

NOTE:
THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING THE LOCATION OF ALL EXISTING UTILITIES AND EASEMENTS PRIOR TO START OF OPERATIONS. CONTRACTOR WILL NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES PRIOR TO STARTING THE WORK. EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY BOTH THE HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES AND UNDERGROUND FACILITIES PRIOR TO START OF CONSTRUCTION. TAKE THE NECESSARY PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL EXISTING UTILITIES FROM DAMAGE DURING CONSTRUCTION.

- PAVING NOTES:
- 1) APPROACHES TO BE 8" THICK, 4200 psi, 7.5 SACK MIX, REINFORCED WITH #3 BARS @ 18" ON CENTER. (O.C.)
 - 2) FIRELANE TO BE 6" THICK, 3600 psi, 6.5 SACK MIX, REINFORCED WITH #3 BARS @ 18" ON CENTER. (O.C.)
 - 3) DUMPSTER PAD TO BE 7" THICK, 3600 psi, 6.5 SACK MIX, REINFORCED WITH #3 BARS @ 18" ON CENTER. (O.C.)
 - 4) ALL OTHER (NON-FIRELANE) PAVING CAN BE 6" THICK (SIDEWALK TO BE 4"), 3000 psi, 6 SACK MIX, REINFORCED WITH #3 BARS @ 18" O.C.
 - 5) ALL FILL (IF REQUIRED) SHALL BE PLACED ON 8" LIFTS AND COMPACTED TO 95% OF STD. PROCTOR @ MOISTURE RANGE OF 0% TO +6% OF OPTIMUM MOISTURE. (UNLESS OTHERWISE NOTED) USING A SHEEPS-FOOT ROLLER.
 - 6) SIDEWALK TO BE 4" THICK CONCRETE, 3000 psi, 5.5 SACK MIX IN R.O.W.
 - 7) NO SAND UNDER PAVING.
 - 8) NO PAVING, INCLUDING SLAB, TO BE INSTALLED UNTIL THE DETENTION SYSTEM(S) ARE FULLY INSTALLED FUNCTIONALLY, PER PLAN, & HAVE ANCHORED SEEDED CURLEX OR SOD ON THE SIDES & BOTTOM OF POND

**** NOTICE TO CONTRACTORS ****

TOPOGRAPHIC INFORMATION TAKEN FROM A TOPOGRAPHIC SURVEY PERFORMED BY TEXAS HERITAGE SURVEYING, LCC OF DALLAS, TEXAS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY, IN WRITING, OF ANY DISCREPANCIES OR OMISSIONS TO THE TOPOGRAPHIC INFORMATION. THE CONTRACTOR(S) SHALL BE RESPONSIBLE FOR CONFIRMING THE LOCATION (HORIZONTAL/VERTICAL) OF ANY BURIED CABLES, CONDUITS, PIPES, AND STRUCTURES (STORM SEWER, SANITARY SEWER, WATER, GAS, TELEVISION, TELEPHONE, ETC.) WHICH IMPACT THE CONSTRUCTION SITE. THE CONTRACTOR(S) SHALL NOTIFY THE OWNER AND ENGINEER IF ANY ERRORS OR DISCREPANCIES ARE FOUND BETWEEN THE ACTUAL CONDITIONS VERSUS THE DATA CONTAINED IN THE CONSTRUCTION PLANS. ANY COSTS INCURRED AS THE RESULT OF NOT CONFIRMING THE ACTUAL LOCATION (HORIZONTAL/VERTICAL) OF SAID CABLES, CONDUITS, PIPES, AND STRUCTURES SHALL BE BORNE BY THE CONTRACTOR. ADDITIONALLY, THE CONTRACTOR(S) SHALL NOTIFY THE OWNER AND ENGINEER IF ANY ERRORS OR DISCREPANCIES ARE FOUND ON THE CONSTRUCTION DOCUMENTS (PS&E), WHICH NEGATIVELY IMPACT THE PROJECT. ENGINEER AND OWNER SHALL BE INDEMNIFIED OF PROBLEMS AND/OR COST WHICH MAY RESULT FROM CONTRACTOR'S FAILURE TO NOTIFY ENGINEER AND OWNER.

SITE DATA:

LOT AREA:
6.685 Acres, 291,202 sq.ft.

LOT COVERAGE:
14.76%

FLOOR TO AREA RATIO:
6.78:1

BUILDING AREA:
Office: 8,399 sq.ft.
Warehouse: 35,575 sq.ft.
Total: 42,974 sq.ft.

BUILDING HEIGHT:
1 STORY
PROPOSED FUTURE USE:
Office

IMPERVIOUS AREA
(including buildings):
55,535 sq.ft.

ZONING:
PD-10/C

PARKING:
Required:
Office (1/300sf) = 28
Warehouse (1/1000sf) = 36

Handicap = 3
Provided:
Standard = 60
Handicap = 4

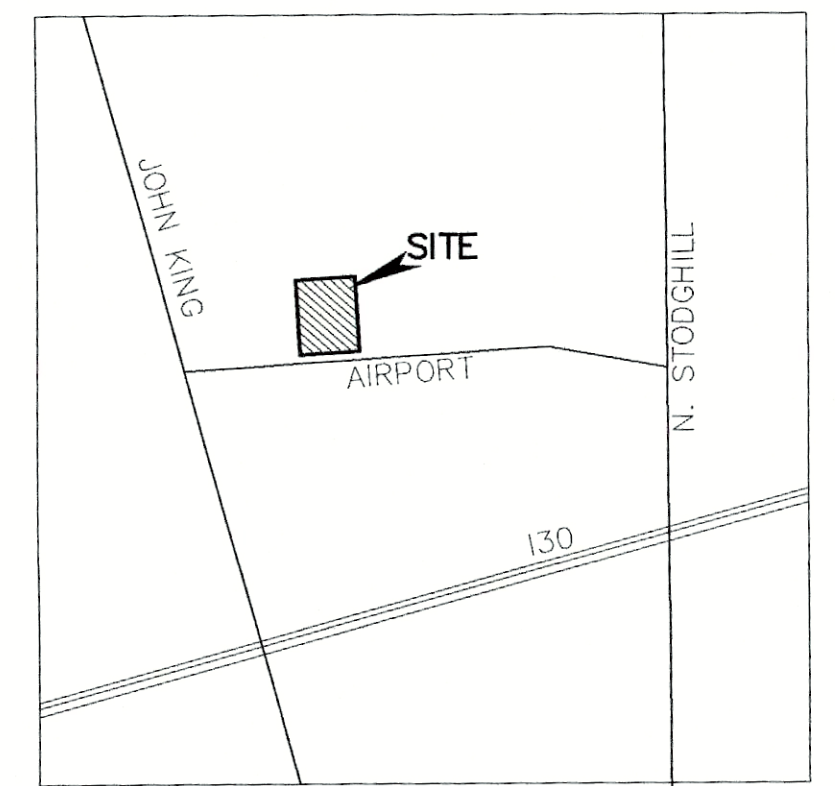
Total Provided = 64

LANDSCAPE AREA:
Required: (20%)

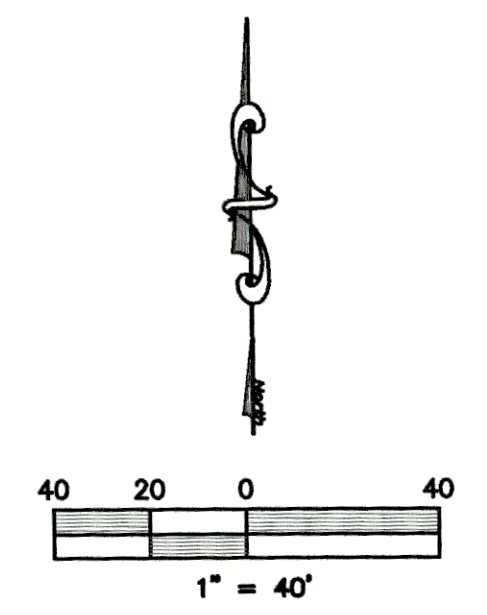
Provided: sq.ft.

FIRESPRINKLER:
YES

* THERE ARE NO EXIST. BUILDINGS ON THIS SITE
* THERE ARE TREES ON THIS SITE



LOCATION MAP
(NOT TO SCALE)



- LEGEND
- = PROPERTY LINE
 - SS --- = EXISTING SANITARY SEWER LINE
 - W --- = EXISTING WATER LINE
 - G --- = EXISTING GAS LINE
 - ⊙ FH = EXISTING FIRE HYDRANT
 - ⊙ WM = EXISTING WATER METER
 - ⊙ PP = EXISTING POWER POLE
 - ⊙ LP = EXISTING LIGHT POLE
 - T = EX. WATER VALVE
 - ⊙ S = EXISTING SEWER MANHOLE
 - ⊙ G = EXISTING GAS METER
 - B-B = BACK OF CURB TO BACK OF CURB
 - EXIST. or EX. = EXISTING
 - PROP. = PROPOSED
 - LS = LANDSCAPE
 - RCP = REINFORCED CONCRETE PIPE
 - min = MINIMUM
 - max = MAXIMUM
 - ⊙ = PROPOSED FIRE HYDRANT
 - = PROPOSED FIRELANE



4/2/24

CASE # SP2024-012

SITE PLAN

TEXAS PRODUCTS CORPORATE OFFICE

1775 AIRPORT ROAD
David Harr Survey, Abstract No. 102,
6.685 ACRES
City of Rockwall, Rockwall County, Texas

OWNER:
TEXAS PRODUCTS
Rockwall, Texas
Contact: Jeff Carroll (972)732-6085

prepared by
MONK CONSULTING ENGINEERS, INC.
1200 W. State Street, Garland Texas 75040
972 272-1763 Fax 972 272-8781
REG NO.: F-2567

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date: 4/2/24 scale: 1" = 20' sheet: C101

EXISTING
FIRE HYDRANT

MICHAEL L. PEOPLES JR.
& SHERYL PEOPLES
INST. NO. 20190000013271
O.P.R.R.C.T.

APPROX. LOCATION
ZONE A (SFHA)

N 88°13'59" E 497.12'

DETENTION AREA

PROP. STORM
TO POND

PROP. WYE
INLET

INSTALL 8" WATER LINE:
(1) 12"x8" SADDLE TAP
(1) 8" VALVE

EXISTING
FIRE HYDRANT

LOT 1
ROCKWALL MUNICIPAL
AIRPORT ADDITION
CAB. B, SLIDE 47
P.R.R.C.T.

FUTURE FIRELANE

FUTURE BLDG.
60,321 S.F.

PROP. BLDG.
42,974 S.F.
FF=575.0

PROPOSED
PARKING
(TYPICAL)

PROP. FIRELANE,
ACCESS & UTILITY
EASEMENT

PROP. DRAIN BOX
● DUMPSTER PAD
& INLINE OIL/WATER
SEPARATOR.

PROP. DUMPSTER PAD
W/ 8" PAVING. CONSTRUCT
8" MASONRY ENCLOSURE TO
MATCH BLDG & SELF
LATCHING METAL GATES.
(SEE SITE DETAILS)

PROP. WYE
INLET

NOTES:

- 1) ALL WORK MUST CONFORM TO CITY OF ROCKWALL & NCTCOG STANDARDS AND DETAILS 5th EDITION.
- 2) ALL WORK IN PUBLIC RIGHT-OF-WAY SHALL CONFORM TO CITY OF ROCKWALL STANDARDS AND DETAILS
- 3) SEE PLAT FOR ALL INFORMATION REGARDING EASEMENTS, PROPERTY LINES, ETC.
- 4) ALL DIMENSIONS ARE FACE OF CURB TO FACE OF CURB UNLESS OTHERWISE NOTED.

INSTALL 14LF OF 6"
PVC CLASS 200:
(1) 8"x6" TAPPING SLEEVE
(1) 6" VALVE
(1) FH ASSEMBLY IN ESMT

CITY OF ROCKWALL
VOL. 4358, PG. 101
O.P.R.R.C.T.

STA: 0+22
INSTALL NEW 4" MH
FL (IN) =565.1
FL (OUT) =565.0

STA: 2+27
INSTALL NEW 4" MH
W/ 81 LF OF PRIVATE
6" SDR-35 WASTEWATER
LATERAL W/ DBL
CLEANOUT ● BLDG
FL (IN) =567.25
FL (OUT) =567.15

FOR IRRIGATION
SERVICE INSTALL:
(1) 1" WATER LINE
(1) 1" METER BOX
INSTALL METER IN ESMT.
& TESTABLE BACKFLOW
PREVENTOR

FOR DOMESTIC SERVICE
INSTALL:
(1) 2" WATER LINE
(1) 2" METER BOX
INSTALL METER IN ESMT.
& TESTABLE BACKFLOW
PREVENTOR

INSTALL 39LF OF 6"
PVC CLASS 200:
(1) 8"x6" TAPPING SLEEVE
(1) 6" VALVE
(1) FH ASSEMBLY IN ESMT

PROP. CONCRETE
ENTRANCE SAWOUT
& REMOVE EX. CURB
CONST. LONGITUDINAL
BUTT JOINT PER CITY
STDS.

INSTALL 8" WATER LINE:
(1) 12"x8" SADDLE TAP
(1) 8" VALVE

HANDICAP PARKING W/
WHEELSTOP & SIGN (TYP)

PROP. CONCRETE
MUTUAL ENTRANCE.
REMOVE EX. CURB
& REPLACE EX.
ENTRANCE AS NEEDED
CONST. LONGITUDINAL
BUTT JOINT PER CITY
STDS.

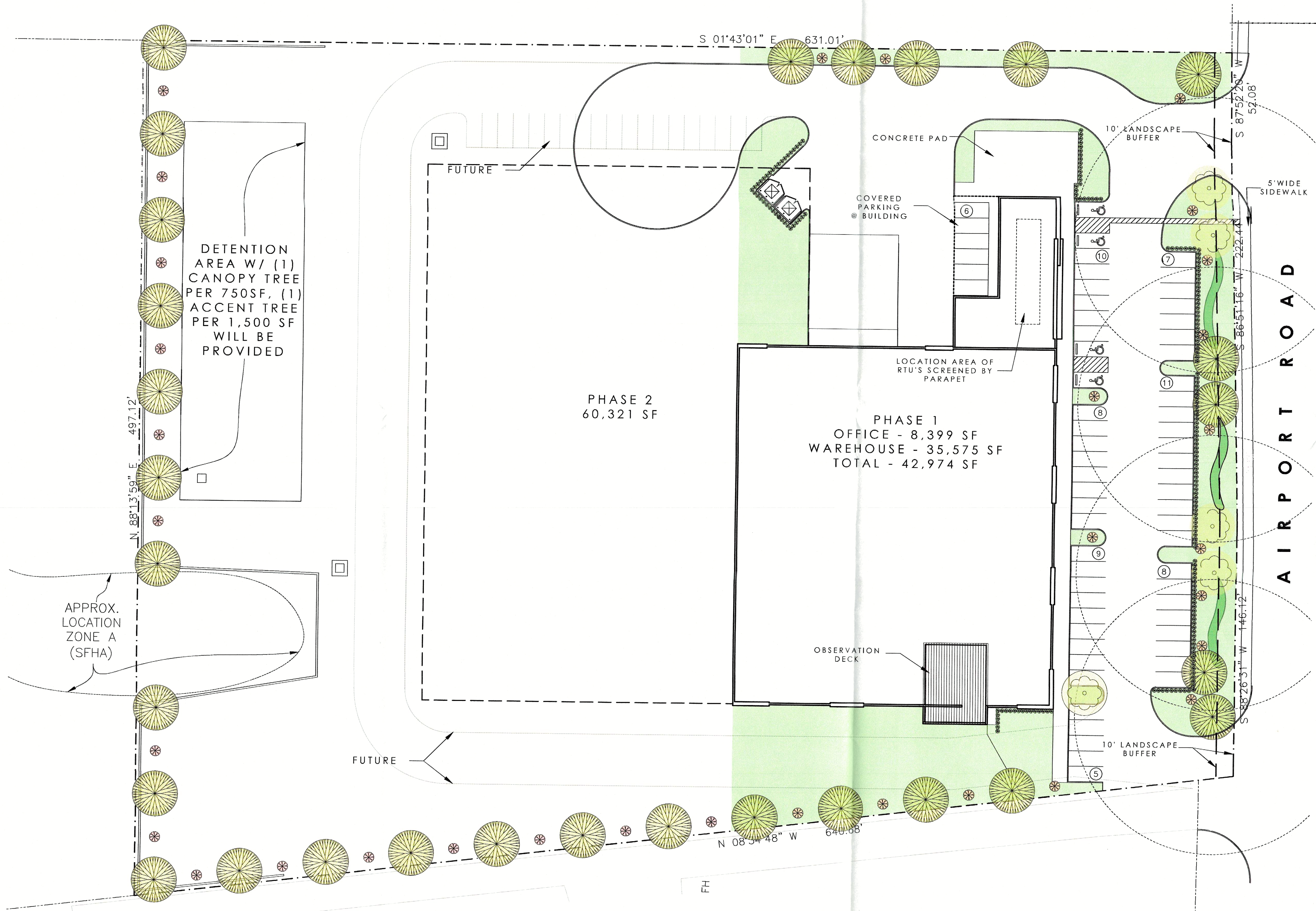
SITE PLAN SIGNATURE BLOCK

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the _____ day of _____.

WITNESS OUR HANDS, this _____ day of _____

Planning & Zoning Commission, Chairman

Director of Planning and Zoning



SITE DATA TABLE	
SITE AREA PHASE 1	2.9 ACRES (126,462 S.F.)
ZONING	LI LIGHT INDUSTRIAL
PROPOSED USE	OFFICE/WAREHOUSE
BUILDING AREA PHASE 1:	42,974 S.F.
OFFICE -	8,399 S.F.
WAREHOUSE -	35,575 S.F.
LOT COVERAGE (GROSS AREA)	34%
FLOOR TO AREA RATIO	
BUILDING HEIGHT MAX.	60'-0"

LANDSCAPE TABULATION	
NET AREA PHASE 1	2.9 ACRES (126,462 S.F.)
REQUIRED LANDSCAPE AREA- 20% OF 126,462 S.F.	25,292.4 S.F.
PROVIDED LANDSCAPE AREA- 22% OF 126,462 S.F.	31,081 S.F.
IMPERVIOUS COVERAGE- 75% OF 126,462 S.F.	95,381 S.F.

NOTES:

- Irrigation shall be provided to all landscaped areas.
- Tree mitigation for this project for existing trees on this property.
- All perimeter parking are within 50'-0" of a shade tree.
- No trees within 5' of public utilities less than 10'.
- No trees within 10' of public utilities 10' or greater.

TREE/SHRUB LEGEND	
TREES, INSTALLED W/ MINIMUM 4" CALIPER	
CEDAR ELM	BURM
BALD CYPRESS (DETENTION POND)	DESERT WILLOW
WINTER BOXWOOD (SHRUB) 5 GALLON @ INSTALLATION	

TREE & SHRUB CALCULATIONS	
STREET TREES REQUIRED : 1 TREE 50' - 0"	
FRONTAGE ROAD 420' LF. CANOPY TREE	9 TREES 4" CAL
FRONTAGE ROAD 420' LF. ACCENT TREE	9 TREE 4' TALL
TOTAL STREET TREES PROVIDED	18 TREES
LANDSCAPE SCREENING @ NORTH & WEST PROPERTY LINE	
1 CANOPY TREE @ 50'-0" O.C.	20 TREES
1 ACCENT TREE @ 50'-0" O.C.	19 TREES
TOTAL SCREENING TREES	39 TREES

NOTE: THE IRRIGATION WILL MEET THE REQUIREMENTS OF THE UNIFIED DEVELOPMENT CODE (UDC), (Subsection 05.04, of Article 08)

- GENERAL NOTES:
- REQUIRED LANDSCAPE AREAS SHALL BE IRRIGATED BY AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM; PROVIDED HOWEVER, THAT A HOSE BIB SYSTEM MAY BE USED FOR IRRIGATION WHEN A LANDSCAPE AREA IS LESS THAN 1,000 SQUARE FEET IN SIZE AND WHEN ALL PORTIONS OF THE AREA ARE WITHIN 50'-FEET OF A HOSE ATTACHMENT. SYSTEM SHALL HAVE FREEZE GUARD AND RAINSTAT.
 - ALL AREAS NOT SHOWN AS SPECIFIC PLANT MATERIAL SHALL BE HYDROMULCHED BERMUDA, EXCEPT FOR UNDISTURBED SITE AREA.
 - OWNER MAY SUBSTITUTE TYPES OF TREES. THE OWNER SHALL SELECT TYPES FROM CITY APPROVED TREE LIST ORDINANCE.
 - CONTRACTOR SHALL SUPPLY SLEEVES AS NEEDED FOR IRRIGATION.
 - CONTRACTOR TO VERIFY LOCATION OF IRRIGATION CONTROL W/ OWNER.
 - DUMPSTER IS NOT REQUIRED FOR THIS PROJECT. - PROVIDED
 - ALL LANDSCAPE BUFFERS AND PUBLIC RIGHT-OF-WAY LOCATED ADJACENT TO A PROPOSED DEVELOPMENT SHALL BE IMPROVED WITH GRASS.
 - THE DEVELOPER SHALL ESTABLISH GRASS AND MAINTAIN THE SEED AREA, INCLUDING WATERING, UNTIL A "PERMANENT STAND OF GRASS" IS OBTAINED.
 - NO TREE SHALL BE PLANTED CLOSER THAN FIVE (5) FEET TO EDGE OF PAVEMENT OR FIVE (5) FEET FROM ANY WATER OR WASTEWATER LINE THAT IS LESS THAN 12 INCHES. WATER AND WASTEWATER LINES THAT ARE 12 INCHES AND GREATER REQUIRE TREES TO BE PLANTED A MINIMUM OF TEN (10) FEET FROM THE CENTERLINE OF THE PIPE. TREES MUST BE (5) FEET FROM ALL UTILITIES.
 - ALL PARKING SPACES ARE WITHIN 80' OF A TREE
 - ALL LANDSCAPE SHALL BE PROVIDED W/ PHASE 1 CONSTRUCTION

CITY OF ROCKWALL CASE NUMBER:	
LEGAL DESCRIPTION AND OR ADDRESS:	
DAVID HARR SURVEY, ABSTRACT # 102, ROCKWALL, COUNTY, TEXAS, CONVEYED FROM JO ANN ATHEY, GUARDIAN TO ADD REAL ESTATE, LTD.	
OWNER	
Mr. Frank Conzelmann Texas Products, LLC 3925 Ruger Dr. Rockwall, TX 75087	
APPLICANT	
Carroll Architects, Inc. 750 E. Interstate 30 #110 Rockwall, TX 75087 P: 972-732-6085 E: jcarroll@carrollarch.com ATTN: Jeff Carroll	
SITE PLAN SIGNATURE BLOCK	
APPROVED:	
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the _____ day of _____, 2024.	
WITNESS OUR HANDS, this _____ day of _____, 2024.	
_____ Mayor of Planning and Zoning	

NEW OFFICE/WAREHOUSE FOR
TEXAS PRODUCTS
CORPORATE OFFICE
1775 Airport Road
Rockwall, Texas 75087

CARROLL architects
750 E. Interstate 30
Suite 110, Rockwall, TX 75087
P: 972-732-6085
F: 972-732-8058

LANDSCAPE
SITE PLAN

DATE: MAR 2024
PROJECT NO: 2023083
DRAWN BY: ZJ
CHECKED BY:

A100

DATE: FEB 2024

SHEET NO.

PROJECT NO. 2023083

DRAWN BY: ZJ

CHECKED BY:

James F. Turner
Engineers, L.P.

Consulting Engineers
8200 Westpark Blvd., Suite 180
Dallas, Texas 75225
Tel: 214-750-2800
Fax: 214-750-2800
TX REGISTRATION # 10349 Job # 25906

JFTE

TMN/TMN

QC/ADP/UBM/TMN

PHOTOMETRIC PLAN

CARROLL architects

750 E. Interstate 30
Suite 110
Rockwall, TX 75087
P: 972-732-6085
F: 972-732-8058

NEW OFFICEWAREHOUSE FOR
TEXAS PRODUCTS
CORPORATE OFFICE
1775 Airport Road
Rockwall, Texas 75087

ISSUE:

SITE PLAN: 03-16-2024

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Calculation Summary				
GRADE Planar				
Calc. Height (ft.)	0			
Units				
Avg	0.46			
Max	7.0			
Min	0.0			
Avg/Min				
N.A.				

CITY OF ROCKWALL CASE NUMBER: SP2024-012

LEGAL DESCRIPTION AND OR ADDRESS: DAWD HARR SURVEY, ABSTRACT # 102, ROCKWALL, COUNTY, TEXAS, GUARDIAN TO ADD REAL ESTATE, LTD.

OWNER: Mr. Frank Conselman
Rouse Products, LLC
3925 Ruger Dr.
Rockwall, TX 75087

APPLICANT: Carroll Architects, INC.
750 E. Interstate 30 #110
Rockwall, TX 75087
P: 972-732-6085
E: jcarroll@carrollarch.com
ATTN: Jeff Carroll

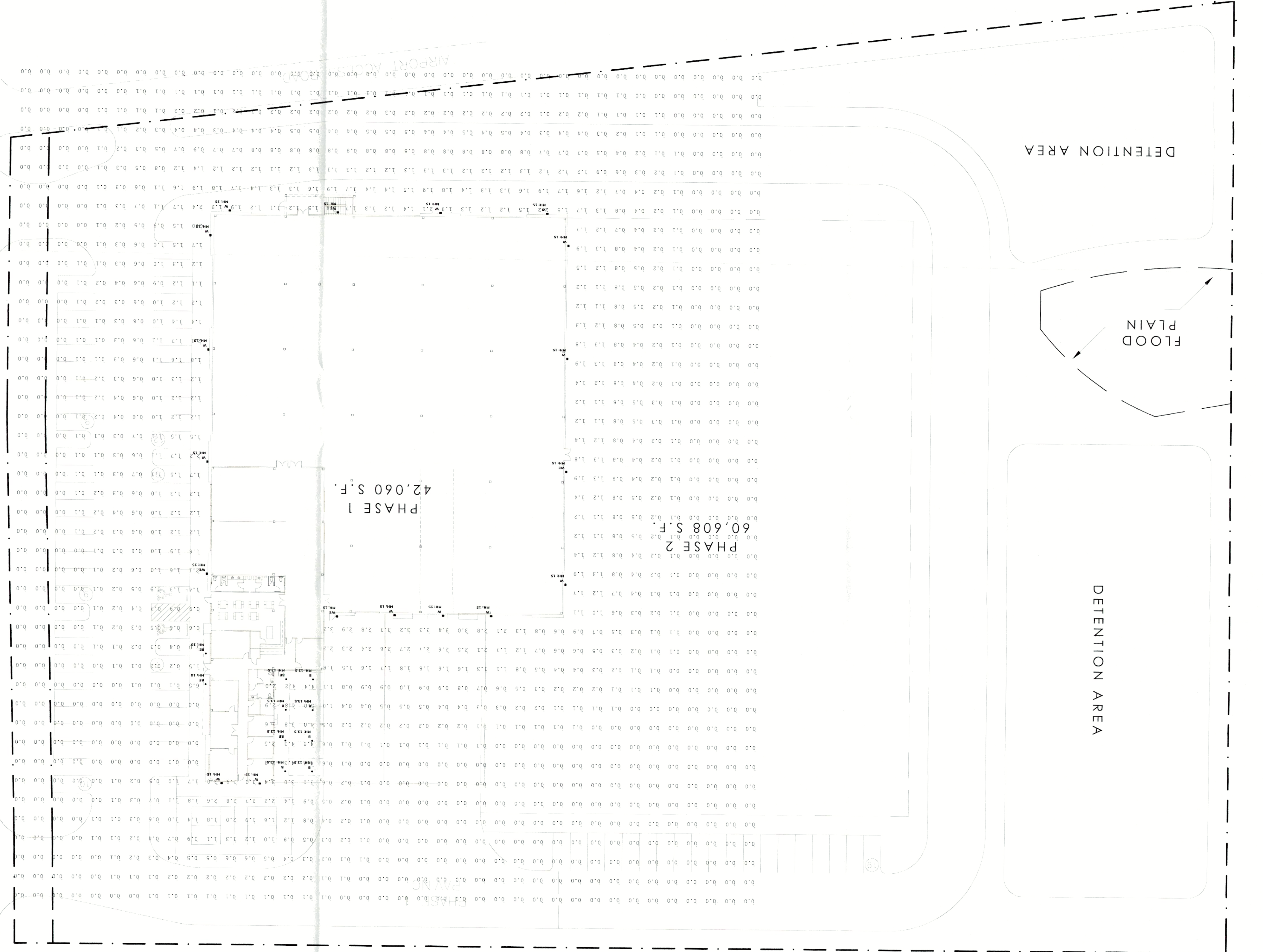
SITE PLAN SIGNATURE BLOCK: APPROVE: I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the _____ day of _____, 2024.

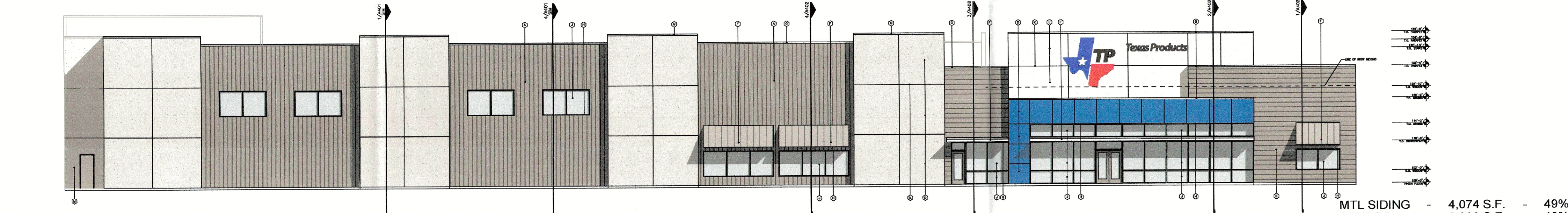
WITNESSES OUR HANDS this _____ day of _____, 2024.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

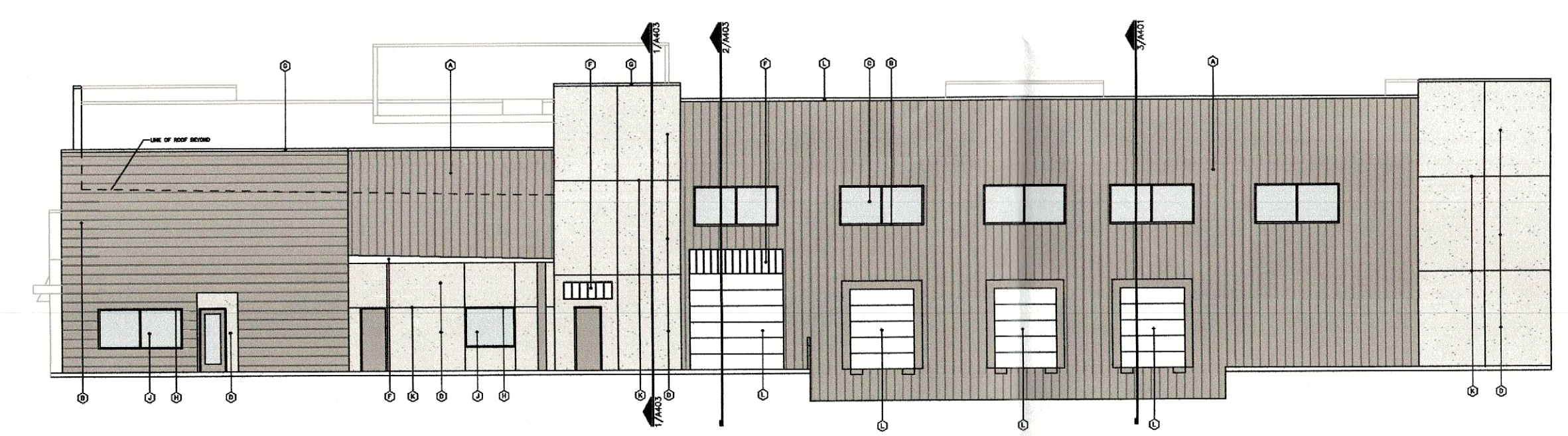
User Defined Factor	
Light Lost Factor	0.850
Ballast Factor	1.000
Total Input Watts	46,659
Total Lumen Output	1047
LITHONIA WDG2Z LED P4 40K 80CRI T4M MVOLT FINISH	4177
BE & WE PROVIDED WITH INTEGRAL 90 MINUTE EMERGENCY BATTERY BACKUP	





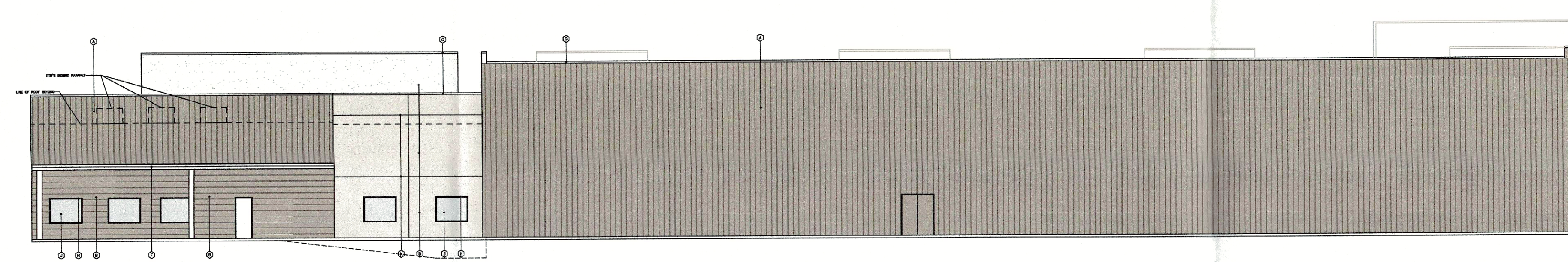
MTL SIDING - 4,074 S.F. - 49%
STUCCO - 3,900 S.F. - 46%
ALUCOBOND - 410 S.F. - 5%
TOTAL - 8,384 S.F. - 100%

1 SOUTH ELEVATION
SCALE: 1/16" = 1'-0"



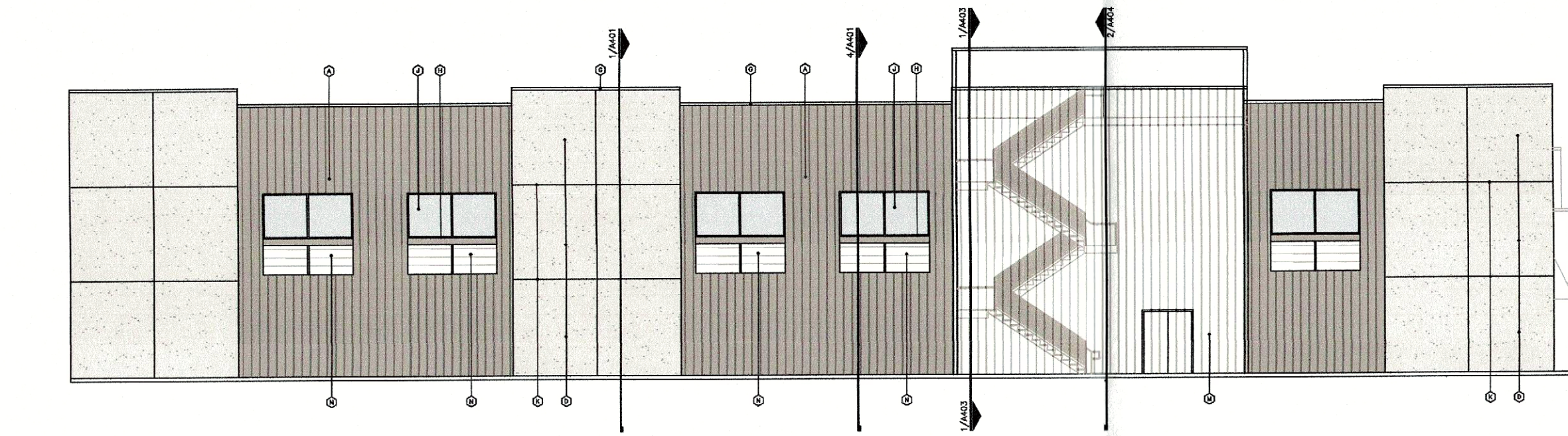
MTL SIDING - 3,771 S.F. - 74%
STUCCO - 1,329 S.F. - 26%
TOTAL - 5,100 S.F. - 100%

2 EAST ELEVATION
SCALE: 1/16" = 1'-0"



MTL SIDING - 8,416 S.F. - 92%
STUCCO - 744 S.F. - 8%
TOTAL - 9,160 S.F. - 100%

3 NORTH ELEVATION
SCALE: 1/16" = 1'-0"



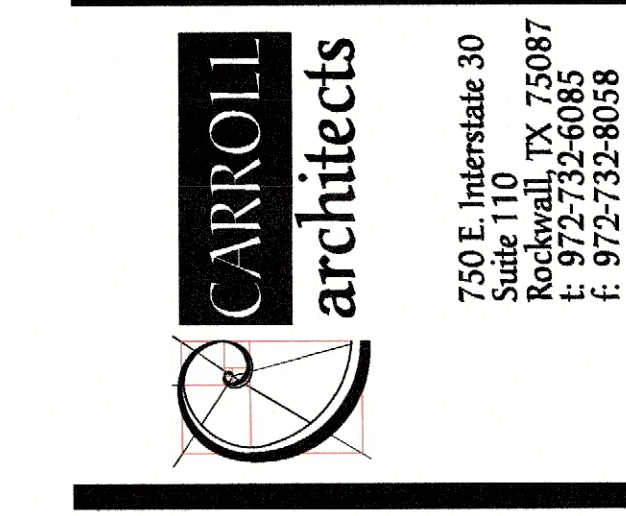
MTL SIDING - 2,407 S.F. - 41%
STUCCO - 2,193 S.F. - 37%
MTL SCREEN - 1,332 S.F. - 22%
TOTAL - 5,932 S.F. - 100%

4 WEST ELEVATION
SCALE: 1/16" = 1'-0"

CITY OF ROCKWALL CASE NUMBER: SP2024-012
LEGAL DESCRIPTION AND OR ADDRESS: DAVID HARR SURVEY, ABSTRACT # 102, ROCKWALL, COUNTY, TEXAS, CONVEYED FROM JO ANN ATHEY, GUARDIAN TO ADD REAL ESTATE, LTD.
OWNER: Mr. Frank Connelton, Texas Products, LLC, 3925 Rugar Dr., Royse City, TX 75189
APPLICANT: Carroll Architects, Inc., 750 E. Interstate 30 #110, Rockwall, TX 75087, P: 972-732-8085, E: k@carrollarch.com, ATTN: Jeff Carroll
SITE PLAN SIGNATURE BLOCK: APPROVED: I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on this 29th day of March, 2024. Planning & Zoning Commission, Chairman, Mayor of Planning and Zoning

EXTERIOR FINISH SCHEDULE
A EXTERIOR METAL SIDING PANELS, VERTICAL, COLOR = BLACK
B EXTERIOR METAL SIDING PANELS, HORIZONTAL, COLOR = BLACK
C ALUCOBOND METAL PANEL, SIZE AS SHOWN, COLOR INTERSTATE BLUE - MFG PAC-CLAD
D STUCCO, (3 PART SYSTEM) W/ ELASTOMERIC FINISH COAT - COLOR - SW 9163 TIN LIZZE
E STUCCO, (3 PART SYSTEM) W/ ELASTOMERIC FINISH COAT - COLOR - SW 7661 REFLECTION @ LOGO PANEL
F AWNINGS, PREFINISHED MTL. AWNINGS PANELS, COLOR - GREY
G PREFINISHED METAL COPING COLOR - GREY
H ALUMINUM STOREFRONT, COLOR - ANODIZED ALUM
J GLAZING, DOUBLE PANE INSULATED, LOW E GLASS W/ WINDOW TINTED @ 20% = BLUE
K STUCCO, CONTROL JOINTS AS SHOWN
L OVERHEAD SECTIONAL DOOR, COLOR - MED GREY
M STAIR SCREEN
N METAL VENTS, COLOR = BLACK

NEW OFFICE/WAREHOUSE FOR
TEXAS PRODUCTS
CORPORATE OFFICE
1775 Airport Road
Rockwall, Texas 75087

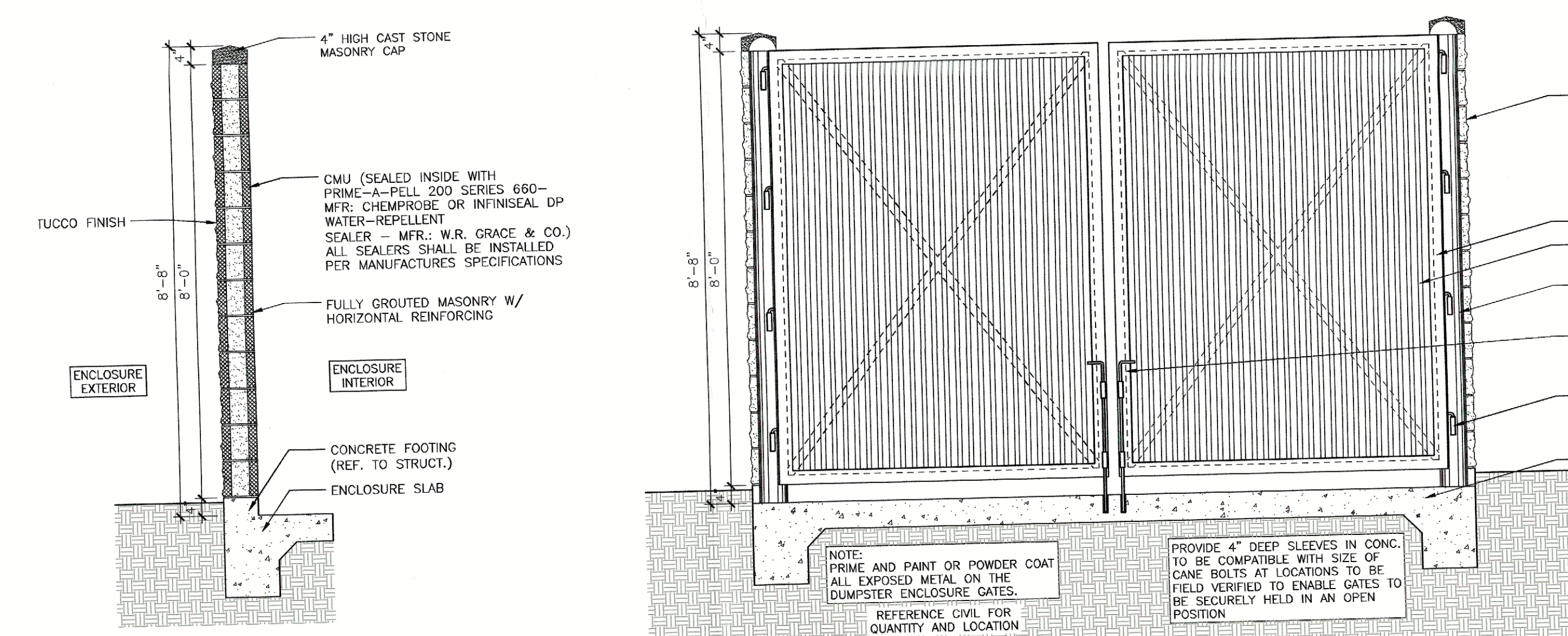


EXTERIOR
ELEVATIONS

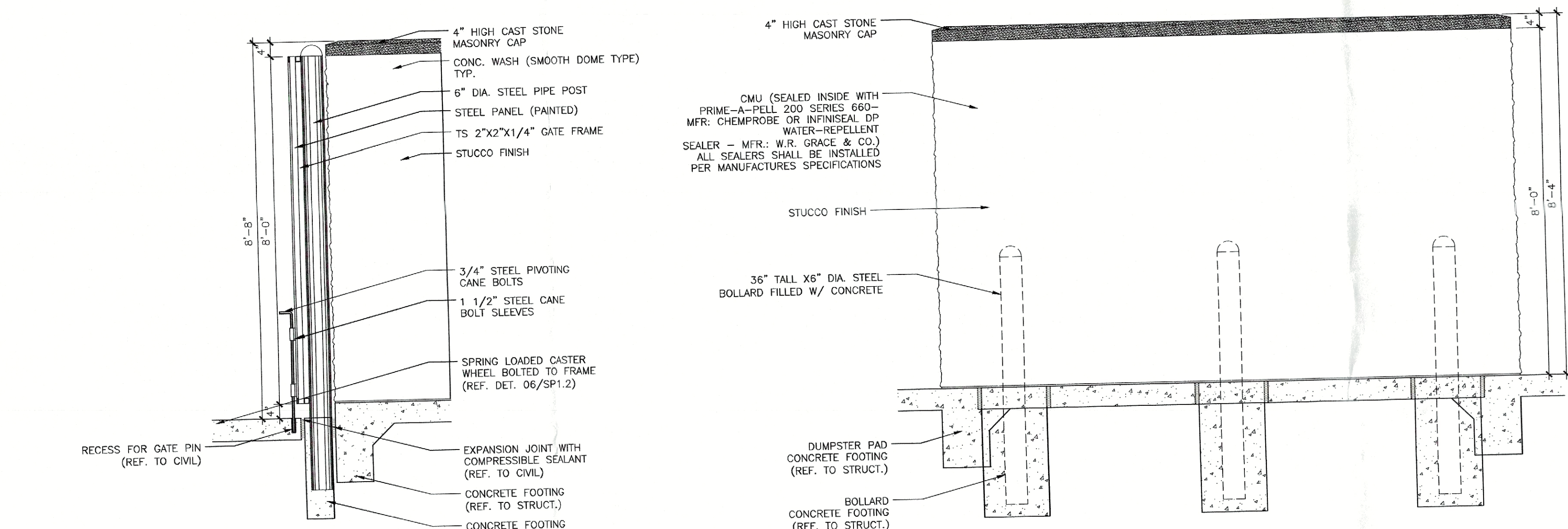
DATE: MAR 2024
SHEET NO: 2023083
PROJECT NO: A501
DRAWN BY: ZJ
CHECKED BY:

CONCRETE NOTES:
1. ALL MECHANICAL EQUIPMENT IS BEHIND PARAPET WALLS
2. ALL PARAPET WALLS WILL BE FINISHED ON BACK SIDE

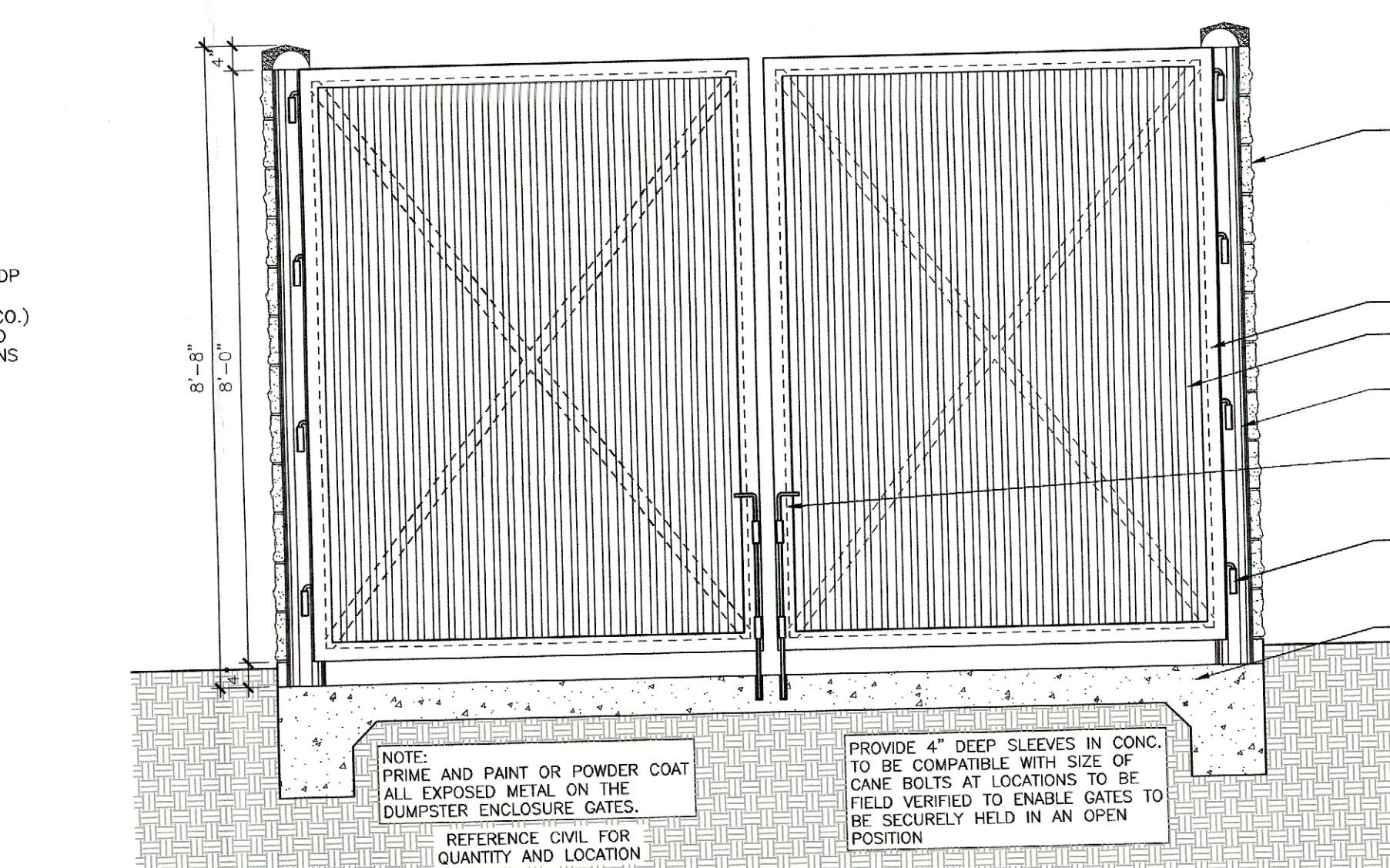
ISSUE: 03-15-2024
OWNER REVIEW: 03-20-2024



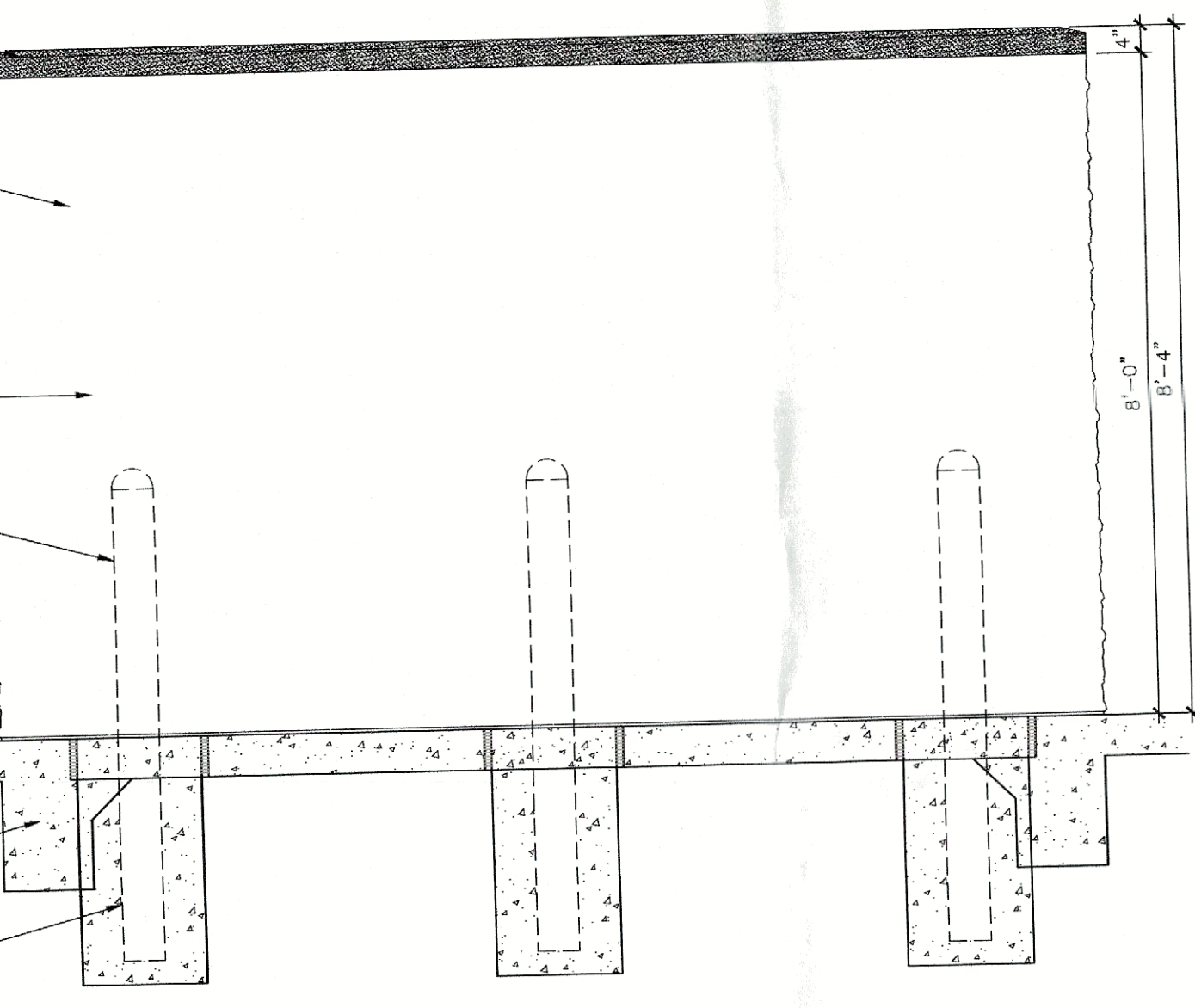
3 WALL SECTION @ DUMPSTER ENCLOSURE
SCALE: 1/2" = 1'-0"



6 GATE SECTION @ DUMPSTER ENCLOSURE
SCALE: 1/2" = 1'-0"

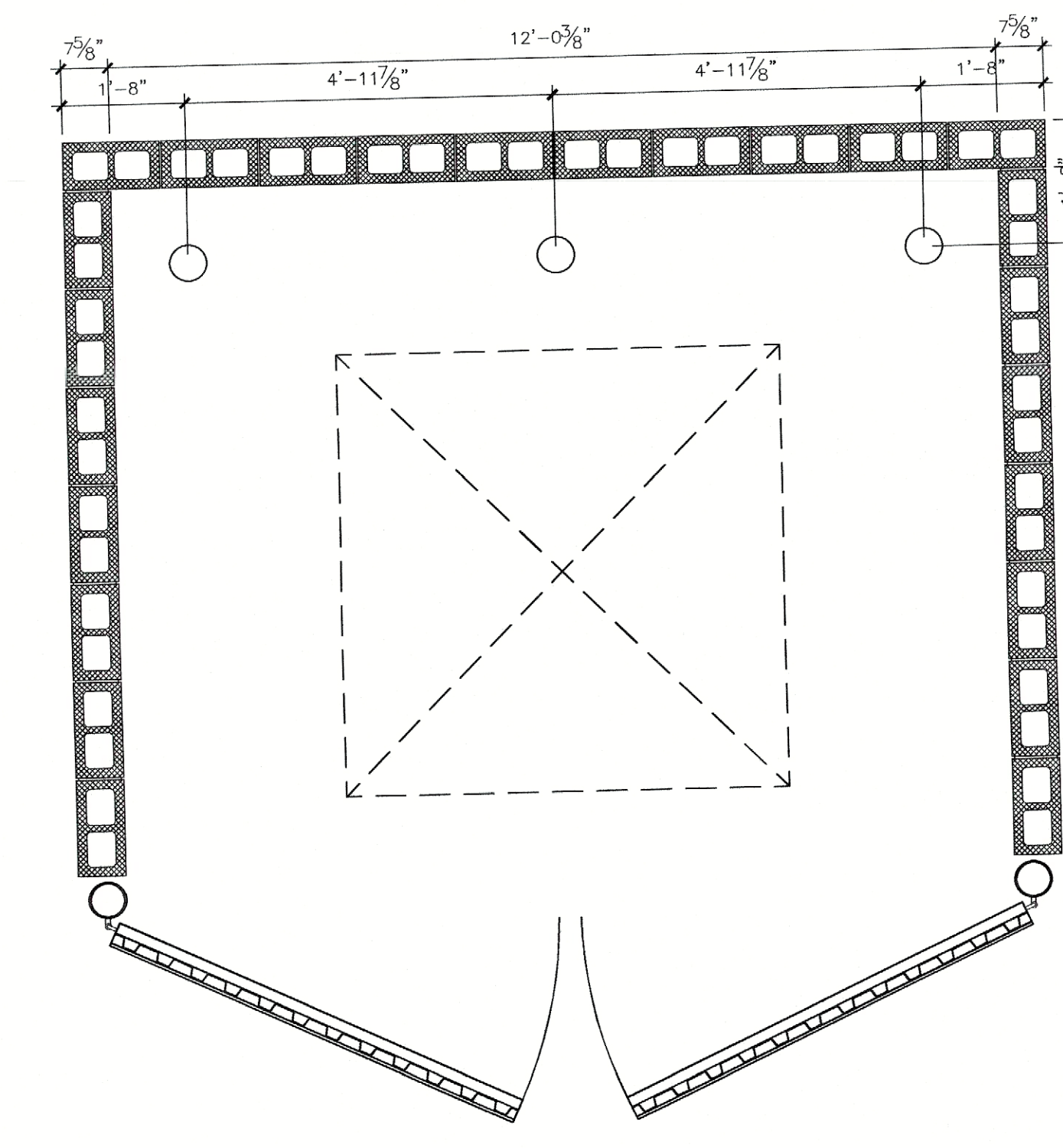


2 DUMPSTER ENCLOSURE FRONT ELEVATION
SCALE: 1/2" = 1'-0"

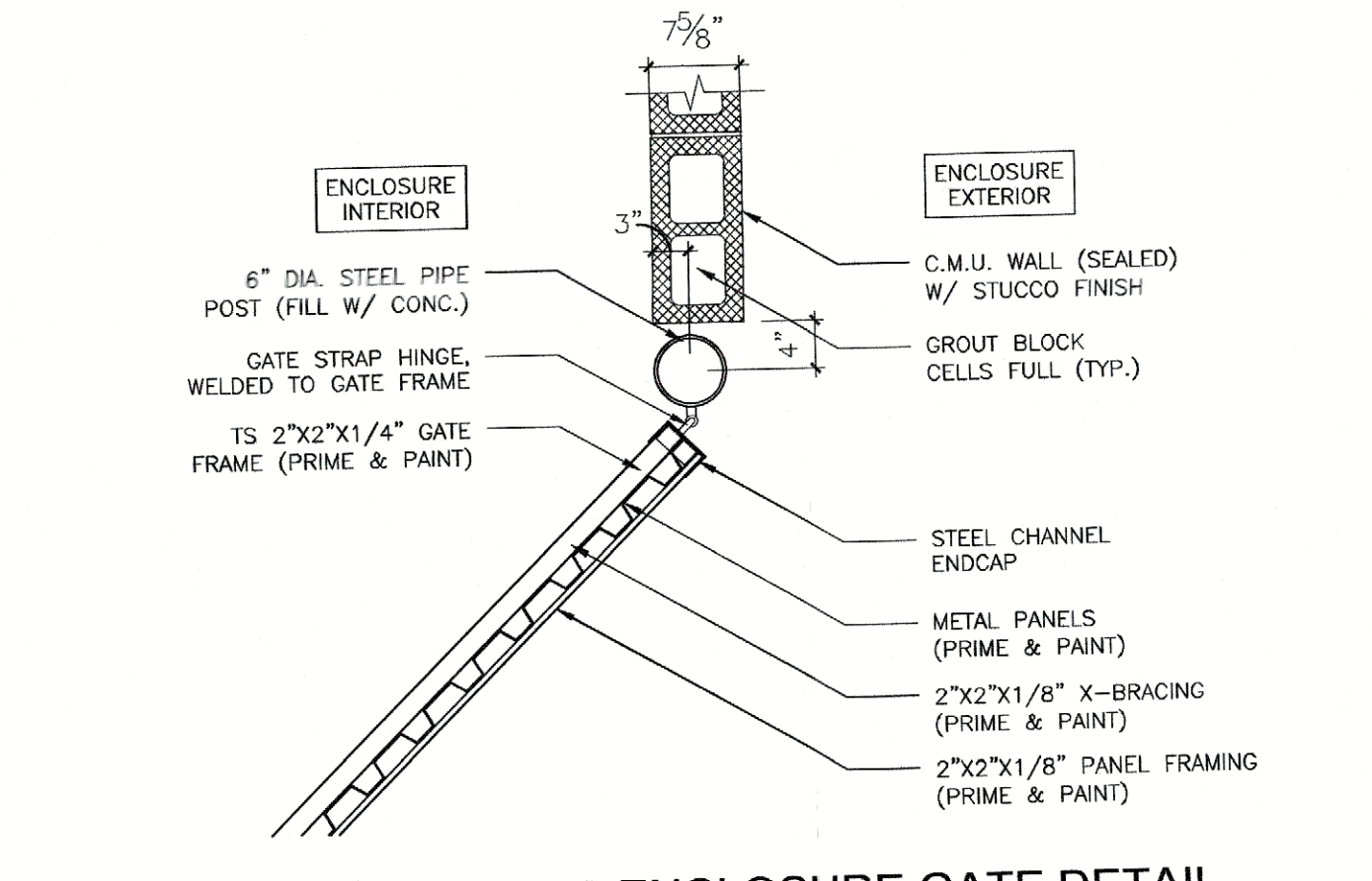


5 DUMPSTER ENCLOSURE REAR ELEVATION
SCALE: 1/2" = 1'-0"

8 BOLLARD DETAIL @ DUMPSTER
SCALE: 1/2" = 1'-0"



1 DUMPSTER ENCLOSURE ENLARGED PLAN
SCALE: 1/2" = 1'-0"



7 DUMPSTER ENCLOSURE GATE DETAIL
SCALE: 3/4" = 1'-0"

CITY OF ROCKWALL CASE NUMBER: SP2024-012
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DATE: MAR 2024
PROJECT NO: 2023083
DRAWN BY: ZJ
CHECKED BY:
SHEET NO: A203

NEW OFFICE/WAREHOUSE FOR
TEXAS PRODUCTS
CORPORATE OFFICE
1775 Airport Road
Rockwall, Texas 75087

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