. Existing utilities are shown schematically and are for the contractors guidance only. The location and/or elevation of existing utilities as shown on these plans are based on records of the various utility companies, and, where possible, measurements taken in the field. The contractor must call the appropriate utility company at least 72 hours prior to any excavation to request exact field location of utilities.
3. The contractor shall be responsible for protecting all existing improvements in the construction of this project. The contractor is responsible for repairs of damage to any existing improvements during construction. Repairs shall be equal to or better than condition prior to construction.
4. All pavement subgrade shall be compacted to at least 95% Standard Proctor Density at or slightly above Optimum. All work shall be done in accordance with the Geotechnical Report.
5. Erosion Control shall be in place prior to the disturbance of any existing surface.
6. All sidewalk slopes shall conform to A.D.A. requirements as follows: 1:20 longitudinal (along the walk) 1:50 transverse (across the walk)
7. All proposed grades in landscaped areas are finished grade elevations. Contractor to allow for seeding or sodding of these areas.

LEGEND

- 0.00 Proposed Spot Elevation
- Ex. 0.00 Existing Spot Elevation
- XXX Proposed Contour
- 588 Existing Contour
- Valley
- Highpoint
- Flow Arrow

RETAINING WALL NOTES

1. All portions of proposed retaining walls including foundations, footings, etc. shall not extend into the right of way.
2. The maintenance of retaining walls shall be the responsibility of the property owner on which the retaining wall is located.
3. Retaining walls greater than 15" in height require a separate building permit. Retaining walls greater than 24" in height require plans signed and sealed by licensed State of Texas structural or geotechnical engineer.

CAUTION!

Existing Utilities in Area. Contractor to determine location and elevation of all utilities prior to construction. Contractor to inform Engineer of any conflicts prior to construction.

STOP!
CALL BEFORE YOU DIG



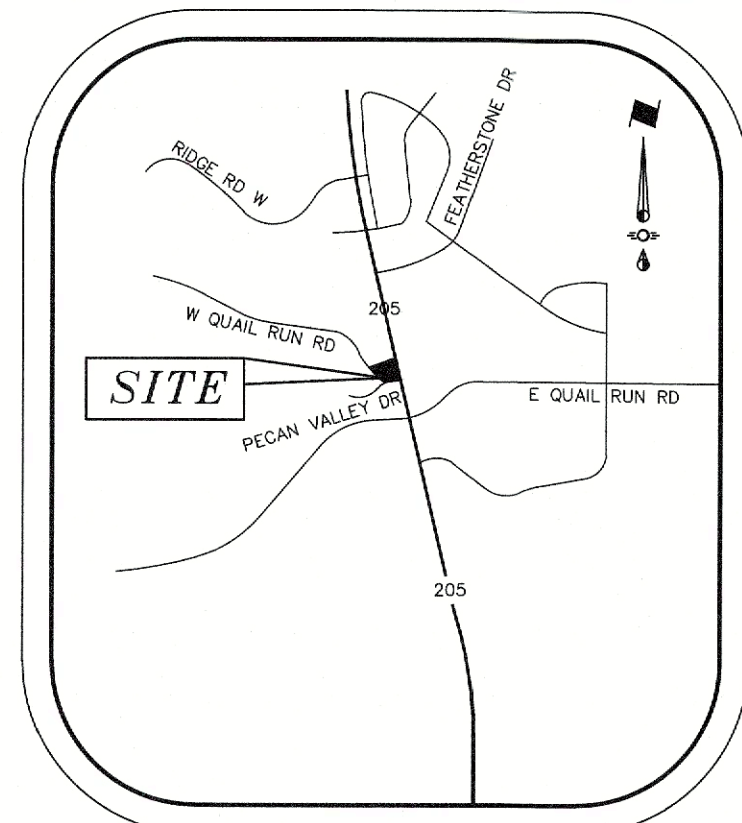
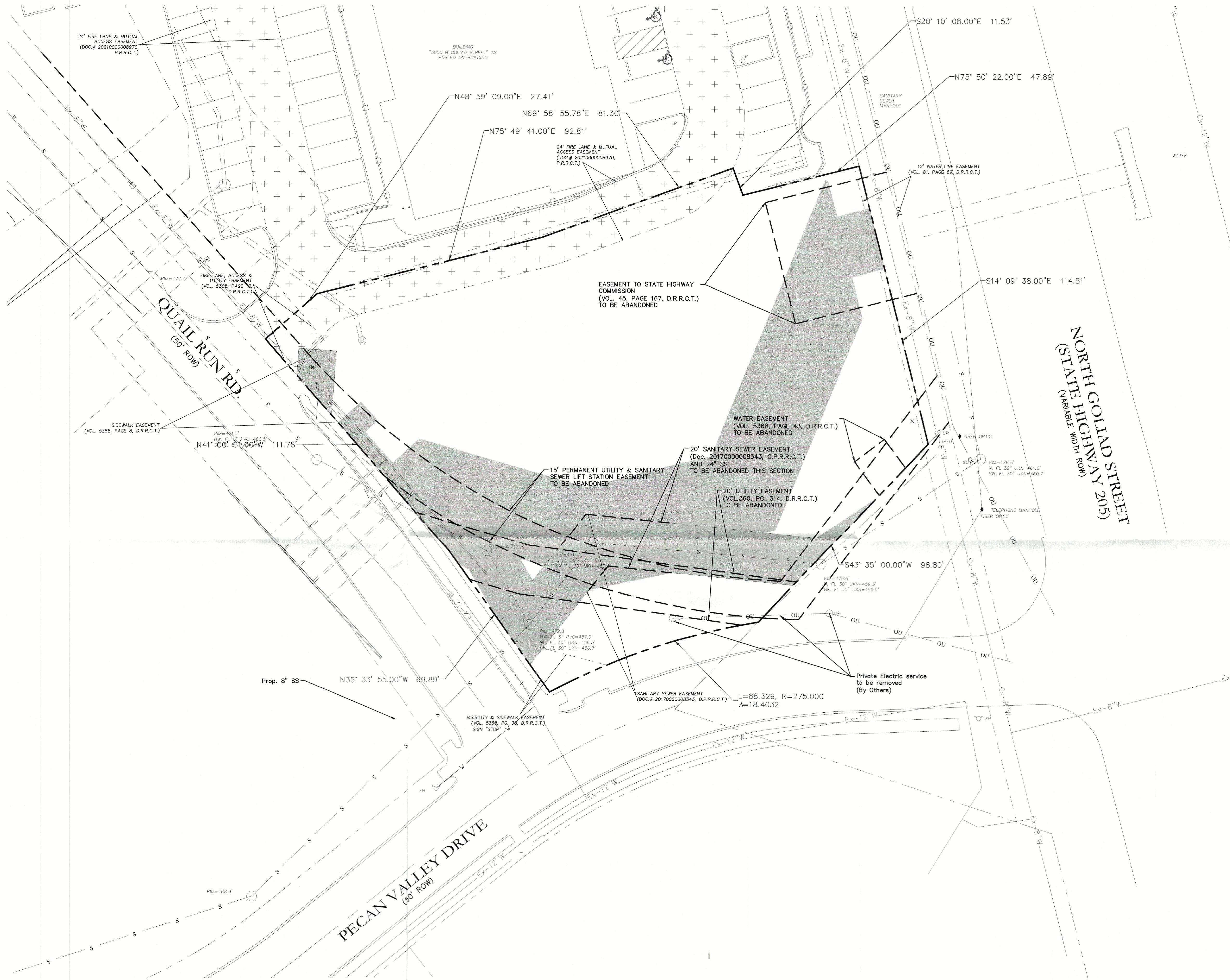
(@ least 72 hours prior to digging)

APPROVED:
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WITNESS OUR HANDS, this 14th day of MAY, 2024.
[Signature] Planning & Zoning Commission, Chairman
[Signature] Director of Planning and Zoning

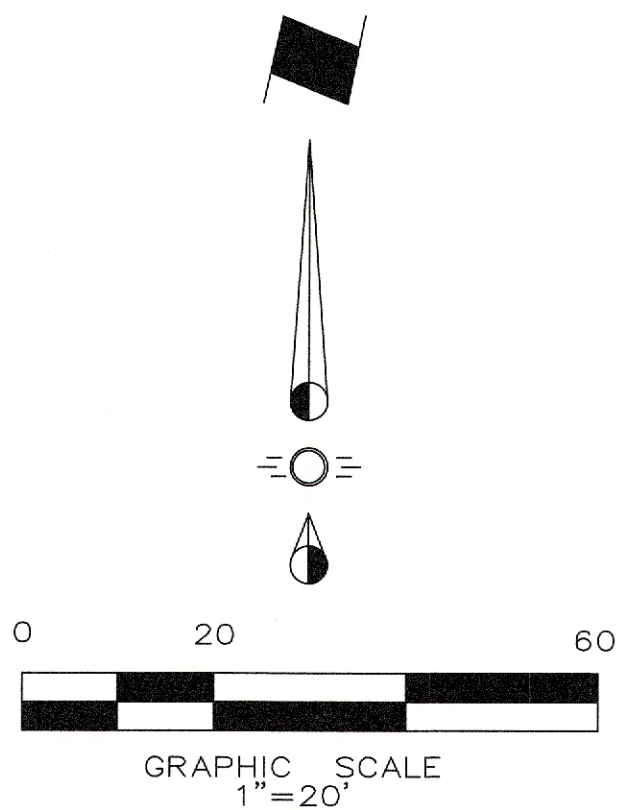
Issue Dates:	Revision & Date:	CROSS ENGINEERING CONSULTANTS		
1	1	1720 W. Virginia Street McKinney, Texas 75069 972.562.4409 Texas P.E. Firm No. F-5935		
2	2			
3	3			
4	4			
5	5			
6	6			
		Drawn By:	Checked By:	Scale:
		C.E.C.I.	C.E.C.I.	1"=20'

GRADING PLAN		Sheet No.
SMOOTHIE KING ROCKWALL		C3-1
DA Goliad Partners, LP		Project No. 20089
CITY OF ROCKWALL, TEXAS		

SMOOTHIE KING ROCKWALL



VICINITY MAP
NTS



LEGEND

- Proposed/Existing to remain Water, Drainage and Sanitary Sewer Easements

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Planning & Zoning Commission, Chairman

Director of Planning and Zoning

Issue Dates:	Revision & Date:
1	1
2	2
3	3
4	4
5	5
6	6

CROSS ENGINEERING CONSULTANTS
1720 W. Virginia Street
972.562.4409
McKinney, Texas 75069
Texas P.E. Firm No. F-5935

Drawn By:	Checked By:	Scale:
C.E.C.I.	C.E.C.I.	1"=20'

NOTE: THIS IS NOT A CONSTRUCTION DOCUMENT.
THIS DOCUMENT IS FOR CONCEPTUAL PLANNING PURPOSES ONLY.

CASE NO. SP2023-049

EASEMENT
ABANDONMENT EXHIBIT
SMOOTHIE KING ROCKWALL
DA Goliad Partners, LP
CITY OF ROCKWALL, TEXAS

Sheet No.
EAE
Project No.
20089