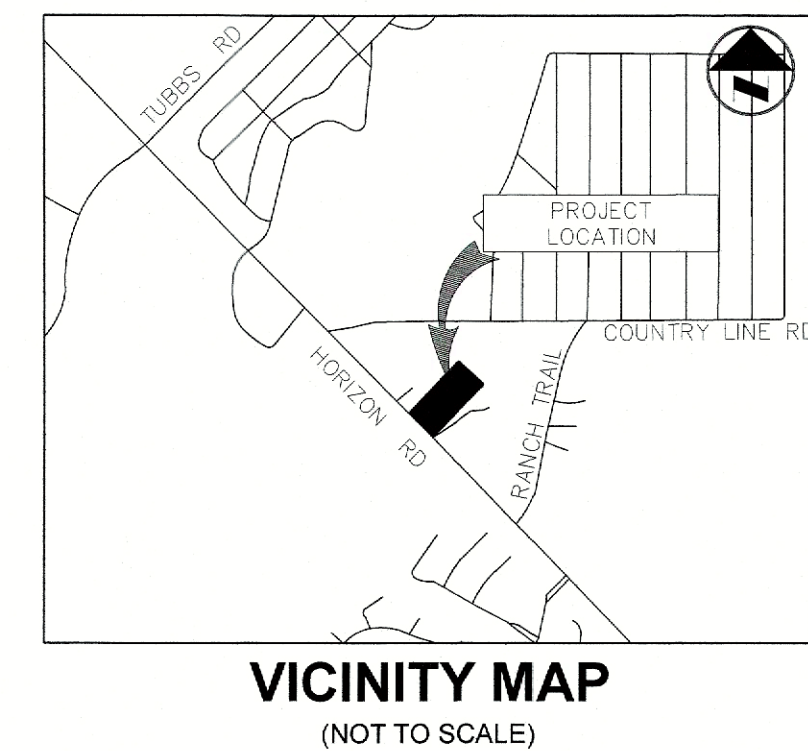
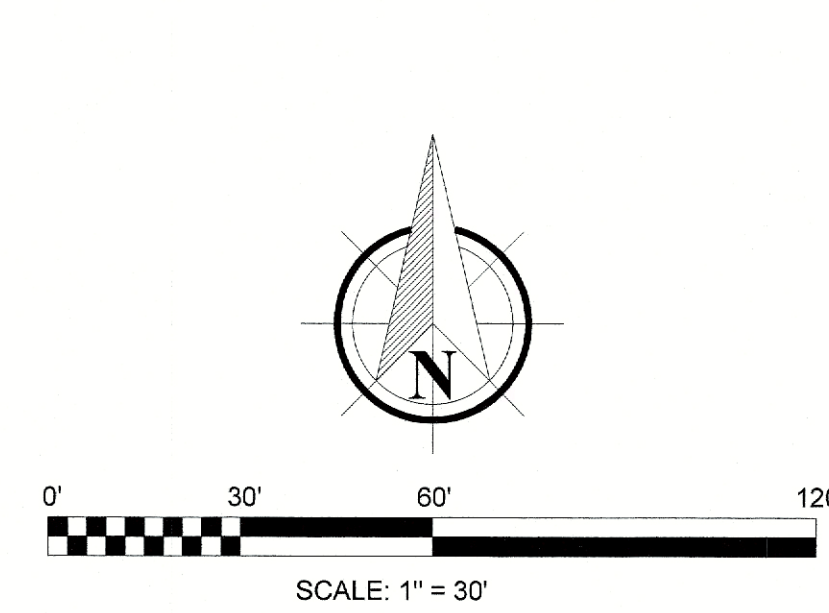
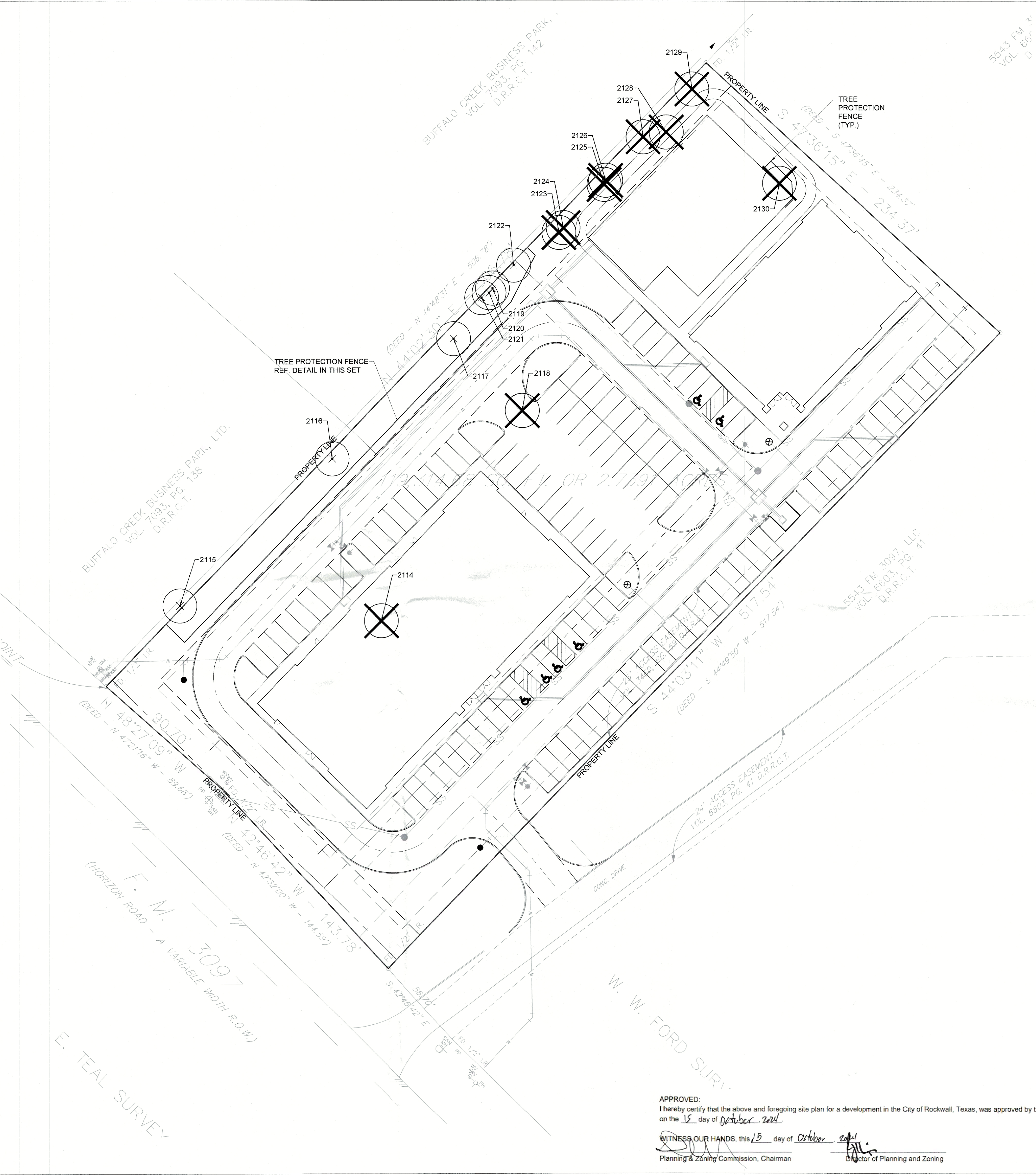


ARTICULATION EXHIBIT

SCALE: 1/8" = 1'-0"



BGE, INC. THIS DOCUMENT, TOGETHER WITH THE CONCEPTS AND DESIGNS PRESENTED HEREIN, AS AN INSTRUMENT OF SERVICE, IS INTENDED ONLY FOR THE SPECIFIC PURPOSE AND CLIENT FOR WHICH IT WAS PREPARED. REUSE OF AND IMPROPER RELIANCE ON THE DOCUMENT WITHOUT WRITTEN AUTHORIZATION AND ADAPTATION BY BGE, INC. SHALL BE WITHOUT LIABILITY TO BGE, INC. (C:\Users\BGE\Documents\Projects\Rockwall\Rockwall Commercial Offices\SP2024-040\SP2024-040.dwg - Tree Preservation Plan.dwg Oct 08, 2024 11:41 from author)



LEGEND

PRESERVED TREE

TREE TO BE REMOVED

TREE PROTECTION FENCE

TAG#	COMMON NAME	DBH	STATUS	TREE HEALTH	DISEASE	INSECT	STRUCTURAL	MITIGATION INCHES
2114	Hercules Club	4"	Demo	4	N	N	N	4
2115	Sugarberry	11"	Remain	2	Y	N	N	0
2116	Sugarberry	14.5"	Remain	4	N	N	N	0
2117	Sugarberry	18"	Remain	4	N	N	N	0
2118	Sugarberry	25"	Demo	4	N	N	N	0
2119	Sugarberry	16.5"	Remain	4	N	N	N	0
2120	Sugarberry	11.5"	Remain	4	N	N	N	0
2121	Sugarberry	16"	Remain	4	N	N	N	0
2122	Sugarberry	16.5"	Remain	4	N	N	N	0
2123	Sugarberry	23"	Demo	4	N	N	N	0
2124	Sugarberry	15"	Demo	4	N	N	N	0
2125	Sugarberry	14"	Demo	4	N	N	N	0
2126	Eastern Red Cedar	11"	Demo	4	N	N	N	4
2127	Sugarberry	23"	Demo	4	N	N	N	0
2128	Sugarberry	13"	Demo	4	N	N	N	0
2129	Sugarberry	22"	Demo	4	N	N	N	0
2130	Hercules Club	7"	Demo	4	N	N	N	7
TOTAL MITIGATION INCHES								15

TOTAL SITE AREA
119,354 SF (2.73 AC)

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the 15 day of October, 2024.

WITNESS OUR HANDS, this 15 day of October, 2024.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

SITE PLAN
CASE NUMBER: SP2024-040
HORIZON ROAD COMMERCIAL OFFICES
2.7391 ACRES (119316 SF.) BEING SITUATED IN
THE W.W FORD SURVEY, ABSTRACT NO. 80
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS
SUBMITTED: SEPTEMBER 13, 2024
RESUBMITTED: OCTOBER 1, 2024

BGE, Inc.
2595 Dallas Parkway, Suite 101
Frisco, TX 75034
Tel: 972-464-4800 • www.bgeinc.com
TBPE Registration No. F-1046
Copyright 2024

DEVELOPER
PLATINUM CONSTRUCTION
1450 TL TOWNSEND DR. STE 100
ROCKWALL, TX 75032
TEL: (469) 222-1597
CONTACT: SHAWN VALK

OWNER
SARO PARTNERS LLC
1450 S. T L TOWNSEND
ROCKWALL, TX 75302
TEL: (000) 000-0000
CONTACT: JAY KANTER

CITY SUBMITTAL SET

TREE PRESERVATION PLAN

HORIZON RD. COMMERCIAL OFFICES
W.W FORD SURVEY, ABSTRACT NO. 80, TRACT 26-4
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

THESE PLANS ARE ISSUED FOR THE PURPOSE OF PRELIMINARY REVIEW AND ARE NOT INTENDED FOR CONSTRUCTION. WHEN ISSUED IN FINAL FORM THEY WILL BE SEALED, SIGNED AND DATED.

RESPONSIBLE LANDSCAPE ARCHITECT:
MICHAEL STOTTLE, P.L.A.
TEXAS REGISTRATION NO. 3743
BGE, INC.
TEXAS REGISTERED ENGINEERING FIRM F-1046
10/8/2024

!CAUTION !
Contractor to Verify exact location & Depth of Exist Facilities Prior to any Construction Activities

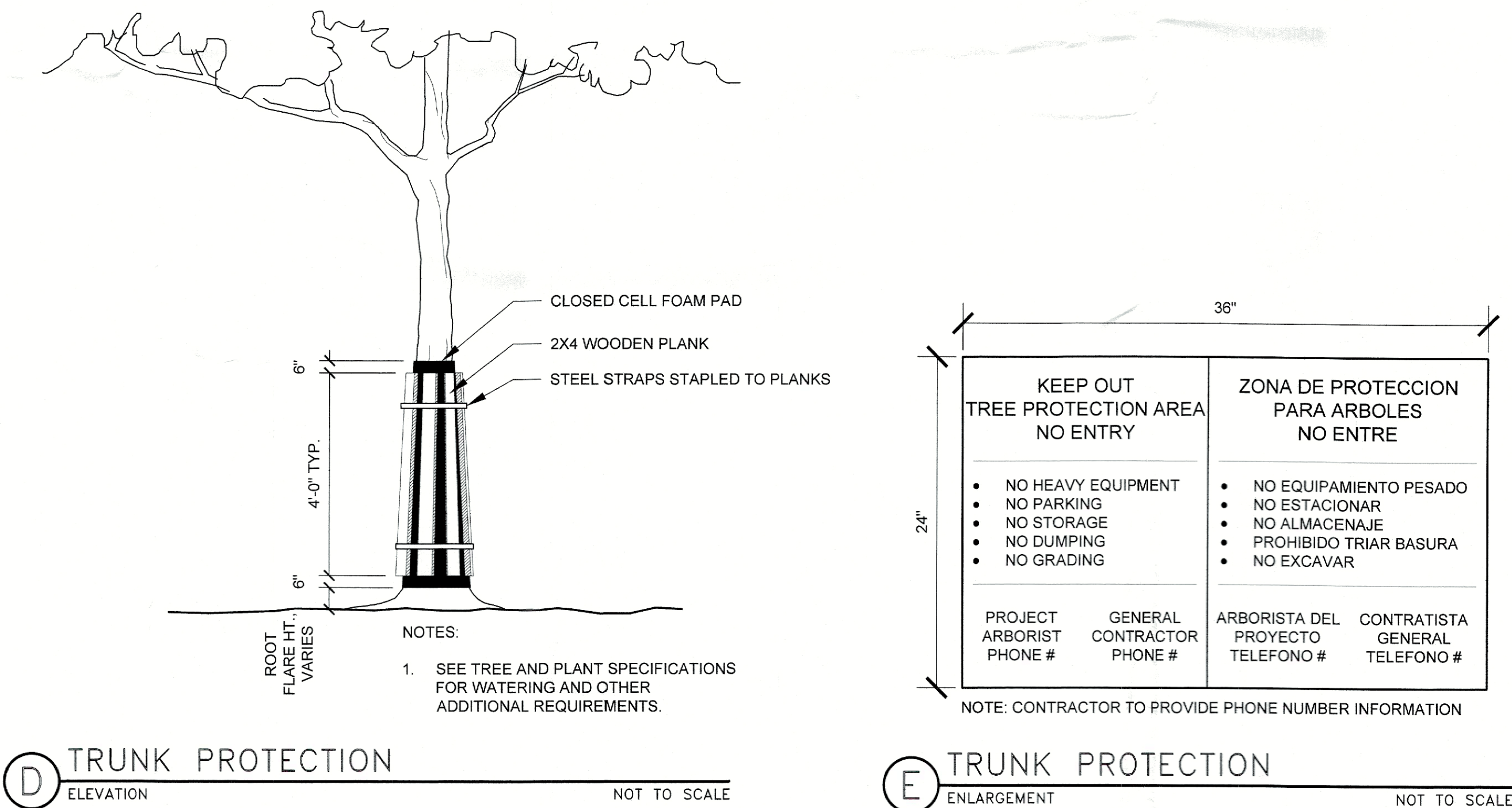
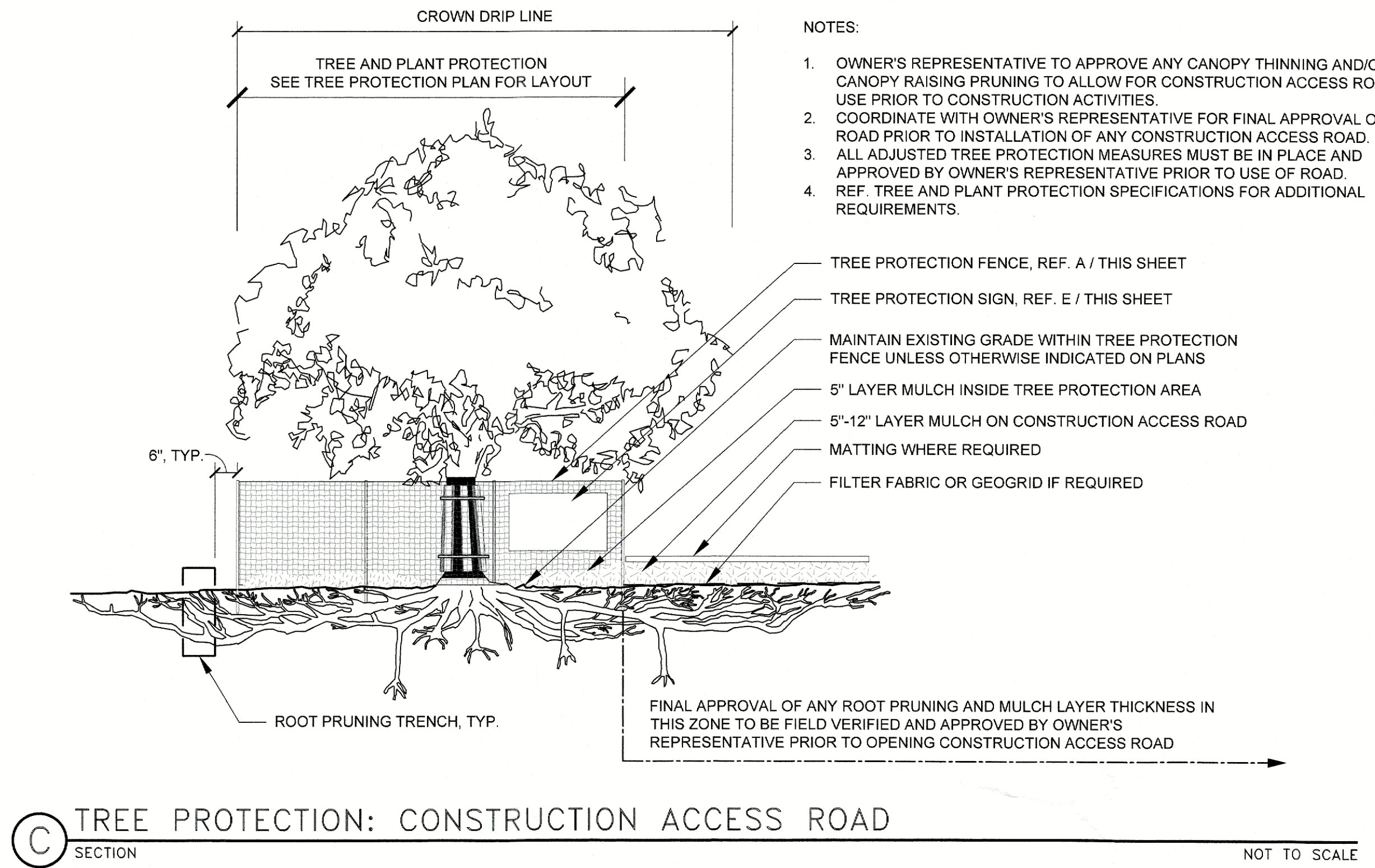
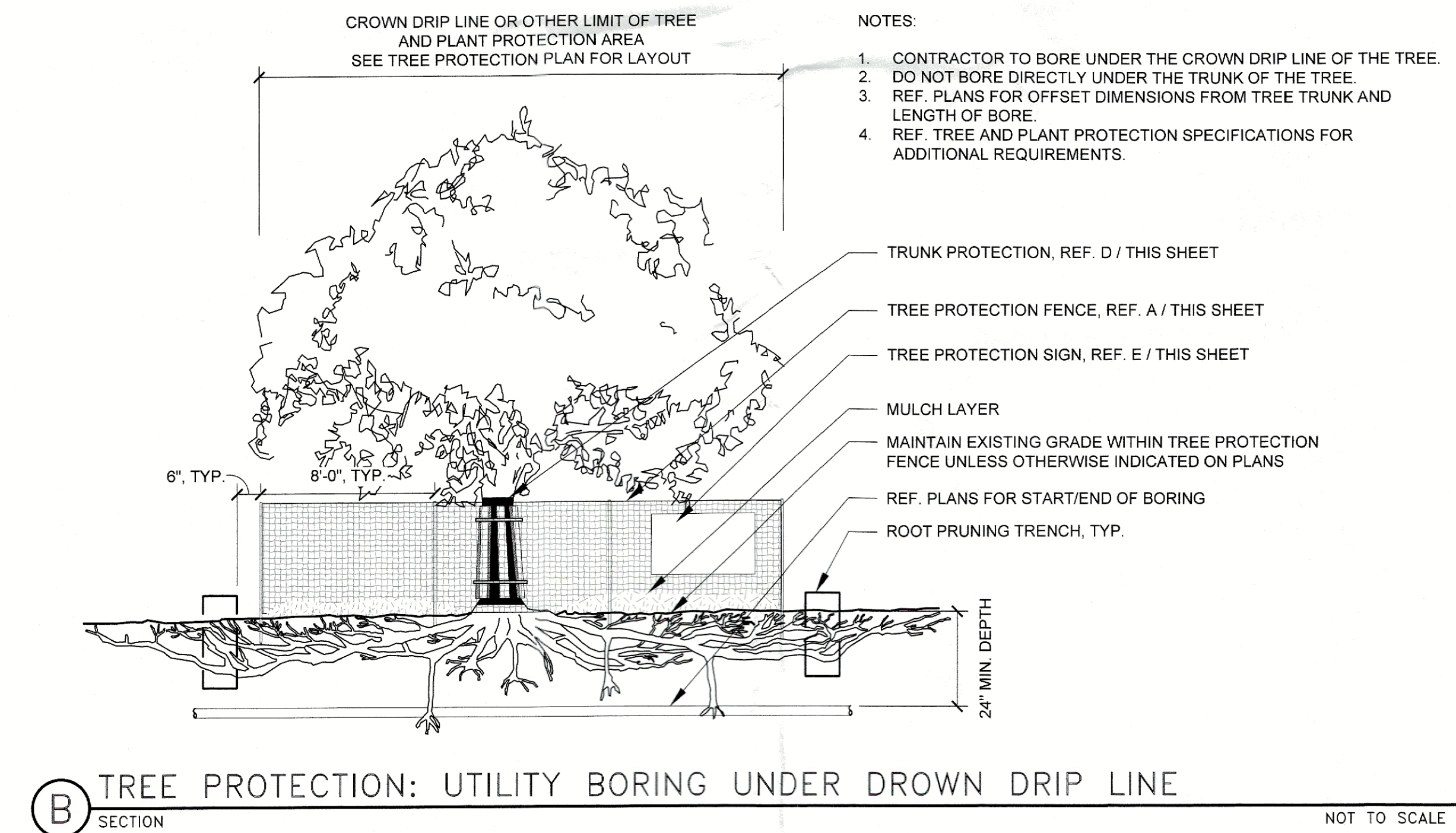
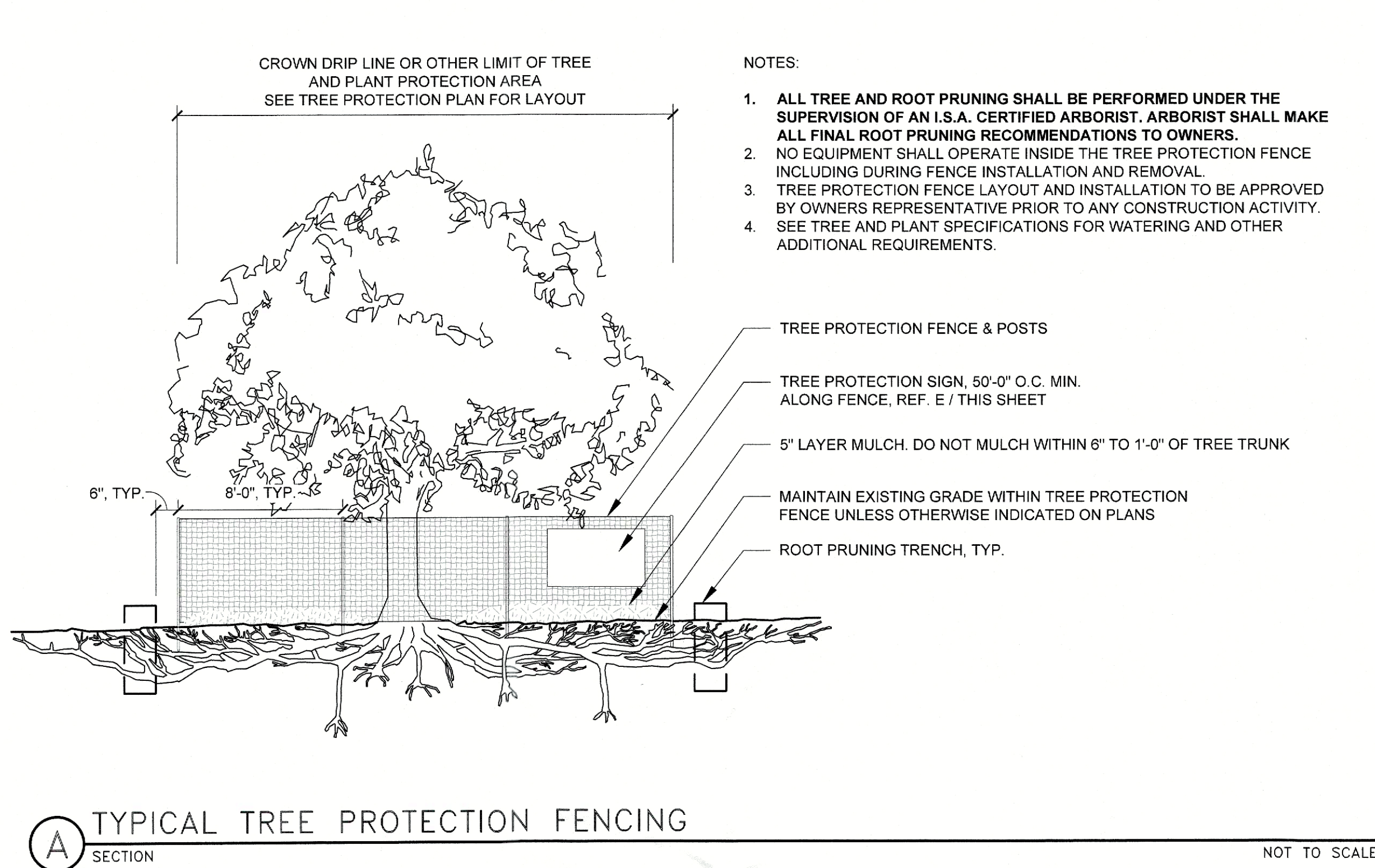
CAUTION !!!
CONTACT: 1-800-DIG-TESS
48 HOURS PRIOR TO CONSTRUCTION

REVISIONS		
REV NO.	DATE	DESCRIPTION

CHECKED BY: MLS
DESIGNED BY: NPS
DATE: 10/8/2024
PROJECT NUMBER: 13185-00

SHEET NO
L1.00
TREE PRESERVATION PLAN

BGE, INC.
THIS DOCUMENT, TOGETHER WITH THE CONCEPTS AND DESIGNS PRESENTED HEREIN, AS AN INSTRUMENT OF SERVICE, IS INTENDED ONLY FOR THE SPECIFIC PURPOSE AND CLIENT FOR WHICH IT WAS PREPARED. REUSE OF AND IMPROPER RELIANCE ON THIS DOCUMENT WITHOUT WRITTEN AUTHORIZATION AND ASSUMPTION BY BGE, INC. SHALL BE WITHOUT LIABILITY TO BGE, INC.
C:\Users\BGE\OneDrive\Documents\BGE\Projects\Rockwall\Rockwall Commercial Offices\Tree Preservation\Tree Preservation.dwg Oct 08, 2024 11:50am mld/ldf



APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the 15 day of October 2024.

WITNESS OUR HANDS, this 15 day of October 2024.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

SITE PLAN
CASE NUMBER: SP2024-040
HORIZON ROAD COMMERCIAL OFFICES
2.7391 ACRES (119316 SF.) BEING SITUATED IN
THE W.W FORD SURVEY, ABSTRACT NO. 80
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS
SUBMITTED: SEPTEMBER 13, 2024
RESUBMITTED: OCTOBER 1, 2024



BGE, Inc.
2595 Dallas Parkway, Suite 101
Frisco, TX 75034
Tel: 972-464-4800 • www.bgeinc.com
TBPE Registration No. F-1046
Copyright 2024

DEVELOPER
PLATINUM CONSTRUCTION
1450 TL TOWNSEND DR. STE 100
ROCKWALL, TX 75032
TEL: (469) 222-1597
CONTACT: SHAWN VALK

OWNER
SARO PARTNERS LLC
1450 S. T L TOWNSEND
ROCKWALL, TX 75302
TEL: (000) 000-0000
CONTACT: JAY KANTER

CITY SUBMITTAL SET

TREE PRESERVATION DETAILS

HORIZON RD. COMMERCIAL OFFICES
W.W FORD SURVEY, ABSTRACT NO. 80, TRACT 26-4
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

THESE PLANS ARE ISSUED FOR THE PURPOSE OF PRELIMINARY REVIEW AND ARE NOT INTENDED FOR CONSTRUCTION. WHEN ISSUED IN FINAL FORM THEY WILL BE SEALED, SIGNED AND DATED.

RESPONSIBLE LANDSCAPE ARCHITECT:
MICHAEL STOTTLER, PLA
TEXAS REGISTRATION NO. 3743
BGE, INC.
TEXAS REGISTERED ENGINEERING FIRM F-1046
10/8/2024

CAUTION !!!
Contractor to Verify exact location & Depth of Exist Facilities Prior to any Construction Activities

CAUTION !!!
CONTACT: 1-800-DIG-TESS
48 HOURS PRIOR TO CONSTRUCTION

REV NO.	DATE	DESCRIPTION

CHECKED BY: MLS
DESIGNED BY: NPS
DATE: 10/8/2024
PROJECT NUMBER: 13185-00

SHEET NO
L1.01
TREE PRESERVATION DETAILS

1. VERIFY SITE INFORMATION, INCLUDING PROPERTY LINES, EASEMENTS, BUILDINGS, ROADWAY CURBS AND GUTTERS, UTILITIES AND OTHER INFORMATION AFFECTING THE SCOPE OF WORK INCLUDED ON THESE DRAWINGS. MORE SPECIFIC UTILITY INFORMATION IS INDICATED ON THE OTHER DRAWINGS, THE CIVIL DRAWINGS, AND SITE RECORD DRAWINGS AVAILABLE FROM THE OWNER. THE CONTRACTOR SHALL CONTACT THE OWNER AND THE LANDSCAPE ARCHITECT FOR DIRECTION ON HOW TO PROCEED IF ACTUAL SITE CONDITIONS VARY FROM WHAT IS SHOWN ON THE CIVIL ENGINEER'S OR LANDSCAPE ARCHITECT'S PLANS.
2. THE CONTRACTOR SHALL NOTIFY LOCAL AUTHORITIES AND THE GENERAL CONTRACTOR FOR LOCATION OF EXISTING UNDERGROUND UTILITIES. EXCAVATE AS NECESSARY TO CONFIRM LOCATIONS PRIOR TO EXCAVATION.
3. EXCAVATION IN THE VICINITY OF UTILITIES SHALL BE UNDERTAKEN WITH CARE. THE CONTRACTOR BEARS FULL RESPONSIBILITY FOR THIS WORK. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL SITE UTILITIES PRIOR TO BEGINNING EXCAVATION. ANY DAMAGE TO UTILITIES THAT ARE TO REMAIN CAUSED BY ANY PERSON, VEHICLE, EQUIPMENT, OR TOOL RELATED TO THE EXECUTION OF THE CONTRACT SHALL BE REPAIRED IMMEDIATELY AT NO EXPENSE TO THE OWNER.
4. CONTRACTOR TO VERIFY CONSTRUCTION COMPLIANCE WITH AMERICANS WITH DISABILITIES ACT (ADA) OF 1990, AS AMENDED, THE ADA ACCESSIBILITY GUIDELINES (ADAAG) OF 2004, AS AMENDED, AND THE TEXAS ACCESSIBILITY STANDARDS, AS AMENDED. NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES.
5. CONTRACTOR TO PROVIDE NECESSARY EROSION CONTROL MEASURES AS NEEDED.
6. ALL CONSTRUCTION WILL CONFORM TO THESE PLANS AND SPECIFICATIONS. ALL CONSTRUCTION WILL ALSO CONFORM TO ALL RELEVANT CITY STANDARDS AND SPECIFICATIONS.

1. CONTRACTOR TO VERIFY LOCATIONS OF EXISTING UTILITIES AND UNLESS NOTED OTHERWISE, MAINTAIN THEM IN OPERATION DURING CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO UTILITIES.
2. REFERENCE CIVIL DRAWINGS FOR LIMITS OF REQUIRED DEMOLITION.
3. CONTRACTOR SHALL TAKE CARE TO MINIMIZE DISTURBANCE TO EXISTING TREE TRUNKS AND ROOT SYSTEMS. ALL DEMOLITION ADJACENT TO EXISTING TREES SHALL BE COMPLETED USING HAND TOOLS, NO LARGE EQUIPMENT OR ANY EQUIPMENT WITH TRACKS SHALL BE ALLOWED TO WORK UNDER THE DRIPE LINE OF ANY EXISTING TREES TO REMAIN. THERE SHALL BE NO STORAGE OF MATERIAL OR PARKING WITHIN THE DRIPE LINE OF EXISTING TREES TO REMAIN.
4. SITE BASE INFORMATION (BOUNDARIES, UTILITIES, TOPOGRAPHY & STRUCTURES) ARE SHOWN AS PROVIDED BY SURVEYOR. CONTRACTOR SHALL VERIFY GRADES, UTILITIES AND SITE CONDITIONS PRIOR TO BEGINNING CONSTRUCTION. BGE, INC ASSUMES NO LIABILITY FOR THE ACCURACY OF THIS SURVEY INFORMATION.
5. DURING DEMOLITION THE CONTRACTOR SHALL EXERCISE CAUTION NOT TO DAMAGE THE EXISTING FEATURES THAT ARE TO REMAIN INSIDE AND OUTSIDE OF THE PROJECT CONSTRUCTION AREA. DAMAGE RESULTING FROM CONTRACTOR'S WORK SHALL BE REPAIRED AND RESTORED TO THE COMPLETE SATISFACTION OF THE OWNER AT THE EXPENSE OF THE CONTRACTOR. UTILITIES AND THEIR CONTINUATION THROUGH DEMOLISHED AREAS ARE TO REMAIN IN PLACE. PROTECT AS REQUIRED. DEMOLISH UTILITIES ONLY IF SHOWN ON THESE OR ARCHITECT/ENGINEERS DRAWINGS.
6. CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFICATION OF ALL AREAS TO BE DEMOLISHED AS A PART OF THIS CONTRACT. CONDITIONS VARYING FROM THESE PLANS & SPECIFICATIONS MUST BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE LANDSCAPE ARCHITECT. CLEARLY MARK ALL ITEMS FOR DEMOLITION FOR LANDSCAPE ARCHITECTS APPROVAL PRIOR TO BEGINNING DEMOLITION WORK.
7. CONTRACTOR WILL BE RESPONSIBLE FOR THE REMOVAL OF ALL DESIGNATED TREES, SHRUBS & GROUND COVER PRIOR TO THE START OF NEW CONSTRUCTION. CONTRACTOR WILL BE RESPONSIBLE FOR CAPPING & ABANDONING ALL IRRIGATION LINES IN THE DEMOLITION AREA.

PLANT SCHEDULE									
SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	COND	HT	SPR	REMARKS
CANOPY TREES									
	QM	6	Quercus macrocarpa	Burr Oak	4" cal	B&B	14' ht	6' spr	Full, Straight, Single Leader
	QS	11	Quercus shumardii	Shumard Red Oak	4" cal	B&B	12' ht	5' spr	Full, Straight, Single Trunk
	QV	4	Quercus virginiana	Southern Live Oak	4" cal	B&B	12' ht	6' spr	Full, Straight, Single Trunk
	TD	8	Taxodium distichum	Bald Cypress	4" cal	B&B	12' ht	5' spr	Full, Straight, Single Trunk
	UC	4	Ulmus crassifolia	Cedar Elm	4" cal	B&B	14' ht	5' spr	Full, Straight, Single Trunk
ORNAMENTAL TREES									
	CC	7	Cercis canadensis	Eastern Redbud	2" cal	CONT	8' ht	4' spr	Full, Multi-Trunk. Ornamental trees must be minimum 4' H at time of planting per city code.
	ID	6	Ilex decidua	Possumhaw Holly	2" cal	B&B	8' ht	4' spr	Full, Multi-Trunk Ornamental trees must be minimum 4' H at time of planting per city code.
	IV	2	Ilex vomitoria	Yaupon Holly	2" cal	B&B	10' ht	4' spr	Full, Multi-Trunk. Ornamental trees must be minimum 4' H at time of planting per city code.
SHRUBS									
	HES PAR	12	Hesperaloe parviflora	Red Yucca	5 gal	CONT	24" ht	--	
	ILE CAR	8	Ilex cornuta 'Carissa'	Carissa Holly	5 gal	CONT	18" ht	--	Full, Matching,
	ILE NEL	31	Ilex x 'Nellie R. Stevens'	Nellie R. Stevens Holly	5 gal	CONT	30" ht	--	Full, Matching,
	LEU COM	133	Leucophyllum frutescens 'Compacta'	Compact Texas Sage	5 gal	CONT	24" ht	--	Full, Matching,
	SAL GRE	15	Salvia greggii	Autumn Sage	5 gal	CONT	18" ht	--	Full, Matching,
	YUC REC	20	Yucca recurvifolia	Soft Leaf Yucca	5 gal	CONT	24" ht	--	Full, Matching, 24" o.c. spacing
GRASSES									
	MUH CAP	199	Muhlenbergia capillaris	Pink Muhly	3 gal	CONT	24" ht	--	Full, Matching, 30" o.c. spacing
	NAS	143	Nassella tenuissima	Mexican Feather Grass	3 gal	CONT	18" ht	--	Full, Matching, 24" o.c. spacing
GROUND COVER									
	EFC	845	Euonymus fortunei 'Coloratus'	Purple-leaf Winter Creeper	1 gal	CONT	6" ht	6" spr	Full, 1 gallon min., 18" o.c. spacing
SEED									
	DSM	2,700 sf		Dam Slope Mix	---	---	---	---	Drill seed, Native American Seed Mix #2808, Ref. Planting Specs
	DFM	6,500 sf		Drainfield Mix	---	---	---	---	Drill seed, Native American Seed Mix #2861, Ref. Planting Specs
SOD									
	SOD	18,490 sf	Cynodon dactylon	Tif Tuf Bermuda Grass	---	---	---	---	Solid Sod, tight sand filled joints, 100% weed, disease and pest free
MISC									
	STEEL EDGE	TBD	Steel Edging		---	---	---	---	3/8" x 6", black
	MULCH	TBD	Shredded Hardwood Mulch		---	---	---	---	Min. 3" depth, trees in sod to receive 4' dia. ring

1. LINE LAYOUT IS DIAGRAMMATIC-ADJUST HEAD AND LINE LOCATIONS ON SITE TO ACCOMMODATE EXISTING JOB CONDITIONS AND TO ACHIEVE COMPLETE COVERAGE.
2. ALL MAIN LINE PIPING SHALL BE BURIED TO HAVE A MINIMUM COVER OF 18". ALL LATERAL PIPING DOWNSTREAM OF THE MAIN LINE SHALL BE BURIED TO HAVE A MINIMUM COVER OF 12".
3. ALL MAINS ARE TO DRAIN TO LOW POINTS AT A MINIMUM ONE HALF (1/2%) PERCENT SLOPE. AT LOW POINTS, INSTALL GATE VALVE TO FACILITATE DRAINAGE OF SYSTEM DURING FREEZING TEMPERATURES.
4. CONTRACTOR SHALL INSTALL AUTOMATIC DRAIN VALVES AT LOW POINTS IN THE IRRIGATION LINES AS REQUIRED TO PREVENT FREEZE DAMAGE.
5. ALL VALVE BOXES SHALL BE BLACK IN COLOR (BODY AND LID). SIZES SHALL BE TEN(10") INCHES BY FOURTEEN (14") INCHES (RECTANGULAR) FOR REMOTE CONTROL VALVES AND NINE (9") INCHES (ROUND) FOR GATE AND QUICK COUPLER VALVES.
6. CONTRACTOR SHALL MAKE MINOR ADJUSTMENTS TO SYSTEM LAYOUT IN FIELD TO INSURE POSITIVE DRAINAGE OF LATERAL LINES AND MAIN LINES.
7. ALL WIRING FROM THE IRRIGATION CONTROLLER TO THE REMOTE CONTROL VALVES SHALL BE UF-14"1 DIRECT BURIAL CABLE. ALL WIRE SPLICES SHALL BE MADE IN VALVE BOXES ONLY USING RAINBIRD SNAP-TITE CONNECTORS AND SEALANT. PROVIDE SLEEVES FOR WIRE UNDER PAVED AREAS AS REQUIRED.
8. ALL IRRIGATION INSTALLATION SHALL CONFORM TO THE LOCAL CODE REGULATIONS AND TCEQ REQUIREMENTS.
9. IRRIGATION SYSTEM SHALL BE INSTALLED AND FULLY OPERATIONAL BEFORE INSTALLATION OF LANDSCAPE PLANTINGS.
10. IRRIGATION HEADS SHALL BE PLACED AND ADJUSTED SO AS NOT TO SPRAY ON THE BUILDING.
11. IRRIGATION HEADS SHALL BE PLACED AND SIZED SO AS NOT TO BE SUSCEPTIBLE TO DAMAGE BY AUTOMOBILE OVERHANGS.
12. IRRIGATION CONTRACTOR SHALL PLACE ADJUSTABLE ARC NOZZLES IN PLACE OF FIXED ARC NOZZLE AS NEEDED TO ELIMINATE OVER SPRAY ON TO PAVEMENT.
13. ALL IRRIGATION HEADS SHALL HAVE FACTORY INSTALLED CHECK VALVES.

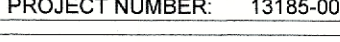
1. LANDSCAPE CONTRACT SHALL INCLUDE, AS AN ALTERNATE BID, A LANDSCAPE MAINTENANCE AGREEMENT. THE LANDSCAPE MAINTENANCE PERIOD SHALL BEGIN ONCE OWNER'S ACCEPTANCE OF IMPROVEMENTS HAS BEEN GIVEN IN WRITING AND EXTEND FOR A PERIOD OF TWO YEARS.
2. MAINTENANCE AGREEMENT SHALL GENERALLY CONFORM TO LANDSCAPE MAINTENANCE GUIDELINES PROVIDED BY OWNER AND MODIFIED TO MEET THE BEST MANAGEMENT PRACTICES OF THE LOCAL CLIMATE AND SITE SPECIFIC CONDITIONS.
3. AT A MINIMUM, THE AGREEMENT SHALL INCLUDE, ALL LABOR AND MATERIALS TO PERFORM THE PROFESSIONAL MAINTENANCE OF THE SITE'S LANDSCAPE IMPROVEMENTS. THE AGREEMENT SHALL BE WRITTEN TO INCLUDE, BUT MAY NOT BE LIMITED TO, THE FOLLOWING:
 - A. LAWN CARE
 - B. FERTILIZATION
 - C. INTEGRATED PEST MANAGEMENT
 - D. IRRIGATION
 - E. PLANTING BEDS
 - F. TREES AND SHRUBS
4. THE PROGRAM FOR THE MAINTENANCE AGREEMENT SHALL BE BASED ON A COMPLETE SOILS ANALYSIS TO ADDRESS SPECIFIC SITE CONDITIONS AND TO ENSURE THE HEALTHY AND VIGOROUS GROWTH OF THE PLANT MATERIALS.

WITNESS OUR HANDS, this 15 day of October, 2024.

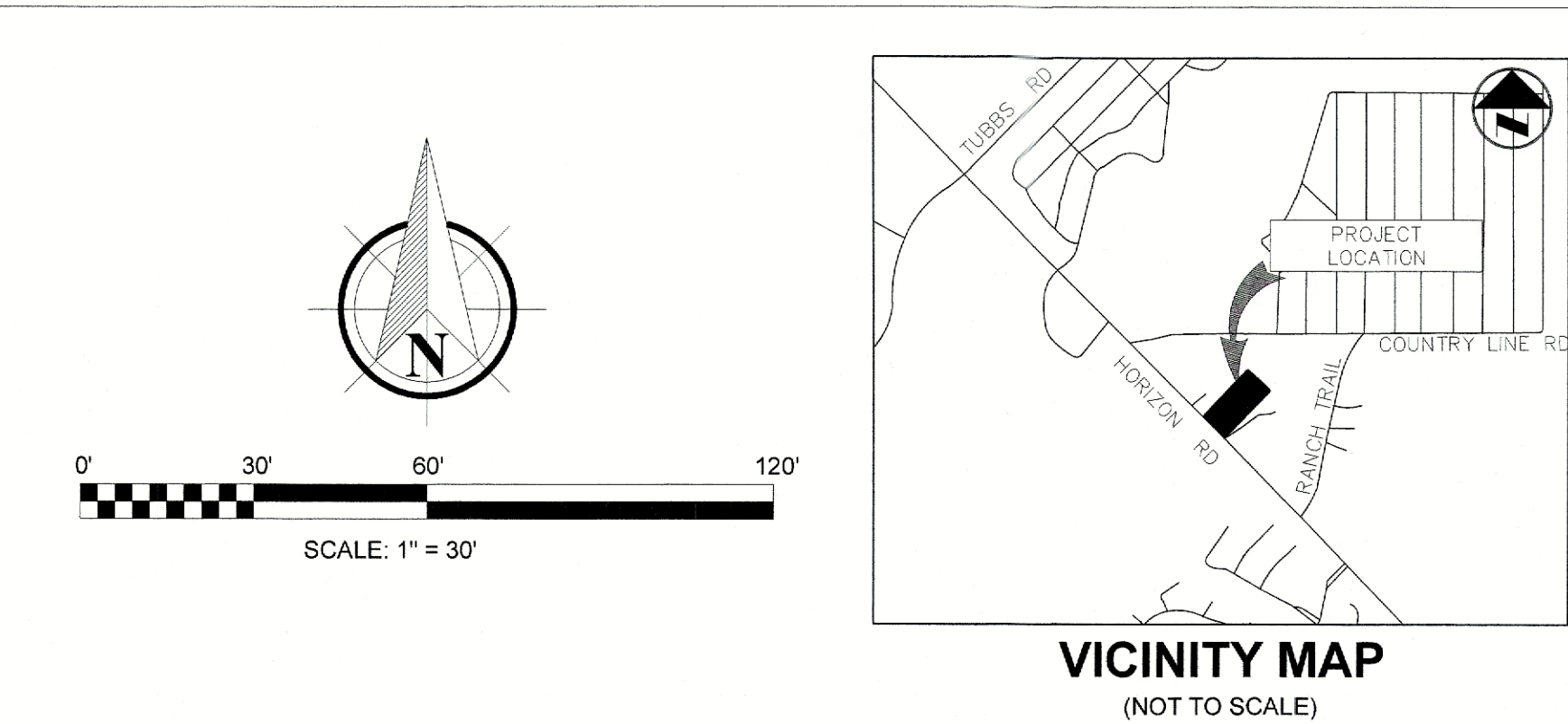
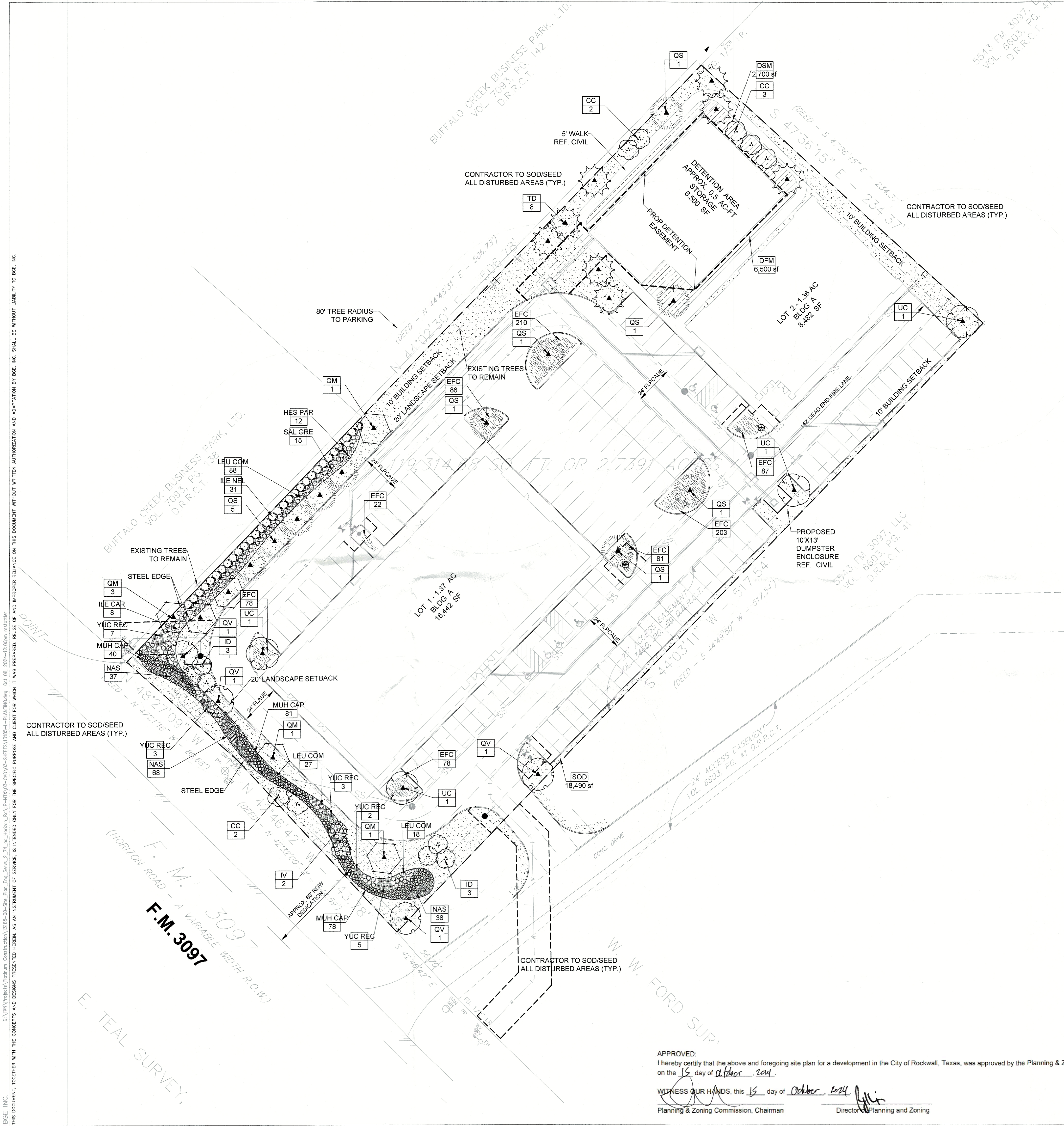
 Planning & Zoning Commission, Chairman

 Director of Planning and Zoning

RESUBMITTED: OCTOBER 1, 2024



PLANTING SCHEDULE AND NOTES



PLANT SCHEDULE			
SYMBOL	CODE	BOTANICAL NAME	COMMON NAME
CANOPY TREES			
	QM	Quercus macrocarpa	Burr Oak
	QS	Quercus shumardii	Shumard Red Oak
	QV	Quercus virginiana	Southern Live Oak
	TD	Taxodium distichum	Bald Cypress
	UC	Ulmus crassifolia	Cedar Elm
ORNAMENTAL TREES			
	CC	Cercis canadensis	Eastern Redbud
	ID	Ilex decidua	Possumhaw Holly
	IV	Ilex vomitoria	Yaupon Holly
SHRUBS			
	HES PAR	Hesperaloe parviflora	Red Yucca
	ILE CAR	Ilex cornuta 'Carissa'	Carissa Holly
	ILE NEL	Ilex x 'Nellie R. Stevens'	Nellie R. Stevens Holly
	LEU COM	Leucophyllum frutescens 'Compacta'	Compact Texas Sage
	SAL GRE	Salvia greggii	Autumn Sage
	YUC REC	Yucca recurvifolia	Soft Leaf Yucca
GRASSES			
	MUH CAP	Muhlenbergia capillaris	Pink Muhly
	NAS	Nassella tenuissima	Mexican Feather Grass
GROUND COVER			
	EFC	Euonymus fortunei 'Coloratus'	Purple-leaf Winter Creeper
SEED			
	DSM		Dam Slope Mix
	DFM		Drainfield Mix
SOD			
	SOD	Cynodon dactylon	Tif Tuf Bermuda Grass
MISC			
	STEEL EDGE	TBD	Steel Edging
	MULCH	TBD	Shredded Hardwood Mulch

NOTE: PLANT QUANTITIES ARE PROVIDED FOR CONVENIENCE ONLY. IN THE CASE OF A DISCREPANCY, THE DRAWING SHALL TAKE PRECEDENCE.

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the 15 day of October, 2024.
WITNESS OUR HANDS, this 15 day of October, 2024.
Planning & Zoning Commission, Chairman
Director of Planning and Zoning

SITE PLAN
CASE NUMBER: SP2024-040
HORIZON ROAD COMMERCIAL OFFICES
2.7391 ACRES (119316 SF.) BEING SITUATED IN
THE W.W FORD SURVEY, ABSTRACT NO. 80
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS
SUBMITTED: SEPTEMBER 13, 2024
RESUBMITTED: OCTOBER 1, 2024

BGE, Inc.
2595 Dallas Parkway, Suite 101
Frisco, TX 75034
Tel: 972-464-4800 • www.bgeinc.com
TBPE Registration No. F-1046
Copyright 2024

DEVELOPER
PLATINUM CONSTRUCTION
1450 TL TOWNSEND DR. STE 100
ROCKWALL, TX 75032
TEL: (469) 222-1597
CONTACT: SHAWN WALK

OWNER
SARO PARTNERS LLC
1450 S. T.L TOWNSEND
ROCKWALL, TX 75032
TEL: (000) 000-0000
CONTACT: JAY KANTER

CITY SUBMITTAL SET

PLANTING PLAN

HORIZON RD. COMMERCIAL OFFICES
W.W FORD SURVEY, ABSTRACT NO. 80, TRACT 26-4
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

THESE PLANS ARE ISSUED FOR THE PURPOSE OF PRELIMINARY REVIEW AND ARE NOT INTENDED FOR CONSTRUCTION. WHEN ISSUED IN FINAL FORM THEY WILL BE SEALED, SIGNED AND DATED.

RESPONSIBLE LANDSCAPE ARCHITECT:
MICHAEL STOTTLER, P.L.A.
TEXAS REGISTRATION NO. 3743
BGE, INC.
TEXAS REGISTERED ENGINEERING FIRM F-1046
10/8/2024

CAUTION !!
Contractor to Verify exact location & Depth of Exist Facilities Prior to any Construction Activities

CAUTION !!!
CONTACT: 1-800-DIG-TESS
48 HOURS PRIOR TO CONSTRUCTION

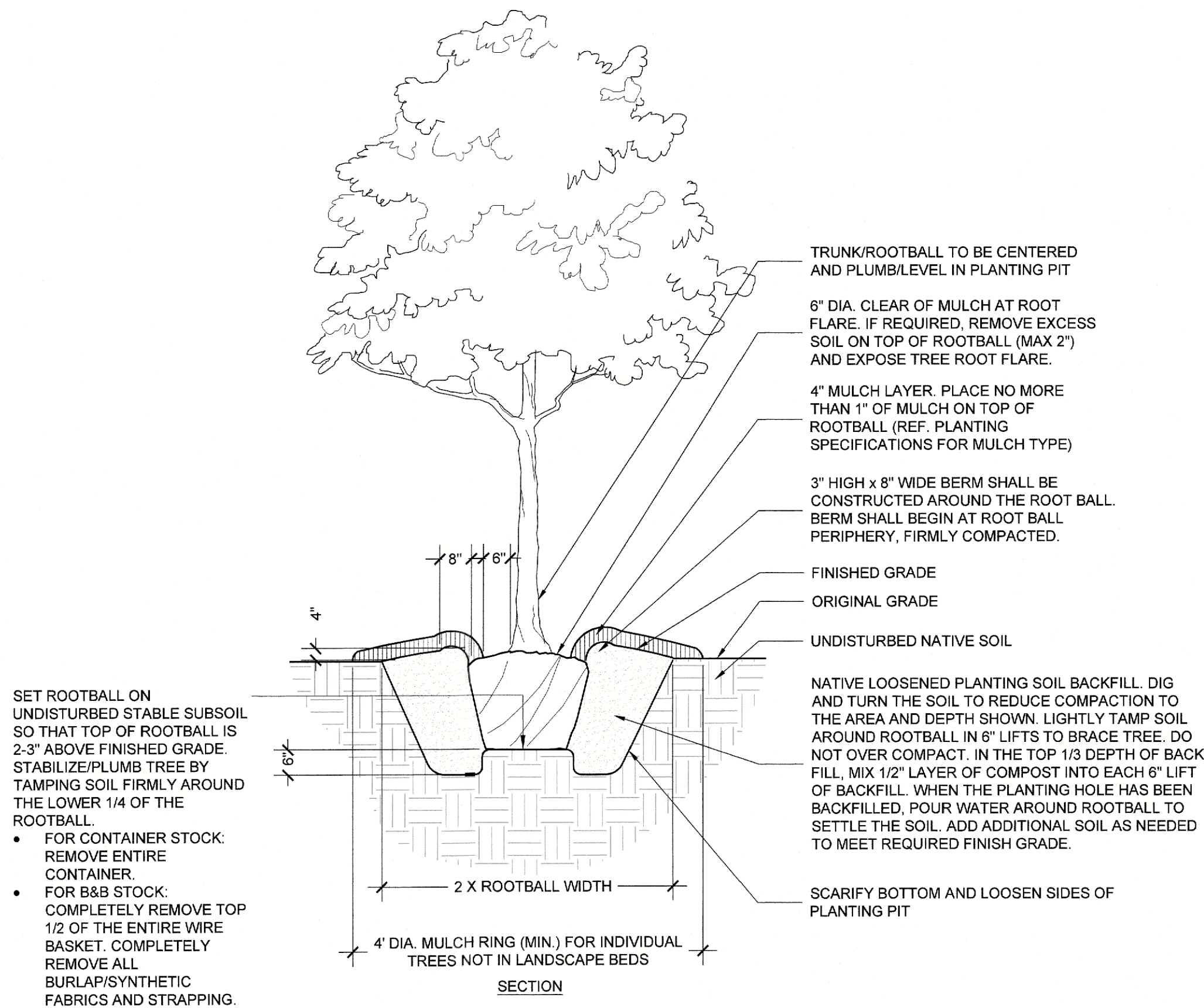
REV NO.	DATE	DESCRIPTION

CHECKED BY: MLS
DESIGNED BY: NPS
DATE: 10/8/2024
PROJECT NUMBER: 13185-00

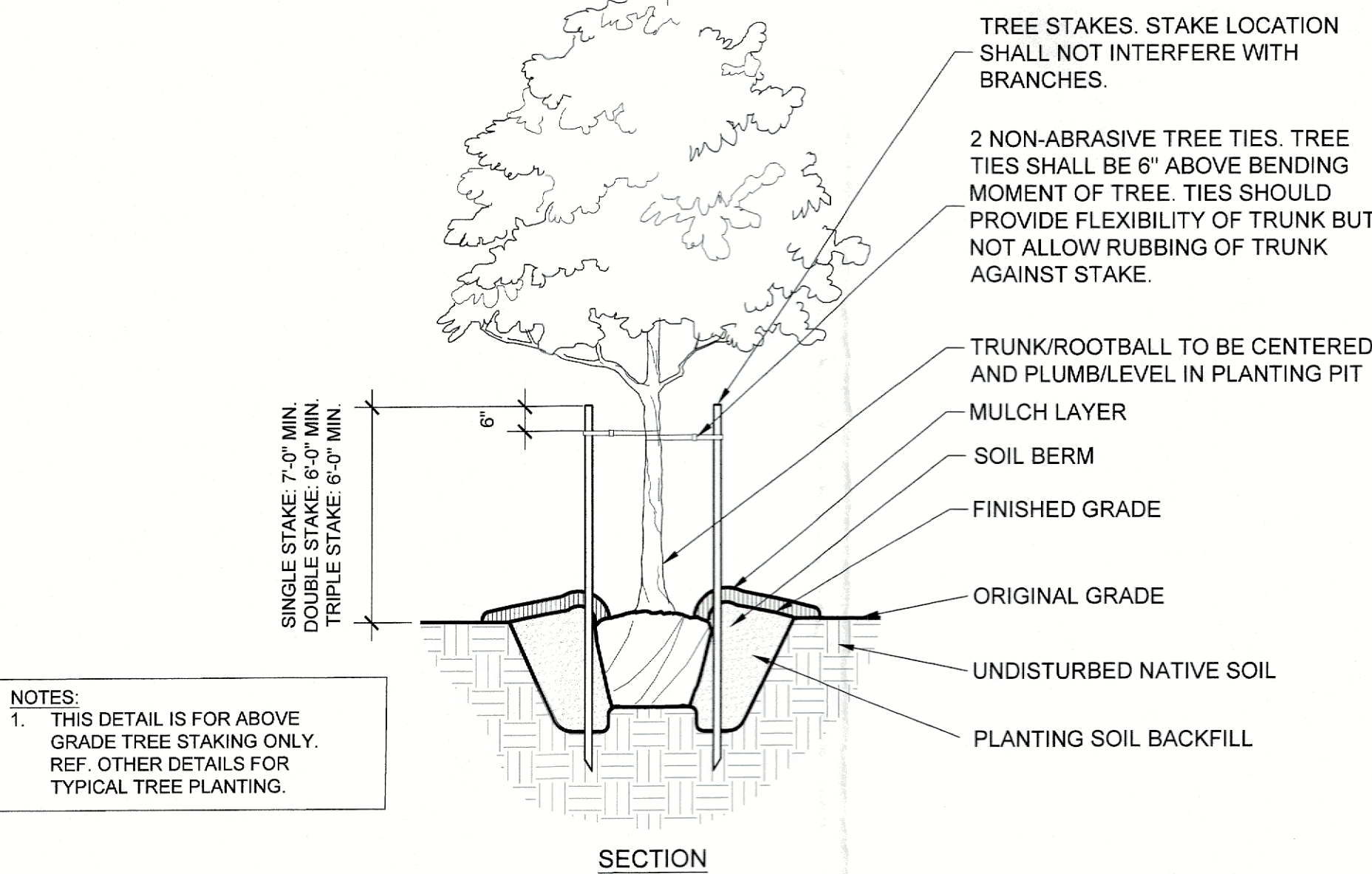
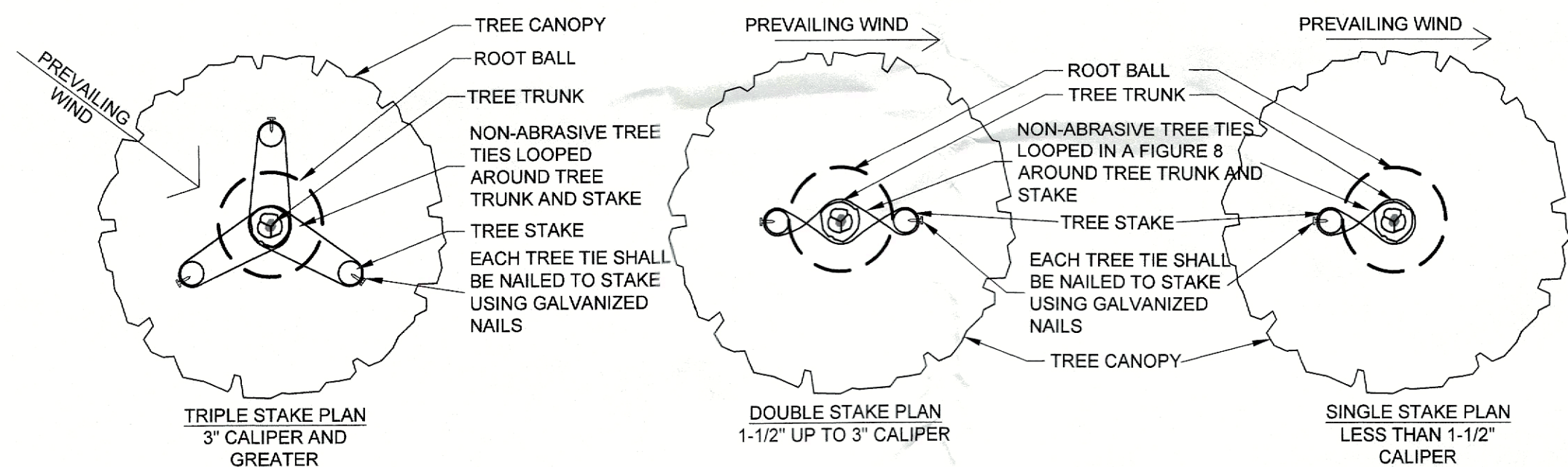
SHEET NO
L2.02

PLANTING PLAN

BGE, INC.
THIS DOCUMENT, TOGETHER WITH THE CONCEPTS AND DESIGNS PRESENTED HEREIN, AS AN INSTRUMENT OF SERVICE, IS INTENDED ONLY FOR THE SPECIFIC PURPOSE AND CLIENT FOR WHICH IT WAS PREPARED. REUSE OF AND IMPROPER RELIANCE ON THIS DOCUMENT WITHOUT WRITTEN AUTHORIZATION AND ADAPTATION BY BGE, INC. SHALL BE WITHOUT LIABILITY TO BGE, INC.



A TYPICAL TREE PLANTING (UP TO 3" CALIPER)
SECTION
NOT TO SCALE



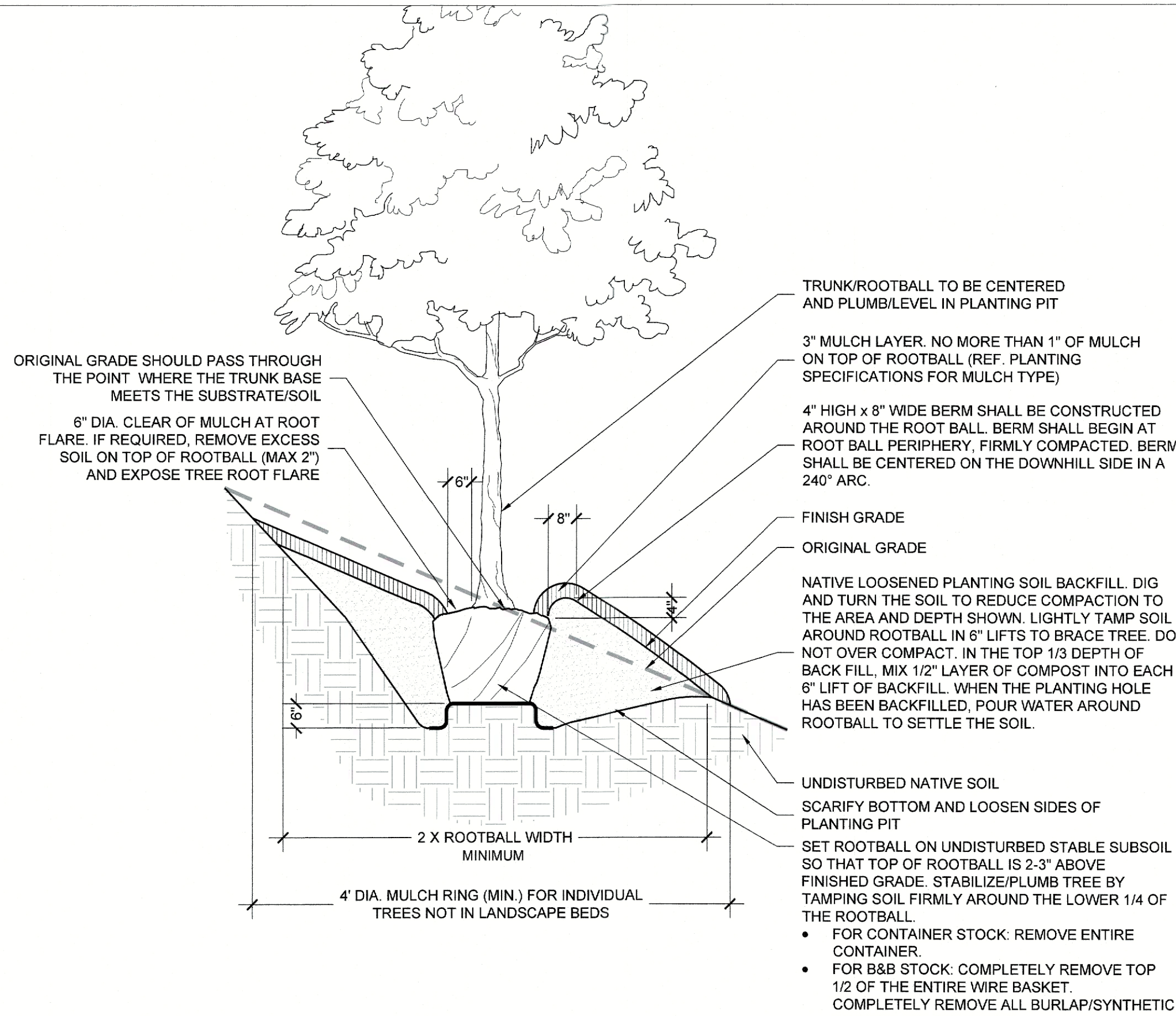
B TYPICAL TREE STAKING
SECTION/PLAN
NOT TO SCALE

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the 15 day of October, 2024.

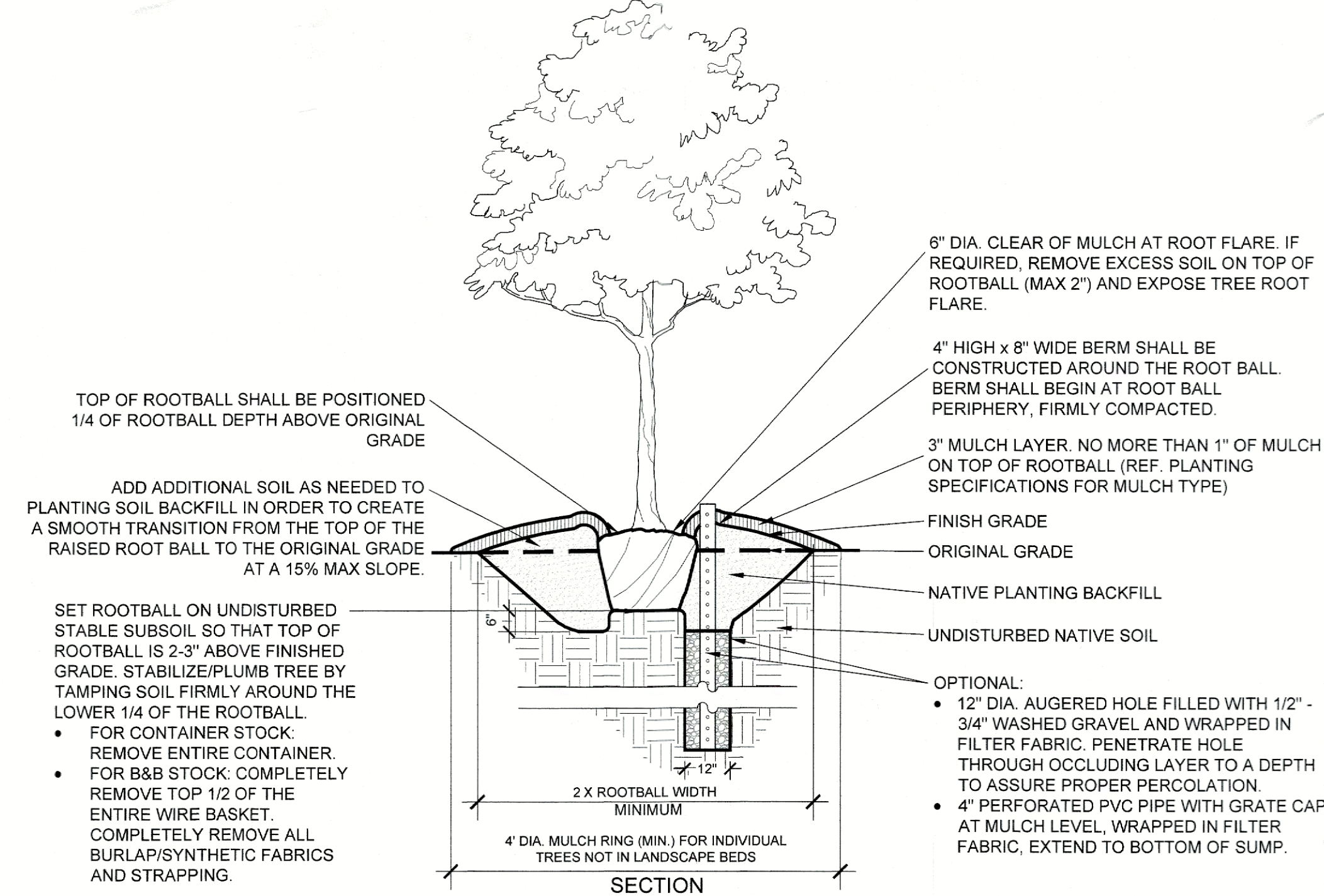
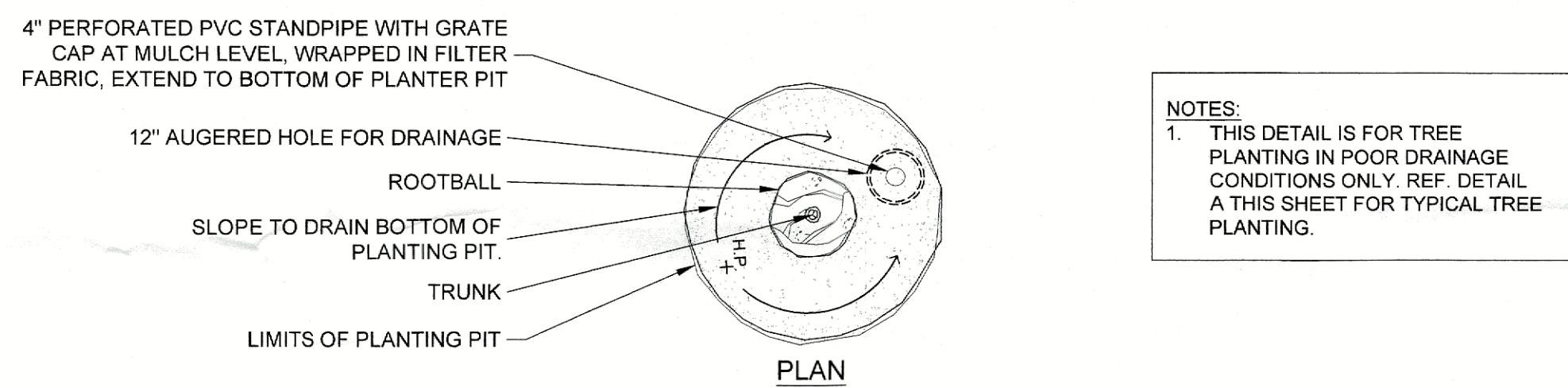
WITNESS OUR HANDS, this 15 day of October, 2024.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning



C TREE PLANTING ON 5-25% SLOPES (20:1 TO 4:1 SLOPES)
SECTION
NOT TO SCALE



D PLANTING IN WET CONDITIONS
SECTION/PLAN
NOT TO SCALE

SITE PLAN
CASE NUMBER: SP2024-040
HORIZON ROAD COMMERCIAL OFFICES
2.7391 ACRES (119316 SF.) BEING SITUATED IN
THE W.W FORD SURVEY, ABSTRACT NO. 80
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS
SUBMITTED: SEPTEMBER 13, 2024
RESUBMITTED: OCTOBER 1, 2024

BGE, Inc.
2595 Dallas Parkway, Suite 101
Frisco, TX 75034
Tel: 972-464-4800 • www.bgeinc.com
TBPE Registration No. F-1046
Copyright 2024

DEVELOPER
PLATINUM CONSTRUCTION
1450 TL TOWNSEND DR. STE 100
ROCKWALL, TX 75032
TEL: (469) 222-1597
CONTACT: SHAWN VALK

OWNER
SARO PARTNERS LLC
1450 S. T L TOWNSEND
ROCKWALL, TX 75032
TEL: (000) 000-0000
CONTACT: JAY KANTER

CITY SUBMITTAL SET

PLANTING DETAILS

HORIZON RD. COMMERCIAL OFFICES
W.W FORD SURVEY, ABSTRACT NO. 80, TRACT 26-4
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

THESE PLANS ARE ISSUED FOR THE PURPOSE OF PRELIMINARY REVIEW AND ARE NOT INTENDED FOR CONSTRUCTION. WHEN ISSUED IN FINAL FORM THEY WILL BE SEALED, SIGNED AND DATED.

RESPONSIBLE LANDSCAPE ARCHITECT:
MICHAEL STOTTLER, P.L.A.
TEXAS REGISTRATION NO. 3743
BGE, INC.
TEXAS REGISTERED ENGINEERING FIRM
F-1046
10/8/2024

!CAUTION!
Contractor to Verify exact location & Depth of Exist Facilities Prior to any Construction Activities

CAUTION !!!
CONTACT: 1-800-DIG-TESS
48 HOURS PRIOR TO CONSTRUCTION

REV NO.	DATE	DESCRIPTION

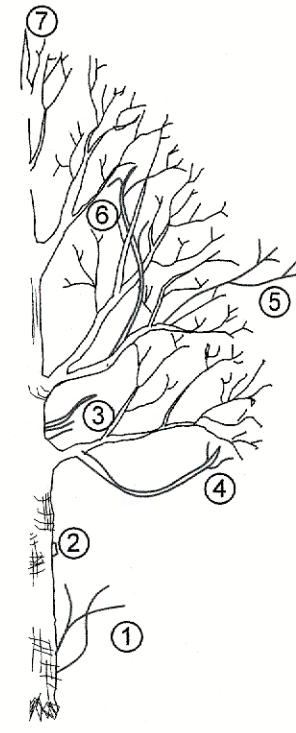
CHECKED BY: MLS
DESIGNED BY: NPS
DATE: 10/8/2024
PROJECT NUMBER: 13185-00

SHEET NO
L2.03
PLANTING DETAILS

BGE, INC. THIS DOCUMENT, TOGETHER WITH THE CONCEPTS AND DESIGNS PRESENTED HEREIN, AS AN INSTRUMENT OF SERVICE, IS INTENDED ONLY FOR THE SPECIFIC PURPOSE AND CLIENT FOR WHICH IT WAS PREPARED. REUSE OF AND IMPROPER RELIANCE ON THIS DOCUMENT WITHOUT WRITTEN AUTHORIZATION AND ADAPTATION BY BGE, INC. SHALL BE WITHOUT LIABILITY TO BGE, INC. © 2024 BGE, INC. All Rights Reserved. 10/8/2024 10:00am

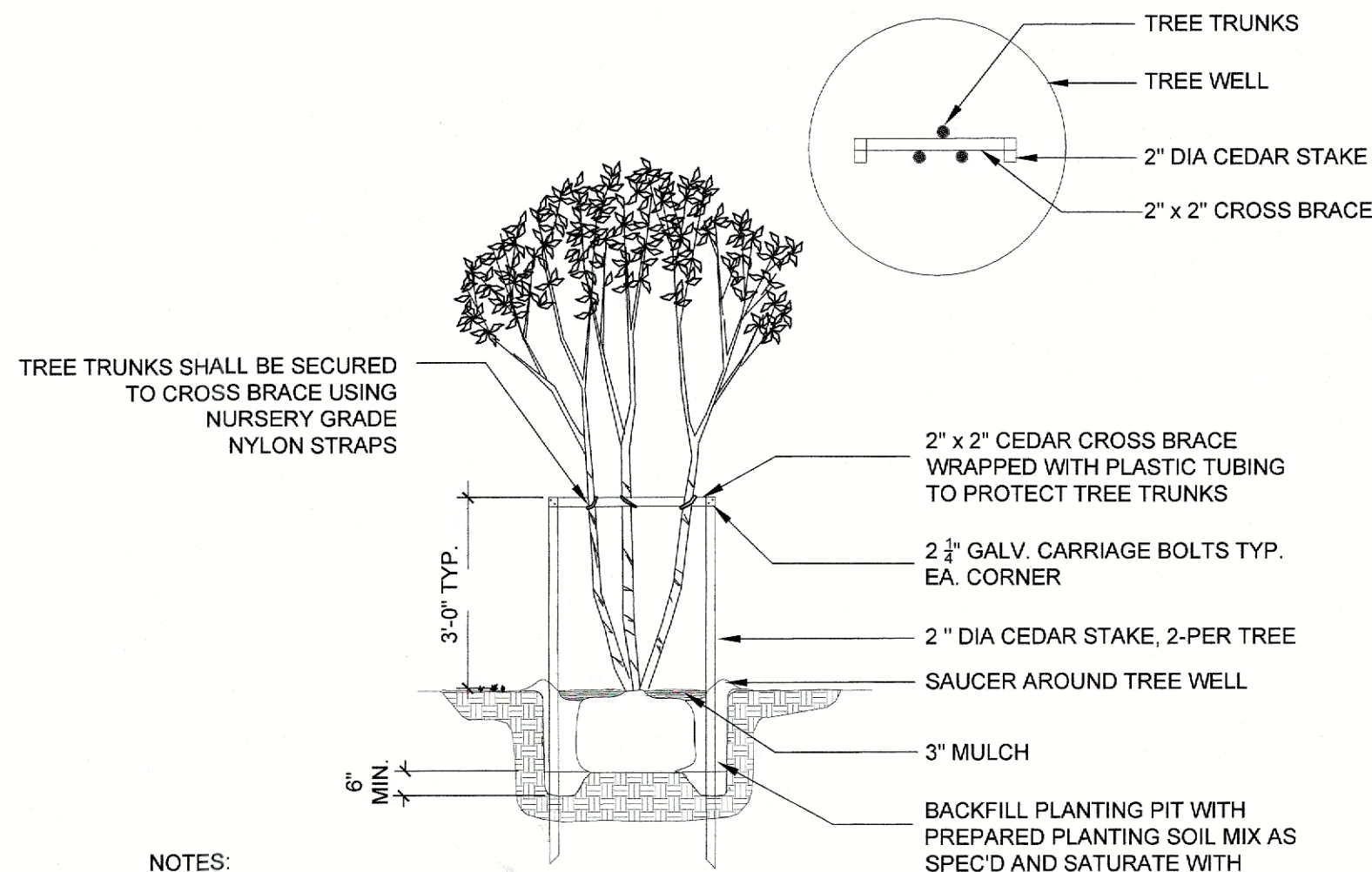
1. REMOVE SUCKER SHOOTS AT BASE OF TREE.
2. MAKE CLEAN CUTS ON OLD STUDS IF PRESENT.
3. REMOVE ENTIRE SUPPLY OF TWIGGS AND BUDS ON TRUNK.
4. REMOVE LOWER BRANCH WHERE AN OVERLYING BRANCH OCCUPIES APPROX. SAME AREA.
5. SHAPE TREE BY REMOVING INJURED AND MISSHAPED BRANCHES.
6. REMOVE CROSS BRANCHES AND THOSE DEVELOPING INTO SECONDARY LEADERS.
7. DO NOT REMOVE LEADER.

NOTE: DASHED LINES INDICATE BRANCHES TO BE REMOVED. - NO MORE THAN 20 PERCENT OF LIMBS, FOLIAGE, ETC., TO BE REMOVED, UNLESS NOTED OTHERWISE



A SHADE TREE PRUNING

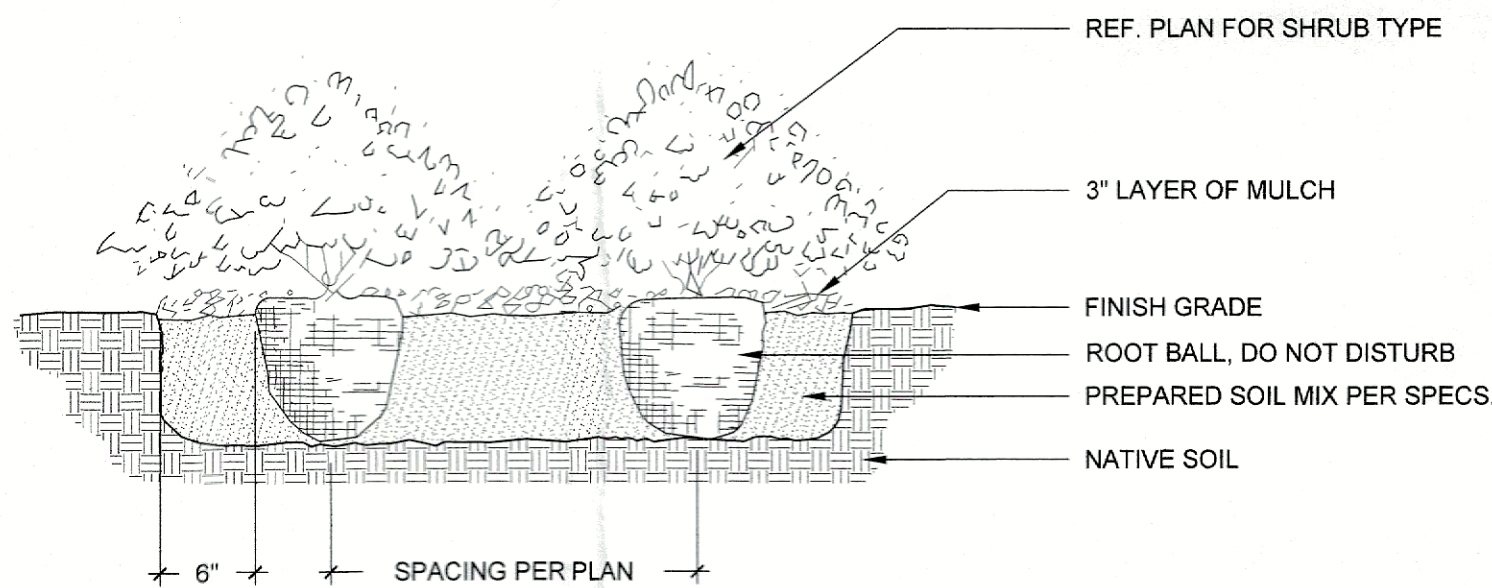
SECTION NOT TO SCALE



NOTES:
• TEMPORARY TREE WELL, STAKES AND CROSS BRACE TO BE REMOVED AFTER ONE FULL GROWING SEASON.
• THE BRANCH STRUCTURE SHALL BE REMOVED BY THINNING BUT THE NATURAL CHARACTER AND GENERAL SHAPE OF THE TREE SHALL BE PRESERVED

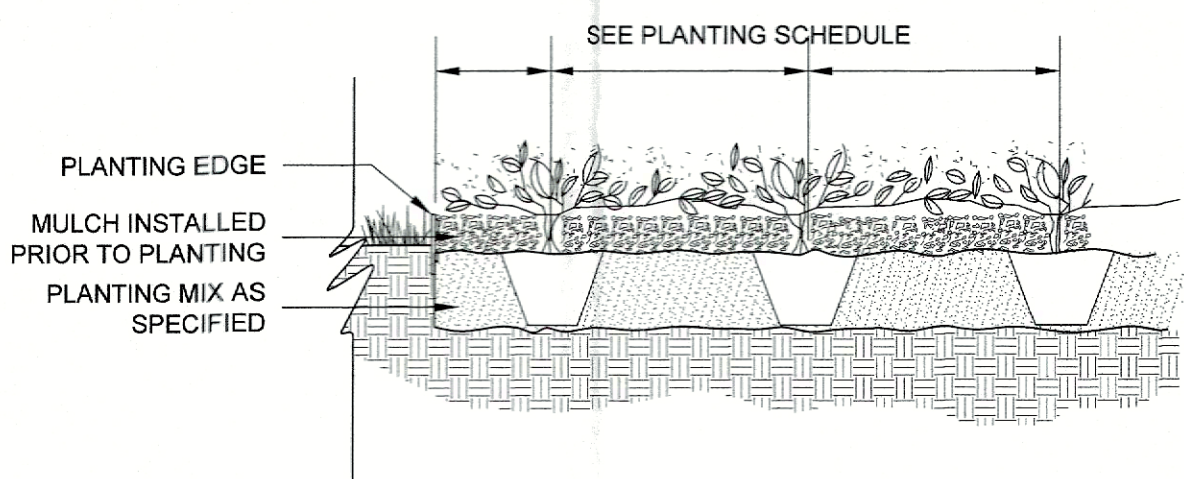
B ORNAMENTAL / MULTI-TRUNK TREE PLANTING

SECTION / ELEVATION NO TO SCALE



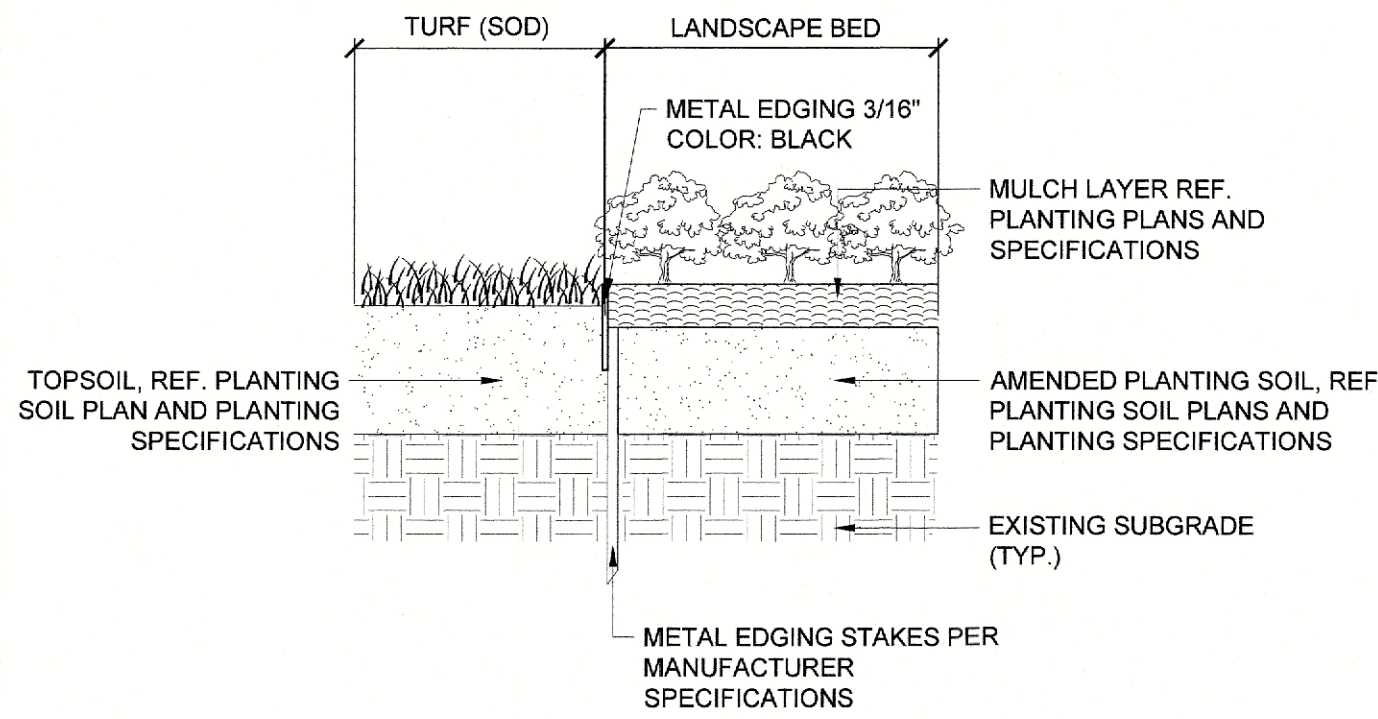
C SHRUB PLANTING

SECTION NO TO SCALE



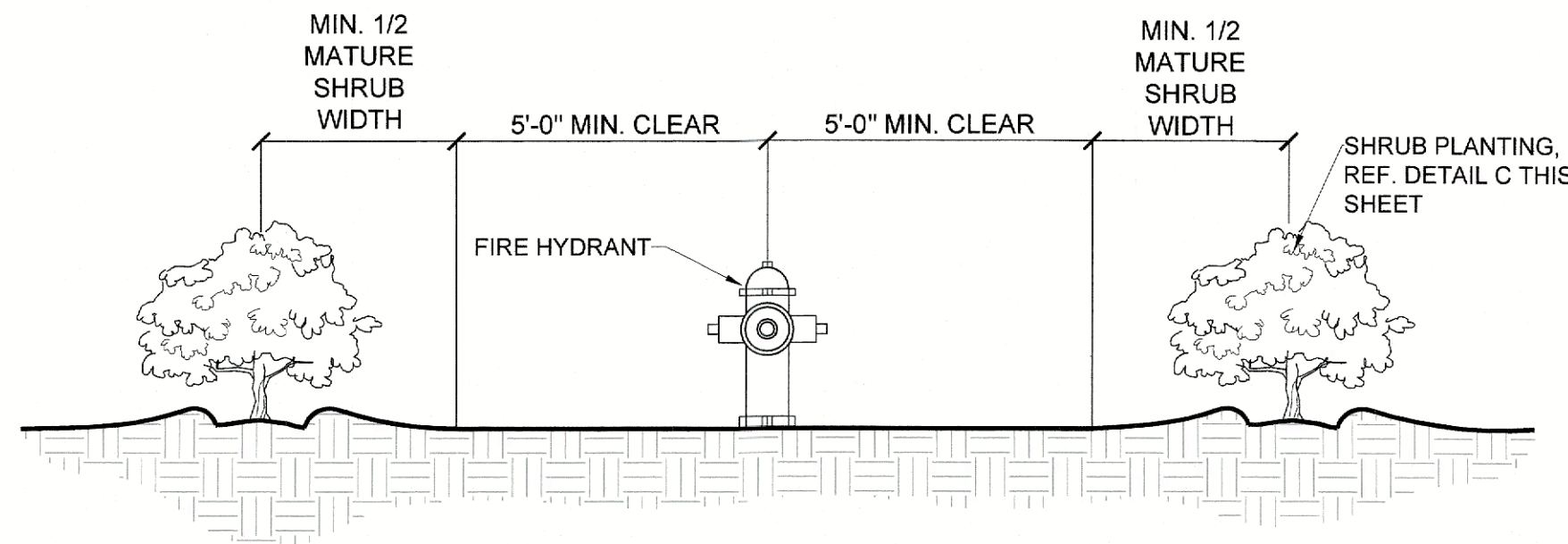
D GROUNDCOVER PLANTING

SECTION NOT TO SCALE



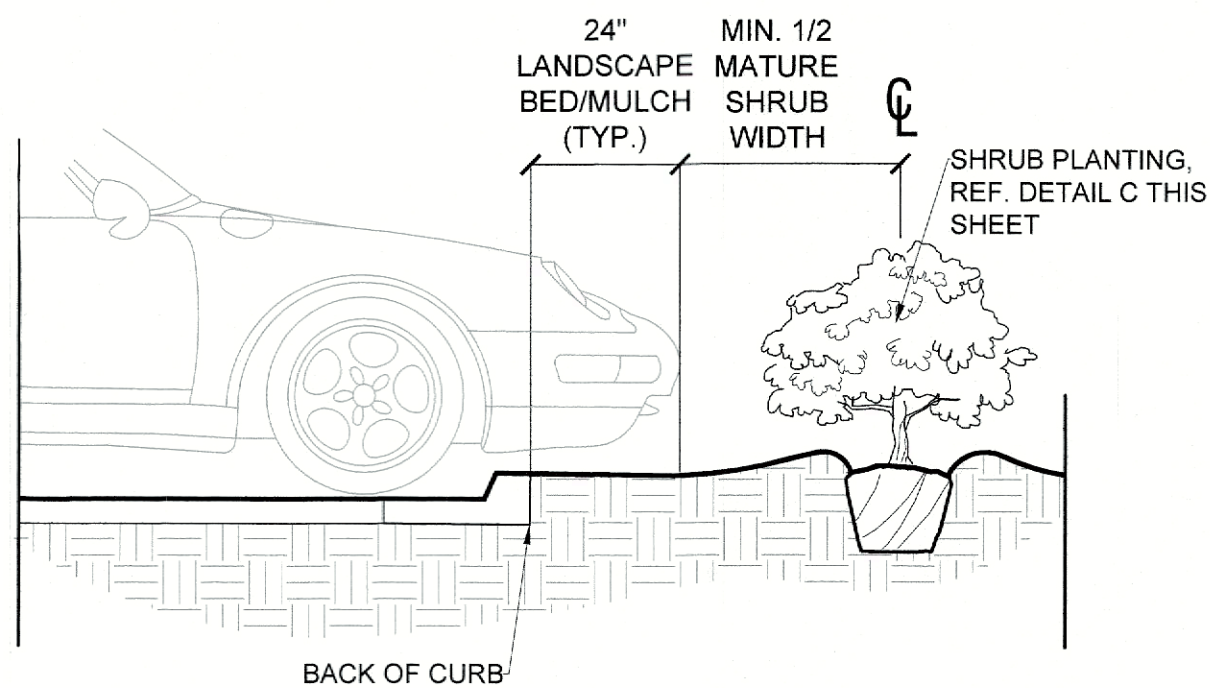
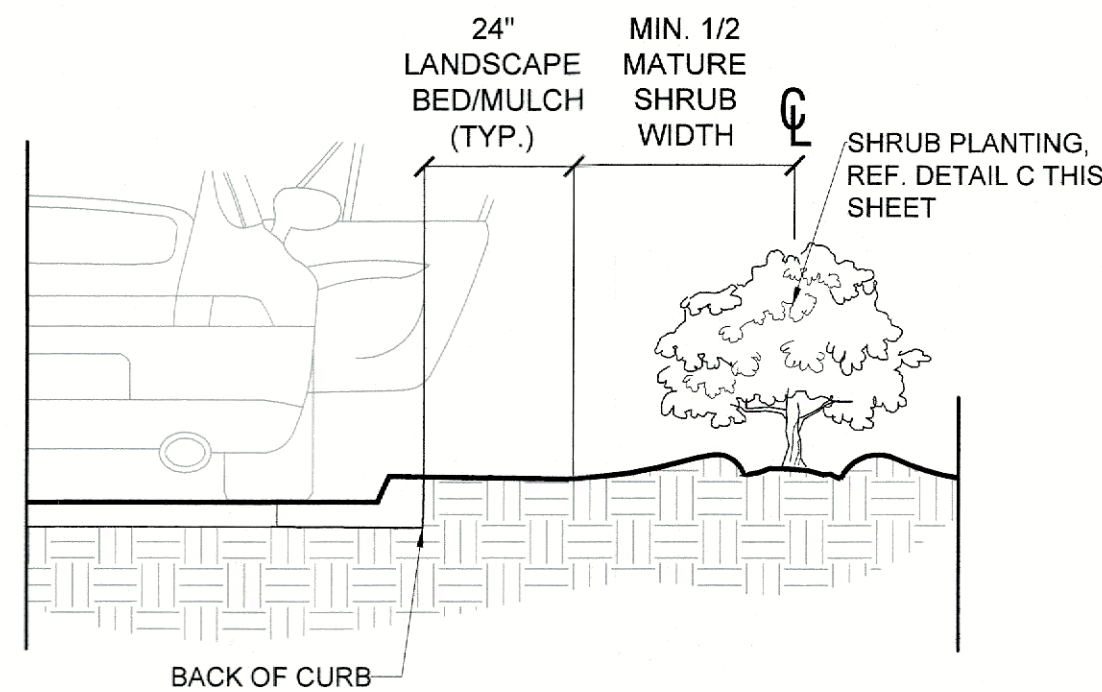
E STEEL EDGE

SECTION NOT TO SCALE



F PLANTING AT FIRE HYDRANT

SECTION NOT TO SCALE



G PLANTING AT CURB

SECTION NOT TO SCALE

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the 15 day of October, 2024.

WITNESS OUR HANDS, this 15 day of October, 2024.
Planning & Zoning Commission, Chairman
Director of Planning and Zoning

SITE PLAN
CASE NUMBER: SP2024-040
HORIZON ROAD COMMERCIAL OFFICES
2.7391 ACRES (119316 SF.) BEING SITUATED IN
THE W.W FORD SURVEY, ABSTRACT NO. 80
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS
SUBMITTED: SEPTEMBER 13, 2024
RESUBMITTED: OCTOBER 1, 2024

BGE, Inc.
2595 Dallas Parkway, Suite 101
Frisco, TX 75034
Tel: 972-464-4800 • www.bgeinc.com
TBPE Registration No. F-1046
Copyright 2024

DEVELOPER
PLATINUM CONSTRUCTION
1450 TL TOWNSEND DR. STE 100
ROCKWALL, TX 75032
TEL: (469) 222-1597
CONTACT: SHAWN VALK

OWNER
SARO PARTNERS LLC
1450 S. T. L. TOWNSEND
ROCKWALL, TX 75032
TEL: (000) 000-0000
CONTACT: JAY KANTER

CITY SUBMITTAL SET
PLANTING DETAILS
HORIZON RD. COMMERCIAL OFFICES
W.W FORD SURVEY, ABSTRACT NO. 80, TRACT 26-4
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

THESE PLANS ARE ISSUED FOR THE PURPOSE OF PRELIMINARY REVIEW AND ARE NOT INTENDED FOR CONSTRUCTION. WHEN ISSUED IN FINAL FORM THEY WILL BE SEALED, SIGNED AND DATED.

RESPONSIBLE LANDSCAPE ARCHITECT:
MICHAEL STOTTLER, P.L.A.
TEXAS REGISTRATION NO. 3743
BGE, INC.
TEXAS REGISTERED ENGINEERING FIRM F-1046
10/8/2024

CAUTION !!!
Contractor to Verify exact location & Depth of Exist Facilities Prior to any Construction Activities

CAUTION !!!
CONTACT 1-800-DIG-TESS
48 HOURS PRIOR TO CONSTRUCTION

REVISIONS		
REV NO.	DATE	DESCRIPTION

CHECKED BY: MLS
DESIGNED BY: NPS
DATE: 10/8/2024
PROJECT NUMBER: 13185-00

SHEET NO
L2.04

PLANTING DETAILS



APPROVED:
I hereby certify that the above and foregoing site plan for
development in the City of Rockwall, Texas, was approved by the
Planning & Zoning Commission on the 15 day of October,
2024

[Signature]
Chairman
[Signature]
Director of Planning & Zoning

DESIGN BY: KR
DRAWN BY: KR
CHECKED BY: NF

A2.3
PROJECT #: 24216.50

5543 HORIZON ROAD ROCKWALL, TEXAS
(SCHEMATIC DESIGN)

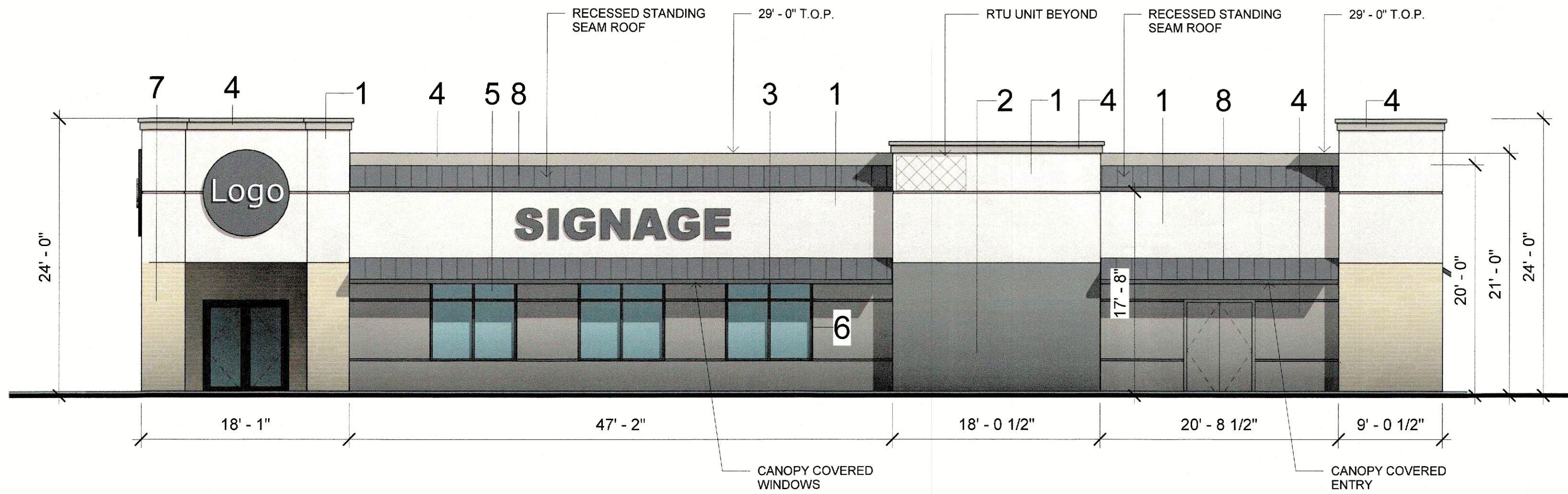
COPYRIGHT 2024. ALL RIGHTS RESERVED. THIS
DRAWING IS AN INSTRUMENT OF SERVICE. IT IS THE
PROPERTY OF ROBERT HARRIS ARCHITECTS AND
ASSOCIATES, INC. AND MAY NOT BE REPRODUCED OR
REPRODUCED IN ANY MANNER WITHOUT WRITTEN
PERMISSION OF THE CORPORATION.

NOTICE OF ALTERNATE BILLING OR PAYMENT CYCLE:
THIS CONTRACTOR MAY ALLOW THE OWNER TO REQUIRE
THE SUBMISSION OF BILLING OR ESTIMATES IN
BILLING CYCLES GREATER THAN THIRTY DAYS. THIS
CONTRACT MAY ALLOW OWNER TO MAKE PAYMENT
ON SOME ACTIVITY ON THE SCHEDULE AFTER
CERTIFICATION AND APPROVAL OF BILLING AND
ESTIMATES. A WRITTEN DESCRIPTION OF SUCH OTHER
BILLING CYCLE APPLICABLE TO THE PROJECT IS
AVAILABLE FROM OWNER OR DESIGNATED AGENT.
NAME:
ADDRESS:
ADDRESS:
CONTACT:
PHONE:

OFFICE - 3D VIEWS

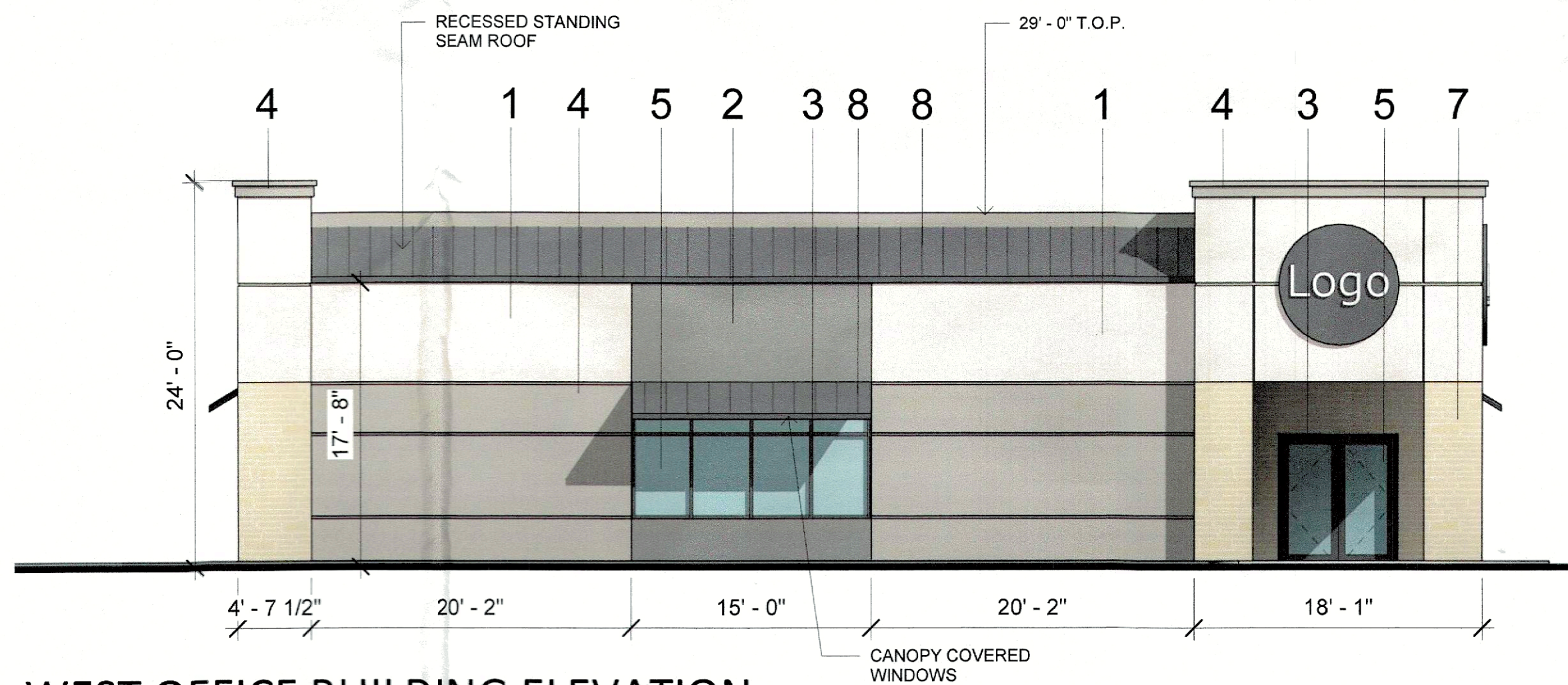
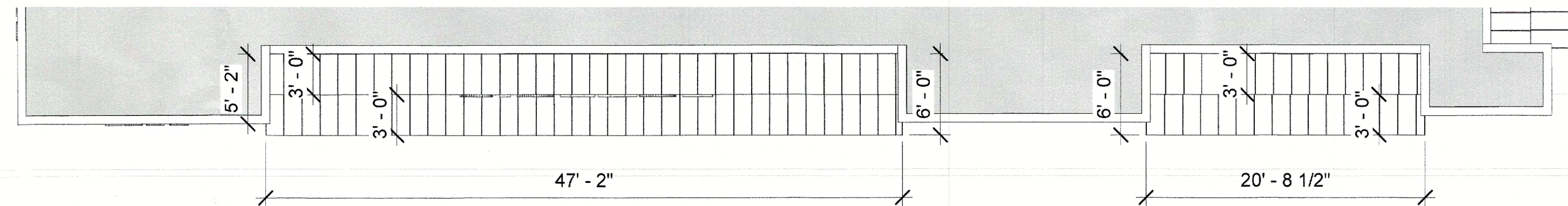
DATE: 10-01-2024

IRKAA
2333 EAST THOMAS ROAD, PHOENIX, ARIZONA 85016
602-955-3900
RKAA.com



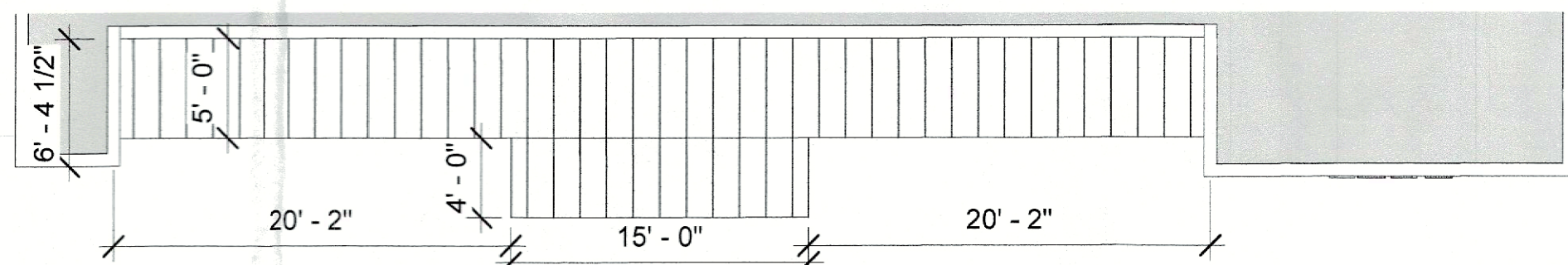
SOUTH OFFICE BUILDING ELEVATION

1/8" = 1'-0"



WEST OFFICE BUILDING ELEVATION

1/8" = 1'-0"



MATERIALS & COLORS:

- STUCCO-PAINTED:**
MFG: DUNN-EDWARDS
COLOR: FRENCH WHITE
SPEC: DEW311
- STUCCO-PAINTED:**
MFG: DUNN-EDWARDS
COLOR: STONE MASON
SPEC: DET615
- PAINTED METAL:**
MFG: DUNN-EDWARDS
COLOR: CAVERNOUS
SPEC: DE6364
- PAINTED STUCCO:**
MFG: DUNN-EDWARDS
COLOR: WHALE WATCHING
SPEC: DET512
- GLAZING:**
MFG: SOLARBAN
COLOR: SOLARBAN 90(2) SOLARGRAY + CLEAR
VLT: 26%
- STOREFRONT MULLIONS:**
MFG: KAWNEER
COLOR: DARK BRONZE
- STONE VENEER:**
MFG: CORONADO
COLOR: CAP COD GRAY
- METAL ROOF:**
MFG: ATAS
COLOR: CLASSIC BRONZE(01)

MATERIAL CALCULATIONS -	
1 - FRENCH WHITE - 51.50 %	
2 - STONE MASON - 11.82%	
4 - WHALE WATCHING - 18.92%	
7 - STONE VENEER - 17.74%	

NOTE:
BACKSIDE OF PARAPET TO BE FINISHED
THE SAME AS THE FRONT FACING FACADE

SECONDARY FACADE

ENTRY ELEMENT PROJECTION HEIGHT (H) = 24-FEET
(H)15% = 3.6-FEET

PROJECTIONS HEIGHT (H) = 17.8-FEET
(H)15% = 2.6-FEET

MATERIALS & COLORS:

- STUCCO-PAINTED:**
MFG: DUNN-EDWARDS
COLOR: FRENCH WHITE
SPEC: DEW311
- STUCCO-PAINTED:**
MFG: DUNN-EDWARDS
COLOR: STONE MASON
SPEC: DET615
- PAINTED METAL:**
MFG: DUNN-EDWARDS
COLOR: CAVERNOUS
SPEC: DE6364
- PAINTED STUCCO:**
MFG: DUNN-EDWARDS
COLOR: WHALE WATCHING
SPEC: DET512
- GLAZING:**
MFG: SOLARBAN
COLOR: SOLARBAN 90(2) SOLARGRAY + CLEAR
VLT: 26%
- STOREFRONT MULLIONS:**
MFG: KAWNEER
COLOR: DARK BRONZE
- STONE VENEER:**
MFG: CORONADO
COLOR: CAP COD GRAY
- METAL ROOF:**
MFG: ATAS
COLOR: CLASSIC BRONZE(01)

MATERIAL CALCULATIONS -	
1 - FRENCH WHITE - 35.83%	
2 - STONE MASON - 9.19%	
4 - WHALE WATCHING - 37%	
7 - STONE VENEER - 17.9%	

NOTE:
BACKSIDE OF PARAPET TO BE FINISHED
THE SAME AS THE FRONT FACING FACADE

PRIMARY FACADE

ENTRY ELEMENT PROJECTION HEIGHT (H) = 24-FEET
(H)25% = 6-FEET

PROJECTIONS HEIGHT (H) = 17.8-FEET
(H)25% = 4.4-FEET

APPROVED:
I hereby certify that the above and foregoing site plan for
development in the City of Rockwall, Texas, was approved by the
Planning & Zoning Commission on the 15 day of October,
2024.

Planning & Zoning Commission, Chairman
Director of Planning & Zoning



IRKAA
233 EAST HUGHES ROAD, PHOENIX, ARIZONA 85016
602.955.1900

DATE: 10-01-2024

OFFICE - ELEVATIONS

NOTES OF INTEREST: BELIEVE OR PAYMENT: CLOSURE
THE CONTRACTOR MAY ALLOW THE OWNER TO REQUIRE
THE SUBMISSION OF BELIEVE OR PAYMENT IN
BELIEVE CLOSURE OTHER THAN THIRTY DAYS. THIS
CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN PAYMENT
ON SOME ALTERNATIVE SCHEDULES AFTER
CERTIFICATION AND APPROVAL OF BELIEVE AND
ESTIMATES A WRITTEN DESCRIPTION OF SUCH OTHER
BELIEVE CLOSURE APPLICABLE TO THE PROJECT IS
AVAILABLE FROM OWNER OR DESIGNATED AGENT.

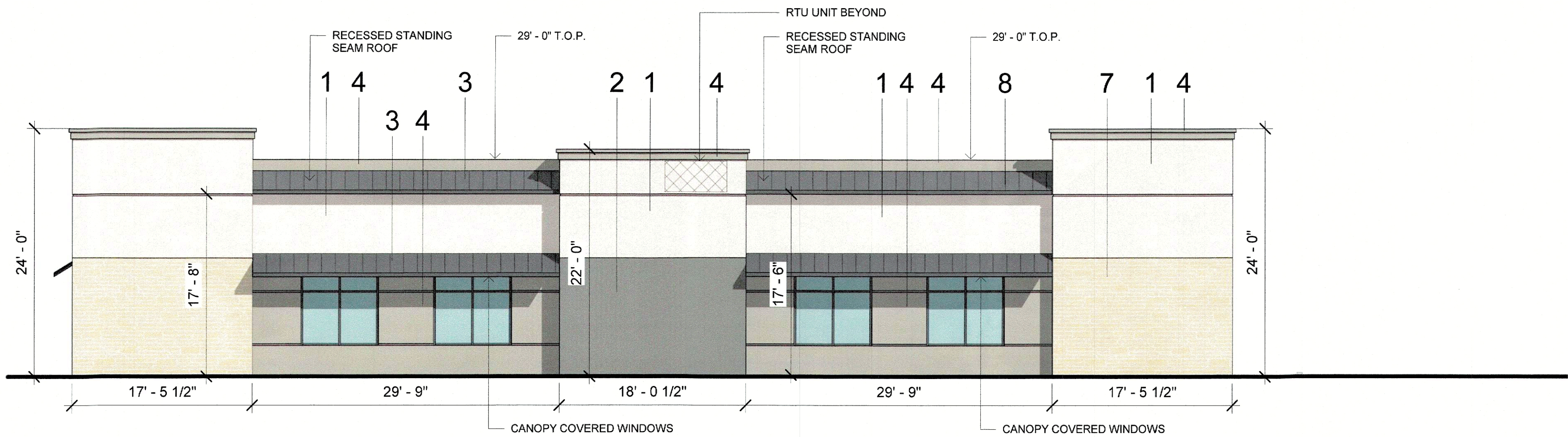
NAME:
ADDRESS:
CONTACT:
PHONE:

5543 HORIZON ROAD ROCKWALL, TEXAS
(SCHEMATIC DESIGN)

COPYRIGHT 2024. ALL RIGHTS RESERVED. THIS
DRAWING IS AN INSTRUMENT OF SERVICE. IT IS THE
PROPERTY OF ROBERT CHUCKER ARCHITECTS, INC.
AND ASSOCIATES, INC. AND MAY NOT BE REPRODUCED, OR
REPRODUCED IN ANY MANNER, WITHOUT WRITTEN
PERMISSION OF THE CORPORATION.

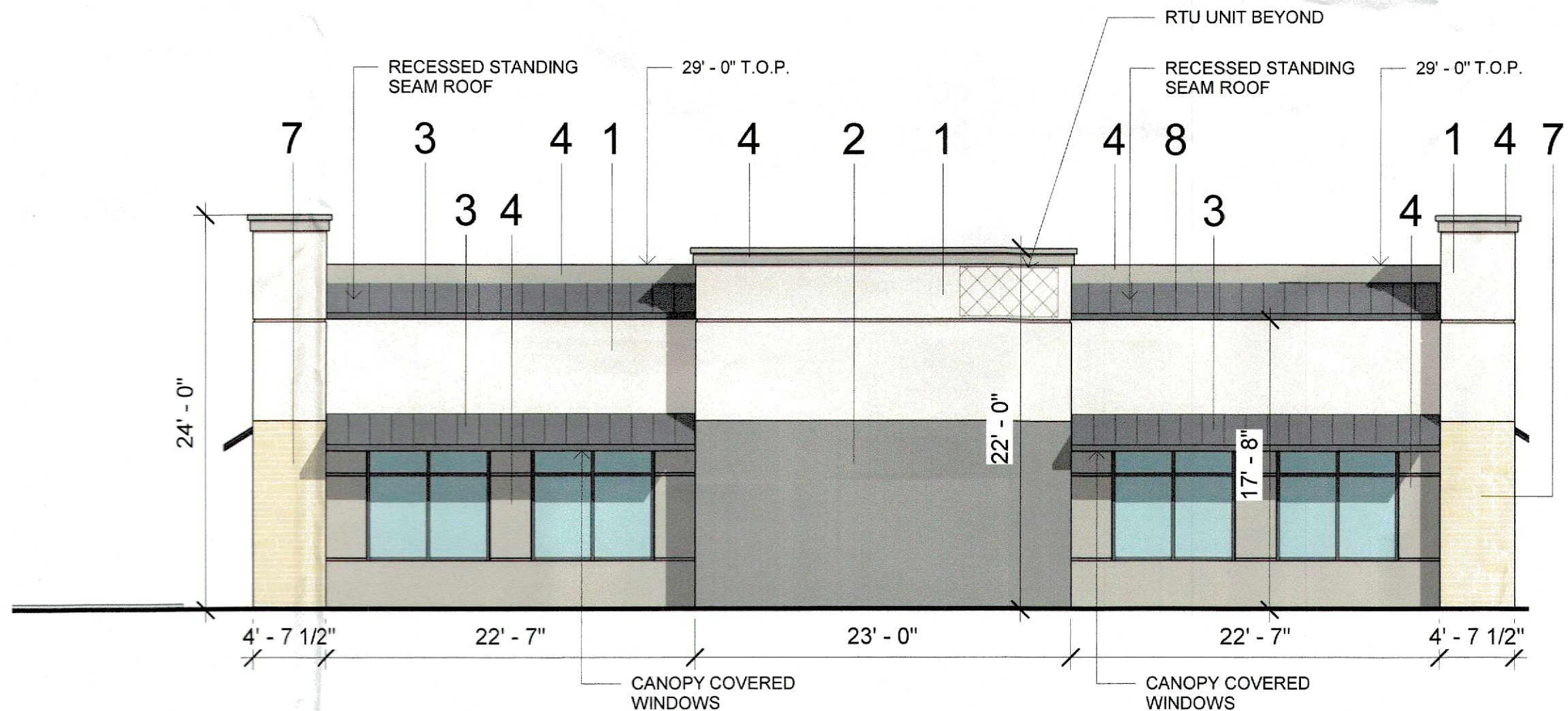
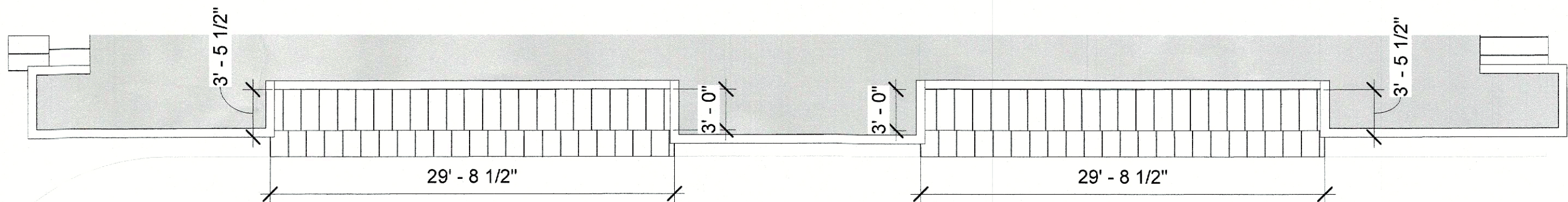
DESIGN BY: KR
DRAWN BY: KR
CHECKED BY: NF

A2.2
PROJECT #: 24216.50



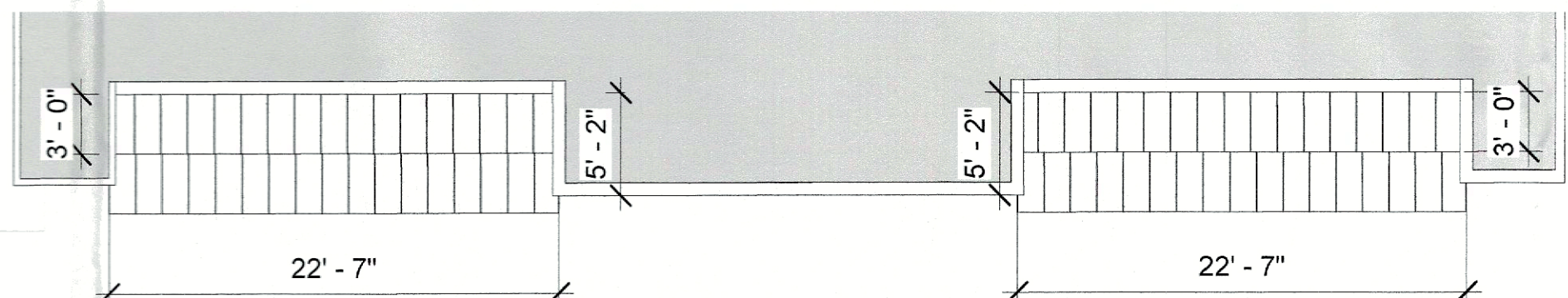
NORTH OFFICE BUILDING ELEVATION

1/8" = 1'-0"



EAST OFFICE BUILDING ELEVATION

1/8" = 1'-0"



MATERIALS & COLORS:

- 1 - **STUCCO-PAINTED:**
MFG: DUNN-EDWARDS
COLOR: FRENCH WHITE
SPEC: DEW311
- 2 - **STUCCO-PAINTED:**
MFG: DUNN-EDWARDS
COLOR: STONE MASON
SPEC: DET615
- 3 - **PAINTED METAL:**
MFG: DUNN-EDWARDS
COLOR: CAVERNOUS
SPEC: DE6364
- 4 - **PAINTED STUCCO:**
MFG: DUNN-EDWARDS
COLOR: WHALE WATCHING
SPEC: DET512
- 5 - **GLAZING:**
MFG: SOLARBAN
COLOR: SOLARBAN 90(2) SOLARGRAY + CLEAR
VLT: 26%
- 6 - **STOREFRONT MULLIONS:**
MFG: KAWNEER
COLOR: DARK BRONZE
- 7 - **STONE VENEER:**
MFG: CORONADO
COLOR: CAP COD GRAY
- 8 - **METAL ROOF:**
MFG: ATAS
COLOR: CLASSIC BRONZE(01)

MATERIAL CALCULATIONS -

1 - FRENCH WHITE - 40.30 %
2 - STONE MASON - 8.75%
4 - WHALE WATCHING - 34%
7 - STONE VENEER - 16.90%

NOTE:
BACKSIDE OF PARAPET TO BE FINISHED
THE SAME AS THE FRONT FACING FACADE

SECONDARY FACADE

ENTRY ELEMENT PROJECTION HEIGHT (H) = 24-FEET
(H)15% = 3.6-FEET

PROJECTIONS HEIGHT (H) = 17.8-FEET
(H)15% = 2.6-FEET

MATERIALS & COLORS:

- 1 - **STUCCO-PAINTED:**
MFG: DUNN-EDWARDS
COLOR: FRENCH WHITE
SPEC: DEW311
- 2 - **STUCCO-PAINTED:**
MFG: DUNN-EDWARDS
COLOR: STONE MASON
SPEC: DET615
- 3 - **PAINTED METAL:**
MFG: DUNN-EDWARDS
COLOR: CAVERNOUS
SPEC: DE6364
- 4 - **PAINTED STUCCO:**
MFG: DUNN-EDWARDS
COLOR: WHALE WATCHING
SPEC: DET512
- 5 - **GLAZING:**
MFG: SOLARBAN
COLOR: SOLARBAN 90(2) SOLARGRAY + CLEAR
VLT: 26%
- 6 - **STOREFRONT MULLIONS:**
MFG: KAWNEER
COLOR: DARK BRONZE
- 7 - **STONE VENEER:**
MFG: CORONADO
COLOR: CAP COD GRAY
- 8 - **METAL ROOF:**
MFG: ATAS
COLOR: CLASSIC BRONZE(01)

MATERIAL CALCULATIONS -

1 - FRENCH WHITE - 38.23%
2 - STONE MASON - 16.75%
4 - WHALE WATCHING - 38.5%
7 - STONE VENEER - 6.75%

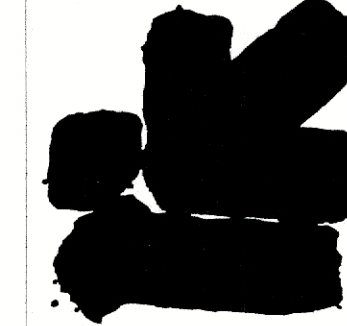
NOTE:
BACKSIDE OF PARAPET TO BE FINISHED
THE SAME AS THE FRONT FACING FACADE

SECONDARY FACADE

ENTRY ELEMENT PROJECTION HEIGHT (H) = 24-FEET
(H)15% = 3.6-FEET

PROJECTIONS HEIGHT (H) = 17.8-FEET
(H)15% = 2.6-FEET

APPROVED:
I hereby certify that the above and foregoing site plan for
development in the City of Rockwall, Texas, was approved by the
Planning & Zoning Commission on the 15 day of October, 2024.
[Signature]
Chairman
[Signature]
Director of Planning & Zoning



IRKAA
2233 EAST THOMAS ROAD, PHOENIX, ARIZONA 85016
602-955-3500
RKA.com

DATE: 10-01-2024

OFFICE - ELEVATIONS

NOTES:
1. ALL MATERIALS, FINISHES, AND COLORS TO BE USED IN THIS PROJECT SHALL BE APPROVED BY THE ARCHITECT PRIOR TO CONSTRUCTION.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF ROCKWALL, TEXAS.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF ROCKWALL, TEXAS.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF ROCKWALL, TEXAS.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF ROCKWALL, TEXAS.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF ROCKWALL, TEXAS.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF ROCKWALL, TEXAS.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF ROCKWALL, TEXAS.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF ROCKWALL, TEXAS.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF ROCKWALL, TEXAS.

NAME:
ADDRESS:
CONTACT:
PHONE:

5543 HORIZON ROAD ROCKWALL, TEXAS
(SCHEMATIC DESIGN)

COPYRIGHT 2024, ALL RIGHTS RESERVED. THIS DRAWING IS AN INSTRUMENT OF SERVICE. IT IS THE PROPERTY OF ROBERT KUBICK ARCHITECTS AND ASSOCIATES, P.C., AND MAY NOT BE REPRODUCED OR REPRODUCED HEREIN WITHOUT WRITTEN PERMISSION OF THE CORPORATION.

DESIGN BY: KR
DRAWN BY: KR
CHECKED BY: NF

A2.1
PROJECT #: 24216.50





APPROVED:
I hereby certify that the above and foregoing site plan for
development in the City of Rockwall, Texas, was approved by the
Planning & Zoning Commission on the 15 day of October,
2024
[Signature]
Planning & Zoning Commission,
Chairman

[Signature]
Director of Planning & Zoning

DESIGN BY: KR
DRAWN BY: KR
CHECKED BY: NF

A1.3
PROJECT #: 24216.50

5543 HORIZON ROAD ROCKWALL, TEXAS
(SCHEMATIC DESIGN)

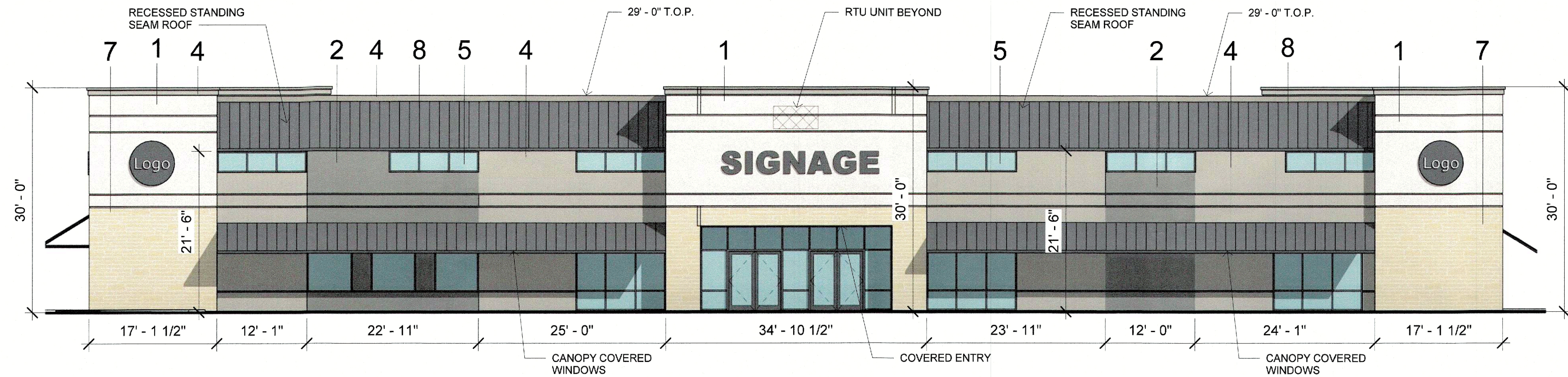
COPYRIGHT 2024. ALL RIGHTS RESERVED. THIS
DRAWING IS AN INSTRUMENT OF SERVICE. IT IS THE
PROPERTY OF ROBERT KIRK ARCHITECTS AND
ASSOCIATES, INC. AND MAY NOT BE REPRODUCED OR
REPRODUCED IN ANY MANNER WITHOUT THE
PERMISSION OF THE CORPORATION.

NOTE OF ALTERNATE BILLING OR PAYMENT CYCLE:
THE CONTRACTOR MAY ALLOW THE OWNER TO INCREASE
THE SUBMISSION OF BILLING OR ESTIMATES IN
BILLING CYCLES OTHER THAN THIRTY DAYS. THE
CONTRACT MAY ALLOW OWNER TO MAKE PAYMENT
ON BOND ACTUALLY SCHEDULED AFTER
CERTIFICATION AND APPROVAL OF BILLING AND
ESTIMATES, A WRITTEN DESCRIPTION OF SUCH OTHER
BILLING CYCLE APPLICABLE TO THE PROJECT IS
AVAILABLE FROM OWNER OR DESIGNATED AGENT.
NAME:
ADDRESS:
CONTACT:
PHONE:

GYM - 3D VIEWS

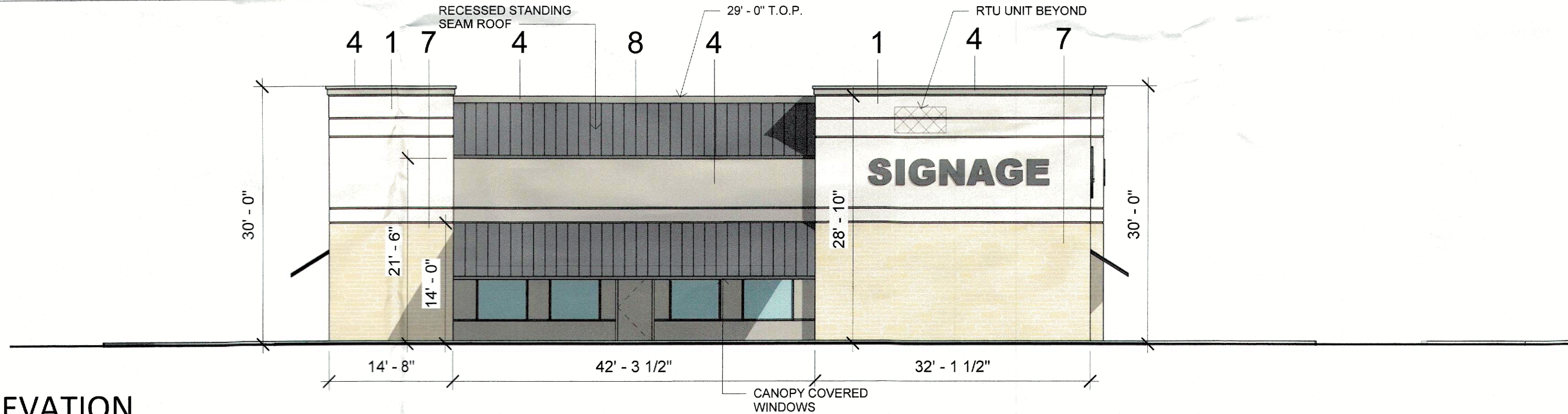
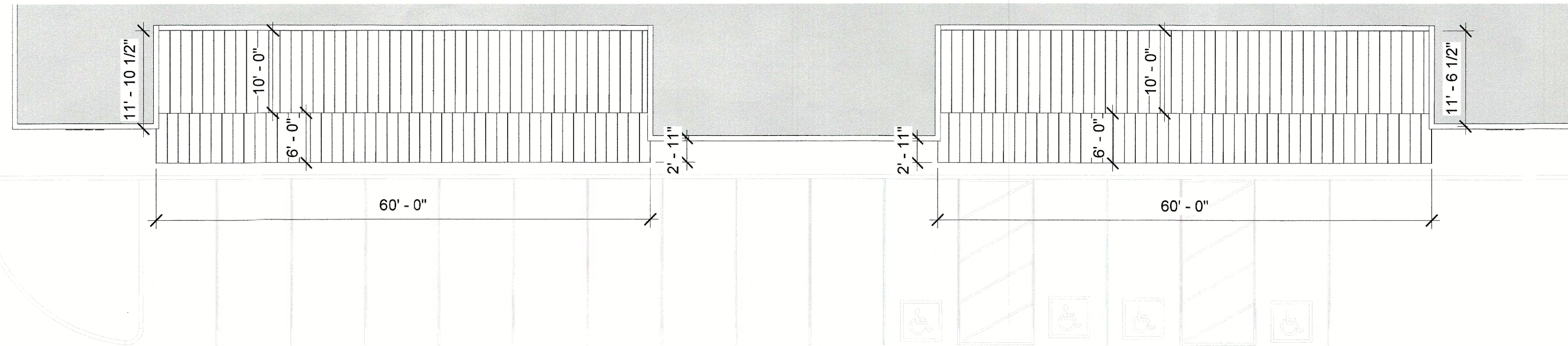
DATE: 10-01-2024

IRKAA
2233 EAST THOMAS ROAD, PHOENIX, ARIZONA 85016
602-955-9900
IRKAA.COM



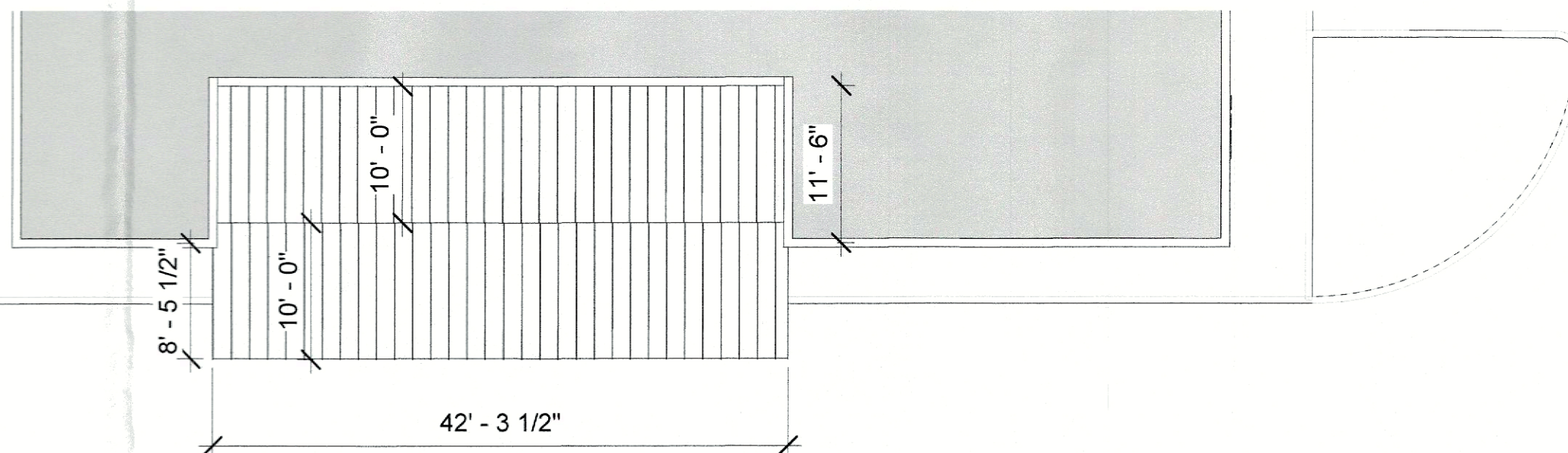
SOUTH ELEVATION

3/32" = 1'-0"



WEST ELEVATION

3/32" = 1'-0"



MATERIALS & COLORS:

- STUCCO-PAINTED:**
MFG: DUNN-EDWARDS
COLOR: FRENCH WHITE
SPEC: DEW311
- STUCCO-PAINTED:**
MFG: DUNN-EDWARDS
COLOR: STONE MASON
SPEC: DET615
- PAINTED METAL:**
MFG: DUNN-EDWARDS
COLOR: CAVERNOUS
SPEC: DE6364
- PAINTED STUCCO:**
MFG: DUNN-EDWARDS
COLOR: WHALE WATCHING
SPEC: DET512
- GLAZING:**
MFG: SOLARBAN
COLOR: SOLARBAN 90(2) SOLARGRAY + CLEAR
VLT: 26%
- STOREFRONT MULLIONS:**
MFG: KAWNEER
COLOR: DARK BRONZE
- STONE VENEER:**
MFG: CORONADO
COLOR: CAP COD GRAY
- METAL ROOF:**
MFG: ATAS
COLOR: CLASSIC BRONZE(01)

MATERIAL CALCULATIONS -	
1 - FRENCH WHITE	- 28.85 %
2 - STONE MASON	- 16.15%
4 - WHALE WATCHING	- 36.20%
7 - STONE VENEER	- 18.80%

NOTE:
BACKSIDE OF PARAPET TO BE FINISHED
THE SAME AS THE FRONT FACING FACADE

SECONDARY FACADE

ENTRY ELEMENT PROJECTION HEIGHT (H) = 30-FEET
(H)15% = 4.6-FEET

PROJECTIONS HEIGHT (H) = 21.6-FEET
(H)15% = 3.2-FEET

MATERIALS & COLORS:

- STUCCO-PAINTED:**
MFG: DUNN-EDWARDS
COLOR: FRENCH WHITE
SPEC: DEW311
- STUCCO-PAINTED:**
MFG: DUNN-EDWARDS
COLOR: STONE MASON
SPEC: DET615
- PAINTED METAL:**
MFG: DUNN-EDWARDS
COLOR: CAVERNOUS
SPEC: DE6364
- PAINTED STUCCO:**
MFG: DUNN-EDWARDS
COLOR: WHALE WATCHING
SPEC: DET512
- GLAZING:**
MFG: SOLARBAN
COLOR: SOLARBAN 90(2) SOLARGRAY + CLEAR
VLT: 26%
- STOREFRONT MULLIONS:**
MFG: KAWNEER
COLOR: DARK BRONZE
- STONE VENEER:**
MFG: CORONADO
COLOR: CAP COD GRAY
- METAL ROOF:**
MFG: ATAS
COLOR: CLASSIC BRONZE(01)

MATERIAL CALCULATIONS -	
1 - FRENCH WHITE	- 35.50%
4 - WHALE WATCHING	- 32.32%
7 - STONE VENEER	- 32.17%

NOTE:
BACKSIDE OF PARAPET TO BE FINISHED
THE SAME AS THE FRONT FACING FACADE

PRIMARY FACADE

ENTRY ELEMENT PROJECTION HEIGHT (H) = 30-FEET
(H)25% = 7.6-FEET

LENGHT (L) = 42.375-FEET
(L)25% = 10.6-FEET

APPROVED:
I hereby certify that the above and foregoing site plan for
development in the City of Rockwall, Texas, was approved by the
Planning & Zoning Commission on the 15 day of October,
2024.

Planning & Zoning Commission, Chairman
Director of Planning & Zoning



IRKAA
2333 EAST THOMAS ROAD, PHOENIX, ARIZONA 85016
602-955-3900
IRKAA.com

DATE: 10-01-2024

GYM - ELEVATIONS

NOTES OF MATERIALS BEING OR PAYMENT ONLY.
THIS CONTRACTOR MAY ALLOW THE OWNER TO INSURE
THE SUBMITTAL OF BUILDING OR ESTIMATE IN
BUILDING CYCLES OTHER THAN THIRTY DAYS. THIS
CONTRACT MAY ALLOW OWNER TO MAKE PAYMENT
ON SOME ALTERNATIVE SCHEDULE AFTER
CITY/COUNTY AND SUPPLIER OF BUILDING AND
ESTIMATE. A WRITTEN DESCRIPTION OF SUCH OTHER
BUILDING CYCLES APPLICABLE TO THE PROJECT IS
AVAILABLE FROM OWNER OR DESIGNATED AGENT.

NAME:
ADDRESS:
CONTACT:
PHONE:

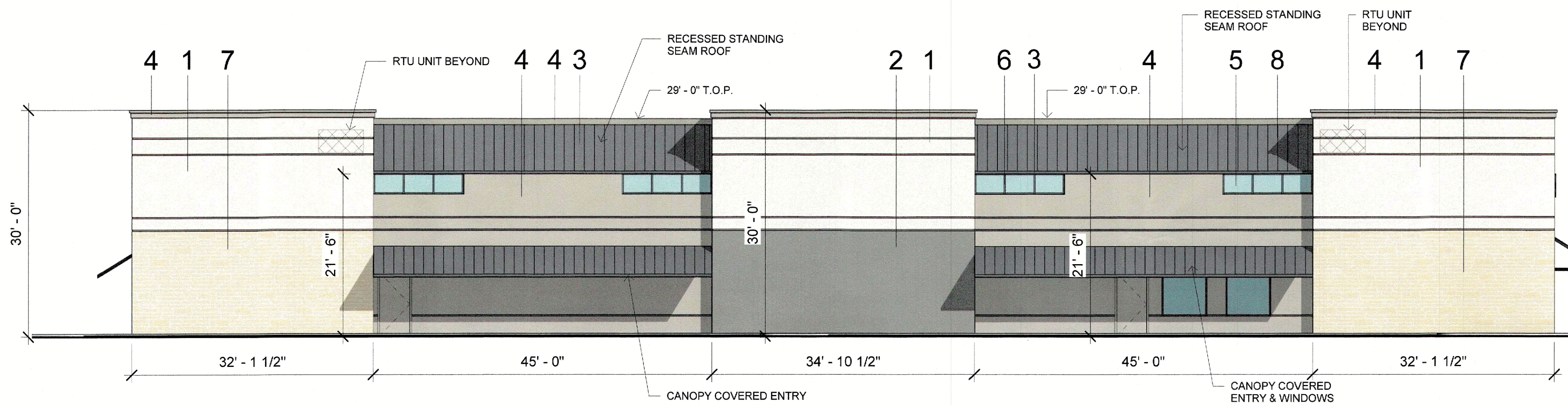
5543 HORIZON ROAD ROCKWALL, TEXAS
(SCHEMATIC DESIGN)

COPYRIGHT 2021. ALL RIGHTS RESERVED. THIS
DRAWING IS AN INSTRUMENT OF SERVICE. IT IS THE
PROPERTY OF ROBERT KILMER ARCHITECTS AND
ASSOCIATES, INC. AND MAY NOT BE REPRODUCED OR
REPRODUCTION HEREIN USED, WITHOUT WRITTEN
PERMISSION OF THE CORPORATION.

DESIGN BY: KR
DRAWN BY: KR
CHECKED BY: NF

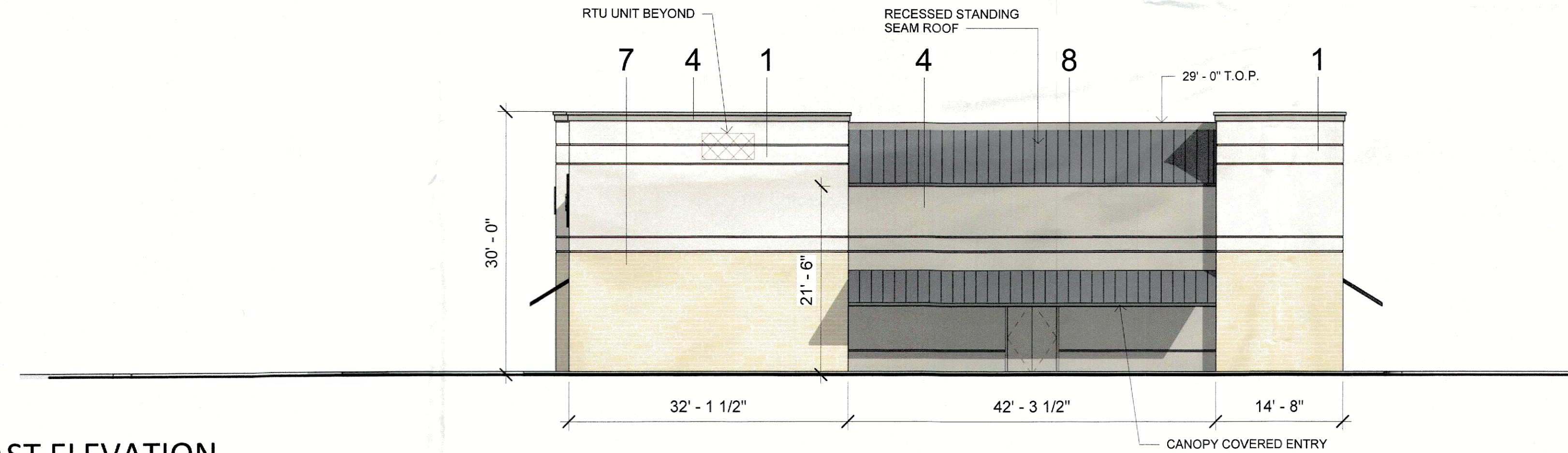
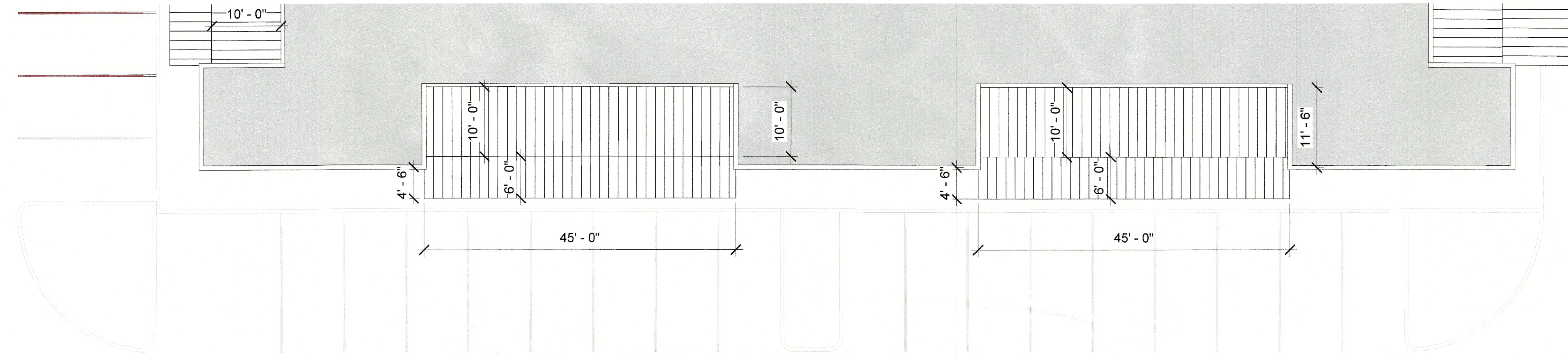
A1.2
PROJECT #: 24216.50

N
↑



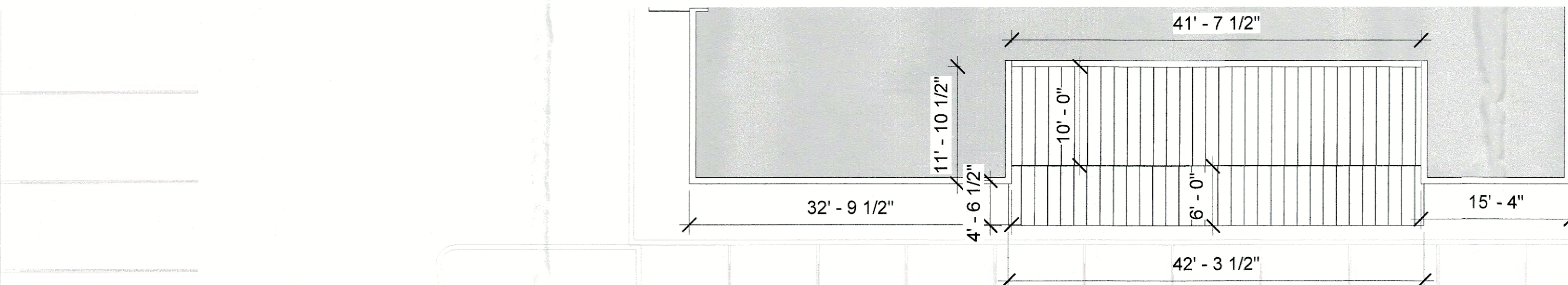
NORTH ELEVATION

3/32" = 1'-0"



EAST ELEVATION

3/32" = 1'-0"



MATERIALS & COLORS:

- STUCCO-PAINTED:**
MFG: DUNN-EDWARDS
COLOR: FRENCH WHITE
SPEC: DEW311
- STUCCO-PAINTED:**
MFG: DUNN-EDWARDS
COLOR: STONE MASON
SPEC: DET615
- PAINTED METAL:**
MFG: DUNN-EDWARDS
COLOR: CAVERNOUS
SPEC: DE6364
- PAINTED STUCCO:**
MFG: DUNN-EDWARDS
COLOR: WHALE WATCHING
SPEC: DET512
- GLAZING:**
MFG: SOLARBAN
COLOR: SOLARBAN 90(2) SOLARGRAY + CLEAR
VLT: 26%
- STOREFRONT MULLIONS:**
MFG: KAWNEER
COLOR: DARK BRONZE
- STONE VENEER:**
MFG: CORONADO
COLOR: CAP COD GRAY
- METAL ROOF:**
MFG: ATAS
COLOR: CLASSIC BRONZE(01)

MATERIAL CALCULATIONS -	
1 - FRENCH WHITE - 30.75 %	
2 - STONE MASON - 9.80%	
4 - WHALE WATCHING - 41.38%	
7 - STONE VENEER - 18%	

NOTE:
BACKSIDE OF PARAPET TO BE FINISHED
THE SAME AS THE FRONT FACING FACADE

SECONDARY FACADE

ENTRY ELEMENT PROJECTION HEIGHT (H) = 30-FEET
(H)15% = 4.6-FEET

PROJECTIONS HEIGHT (H) = 21.6-FEET
(H)15% = 3.2-FEET

MATERIALS & COLORS:

- STUCCO-PAINTED:**
MFG: DUNN-EDWARDS
COLOR: FRENCH WHITE
SPEC: DEW311
- STUCCO-PAINTED:**
MFG: DUNN-EDWARDS
COLOR: STONE MASON
SPEC: DET615
- PAINTED METAL:**
MFG: DUNN-EDWARDS
COLOR: CAVERNOUS
SPEC: DE6364
- PAINTED STUCCO:**
MFG: DUNN-EDWARDS
COLOR: WHALE WATCHING
SPEC: DET512
- GLAZING:**
MFG: SOLARBAN
COLOR: SOLARBAN 90(2) SOLARGRAY + CLEAR
VLT: 26%
- STOREFRONT MULLIONS:**
MFG: KAWNEER
COLOR: DARK BRONZE
- STONE VENEER:**
MFG: CORONADO
COLOR: CAP COD GRAY
- METAL ROOF:**
MFG: ATAS
COLOR: CLASSIC BRONZE(01)

MATERIAL CALCULATIONS -	
1 - FRENCH WHITE - 32.62%	
4 - WHALE WATCHING - 37.80%	
7 - STONE VENEER - 29.56%	

NOTE:
BACKSIDE OF PARAPET TO BE FINISHED
THE SAME AS THE FRONT FACING FACADE

SECONDARY FACADE

ENTRY ELEMENT PROJECTION HEIGHT (H) = 30-FEET
(H)15% = 4.6-FEET

PROJECTIONS HEIGHT (H) = 21.6-FEET
(H)15% = 3.2-FEET

APPROVED:
I hereby certify that the above and foregoing site plan for
development in the City of Rockwall, Texas, was approved by the
Planning & Zoning Commission on the 15 day of October, 2024.

[Signature]
Planning & Zoning Commission, Chairman

[Signature]
Director of Planning & Zoning



IRKAA
233 EAST THOMAS ROAD, PHOENIX, ARIZONA 85016
602-955-3900
RKAA.com

DATE: 10-01-2024

GYM - ELEVATIONS

NOTES:
1. ALL DIMENSIONS ARE IN FEET AND INCHES.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF ROCKWALL, TEXAS.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF ROCKWALL, TEXAS.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF ROCKWALL, TEXAS.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF ROCKWALL, TEXAS.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF ROCKWALL, TEXAS.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF ROCKWALL, TEXAS.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF ROCKWALL, TEXAS.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF ROCKWALL, TEXAS.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF ROCKWALL, TEXAS.

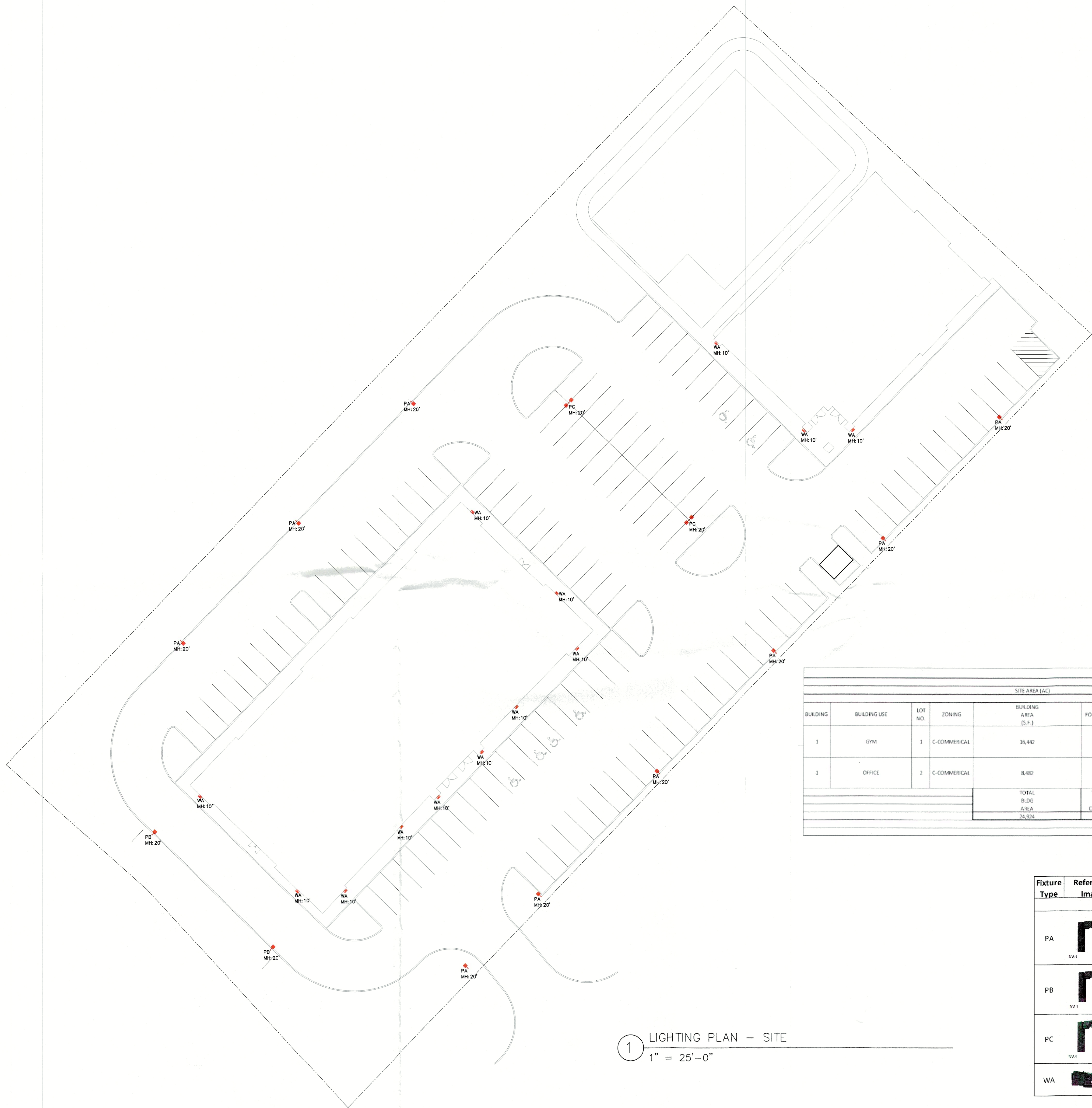
5543 HORIZON ROAD ROCKWALL, TEXAS
(SCHEMATIC DESIGN)

COPYRIGHT 2024, ALL RIGHTS RESERVED. THIS
DRAWING IS A PRELIMINARY DESIGN. IT IS THE
PROPERTY OF IRKAA ARCHITECTS AND
ASSOCIATES, INC. AND SHALL NOT BE REPRODUCED, OR
REPRODUCED IN ANY MANNER WITHOUT WRITTEN
PERMISSION OF THE CORPORATION.

DESIGN BY: KR
DRAWN BY: KR
CHECKED BY: NF

A1.1
PROJECT #: 24216.50





APPROVED:
I hereby certify that the above and foregoing site plan for development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission on the 15 day of October, 2024.

[Signature]
Planning & Zoning Commission, Chairman

[Signature]
Director of Planning & Zoning

SITE INFORMATION																	
SITE AREA																	
SITE AREA (AC)											2.74 AC (119,354 SF)						
SITE DATA SUMMARY																	
BUILDING	BUILDING USE	LOT NO.	ZONING	BUILDING AREA (S.F.)	BLDG FOOTPRINT (S.F.)	FLOOR AREA RATIO	LOT AREA (S.F.)	LOT COV. (%)	IMPERVIOUS LOT COVERAGE (S.F.)	PROPOSED BUILDING HEIGHT	F.O.H. BUILDING STORIES	PARKING RATIO	PARKING REQUIRED	TOTAL PARKING REQUIRED	TOTAL PARKING PROVIDED	HANDICAP PARKING REQUIRED	HANDICAP PARKING PROVIDED
1	GYM	1	C-COMMERICAL	16,442	16,442	0.274	59,497	27.37	46,430	42'	1+ Mezzanine	1/200 (GYM)	83	83	83	4	4
1	OFFICE	2	C-COMMERICAL	8,482	8,482	0.14	59,025	14.37	37,681	24'	1	1/300 (OFFICE)	29	29	33	2	2
				TOTAL BLDG AREA	TOTAL LOT COV. (%)	TOTAL FLOOR AREA RATIO											
				24,924	41.74	0.417											
NOTE: HANDICAP PARKING IS PROVIDED IN ACCORDANCE WITH ADA STANDARDS																	

Fixture Type	Reference Image	Description	Dimming Interface	Product Registration ID	Lamps, CCT, Lumen, Optics, CRI	Input Voltage	Fixture Wattage	Mounting, Finishes, Remarks & Other Notes
EXTERIOR FIXTURE TYPES								
PA		Single-Head Area New Pole, Type IV Distribution with House Side Shield	N/A	CLI-NV-1-T4-32L-1-40K7-UNV-XX-XX-HSS	Integrated LED Module, 4000k, 12,826lm, Type IV Distribution, w/Backlite Control, 70CRI	UNI-VAC	106	Single-head Mounted to 20'-0" Existing pole. Engineer to determine required base/pole size/height. Finish TBD.
PB		Single-Head Area New Pole, Type III Distribution	N/A	CLI-NV-1-T3-32L-1-40K7-UNV-XX-XX-HSS	Integrated LED Module, 4000k, 13,038lm, Type III Distribution, w/Backlite Control, 70CRI	UNI-VAC	106	Single-head Mounted to 20'-0" Existing pole. Engineer to determine required base/pole size/height. Finish TBD.
PC		Double-Head Area New Pole, Type V Distribution	N/A	CLI-NV-1-T3-32L-1-40K7-UNV-XX-XX-HSS	2-Integrated LED Module, 4000k, (2)13,144lm, Type V Distribution, 70CRI	UNI-VAC	212	Double-heads Mounted to 20'-0" New pole. Engineer to determine required base/pole size/height. Finish TBD.
WA		Wall pack	TBD	CLI-NV-W-T4-16L-7-40K7-UNV-WM-XX-XX-XX	Integrated LED, 4000K, 4,651lm, Type 4 Distribution	UNI-VAC	37	Direct mounted to building at 10'0" AFG. Finish TBD.

1 LIGHTING PLAN - SITE
1" = 25'-0"

PLATINUM
HORIZON
STREET NUMBER
CITY, ST ZIP

ALL PLANS AND SPECIFICATIONS ARE THE PROPERTY OF
COMMERCIAL LIGHTING INC. DO NOT SCALE DRAWINGS.
ALL MEASUREMENTS MUST BE CHECKED ON SITE BY
THE CONTRACTOR AND ANY DISCREPANCIES BROUGHT
TO THE ATTENTION OF THE DESIGNER OR ARCHITECT.

Title

LIGHTING PLAN
SITE

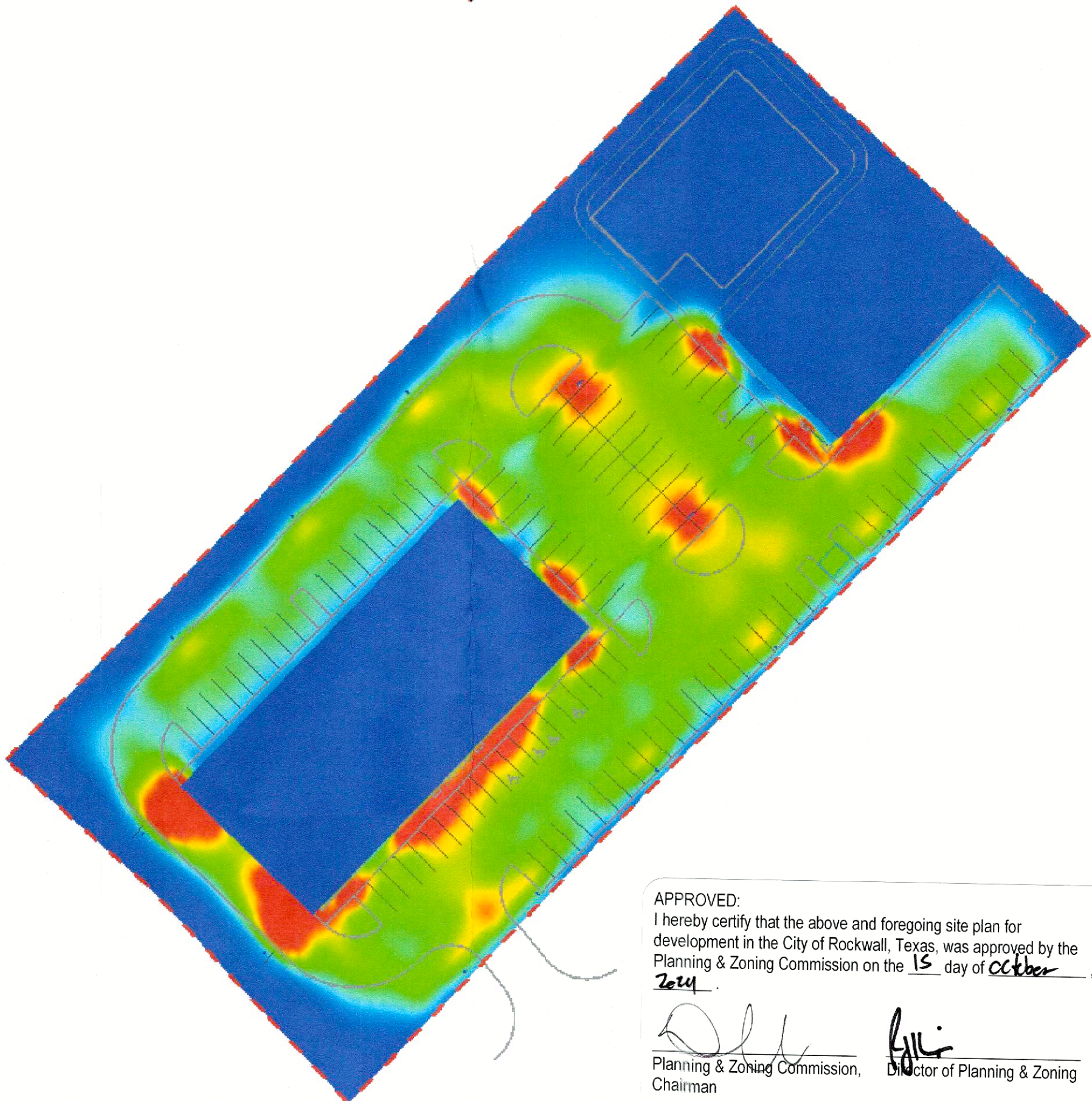
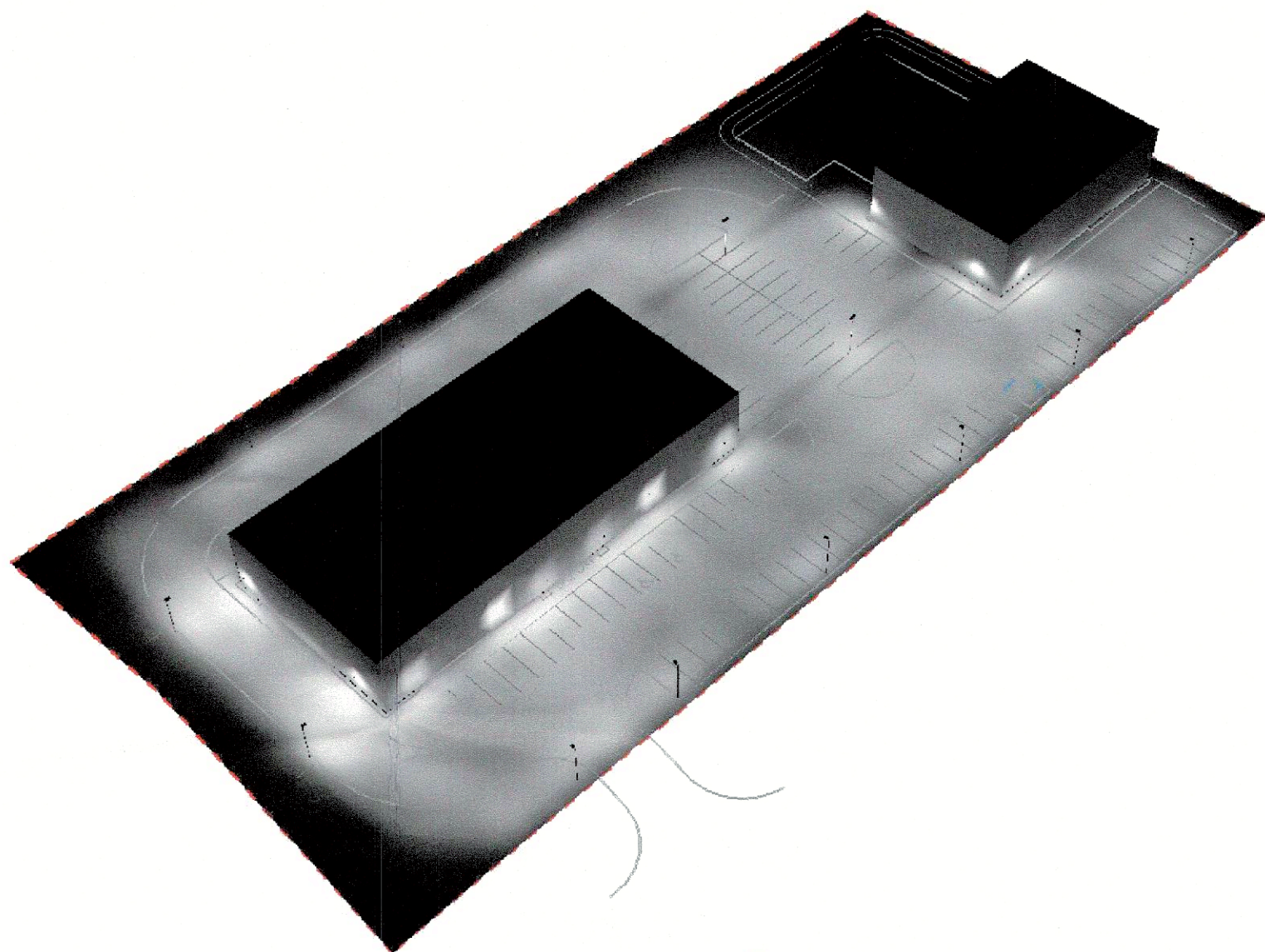
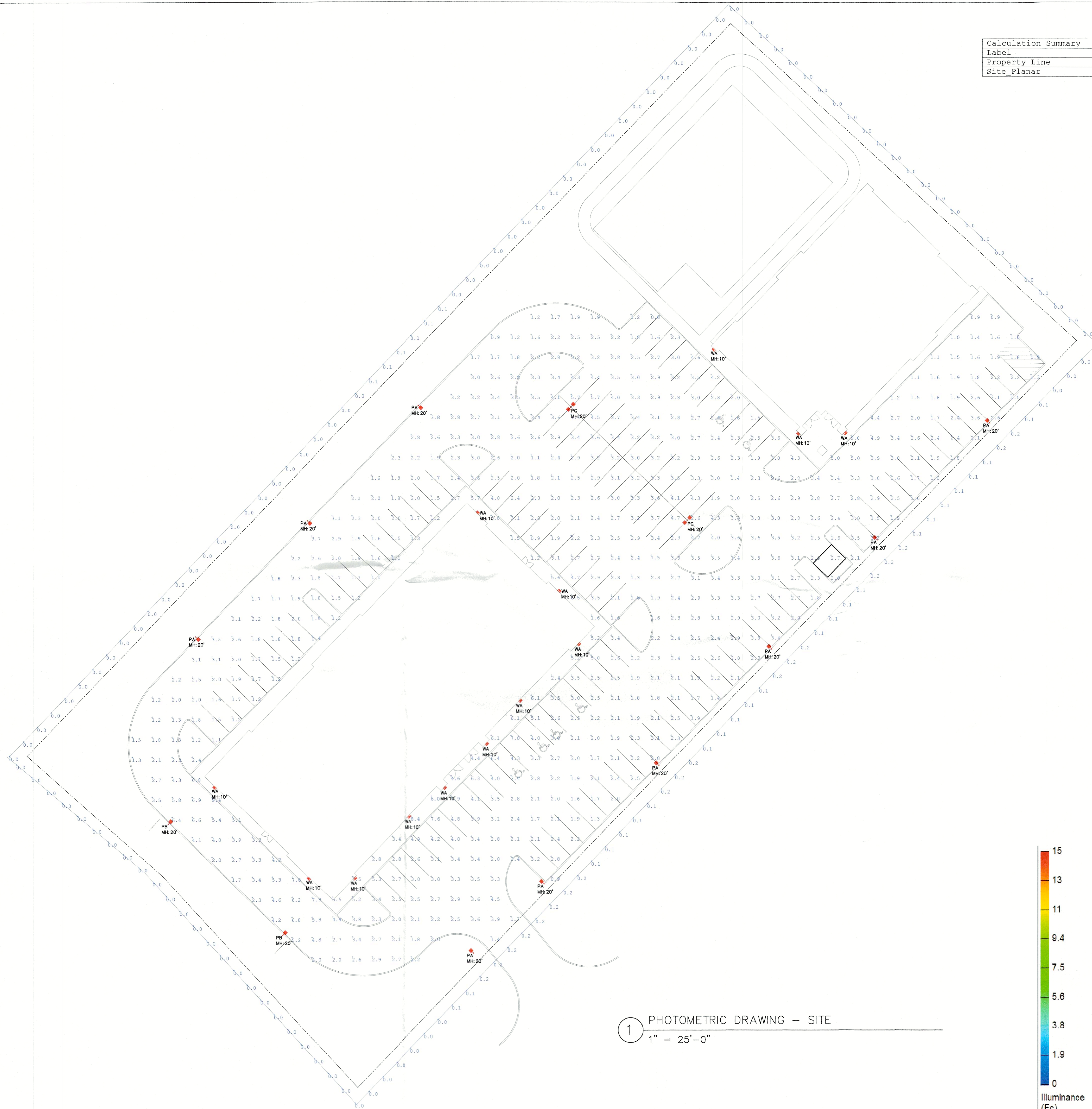
Scale AS SHOWN
Checked by M.CH
Job No.
Sheet No.

Date 08.16.2024
Checked by I.D.

LDE-1.1

No.	Issue	Date
0.		08.16.2024
1.		10.03.2024

Calculation Summary						
Label	CalcType	Units	Avg	Max	Min	Avg/Min
Property Line	Illuminance	Fc	0.04	0.2	0.0	N.A.
Site Planar	Illuminance	Fc	2.84	9.4	0.8	3.55



APPROVED:
I hereby certify that the above and foregoing site plan for development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission on the 15 day of October, 2024.

[Signature]
Planning & Zoning Commission, Chairman

[Signature]
Director of Planning & Zoning

PLATINUM
HORIZON
STREET NUMBER
CITY, ST ZIP

ALL PLANS AND SPECIFICATIONS ARE THE PROPERTY OF COMMERCIAL LIGHTING INC. DO NOT SCALE DRAWINGS. ALL MEASUREMENTS MUST BE CHECKED ON SITE BY THE CONTRACTOR AND ANY DISCREPANCIES BROUGHT TO THE ATTENTION OF THE DESIGNER OR ARCHITECT.

PHOTOMETRIC
DRAWING
SITE