



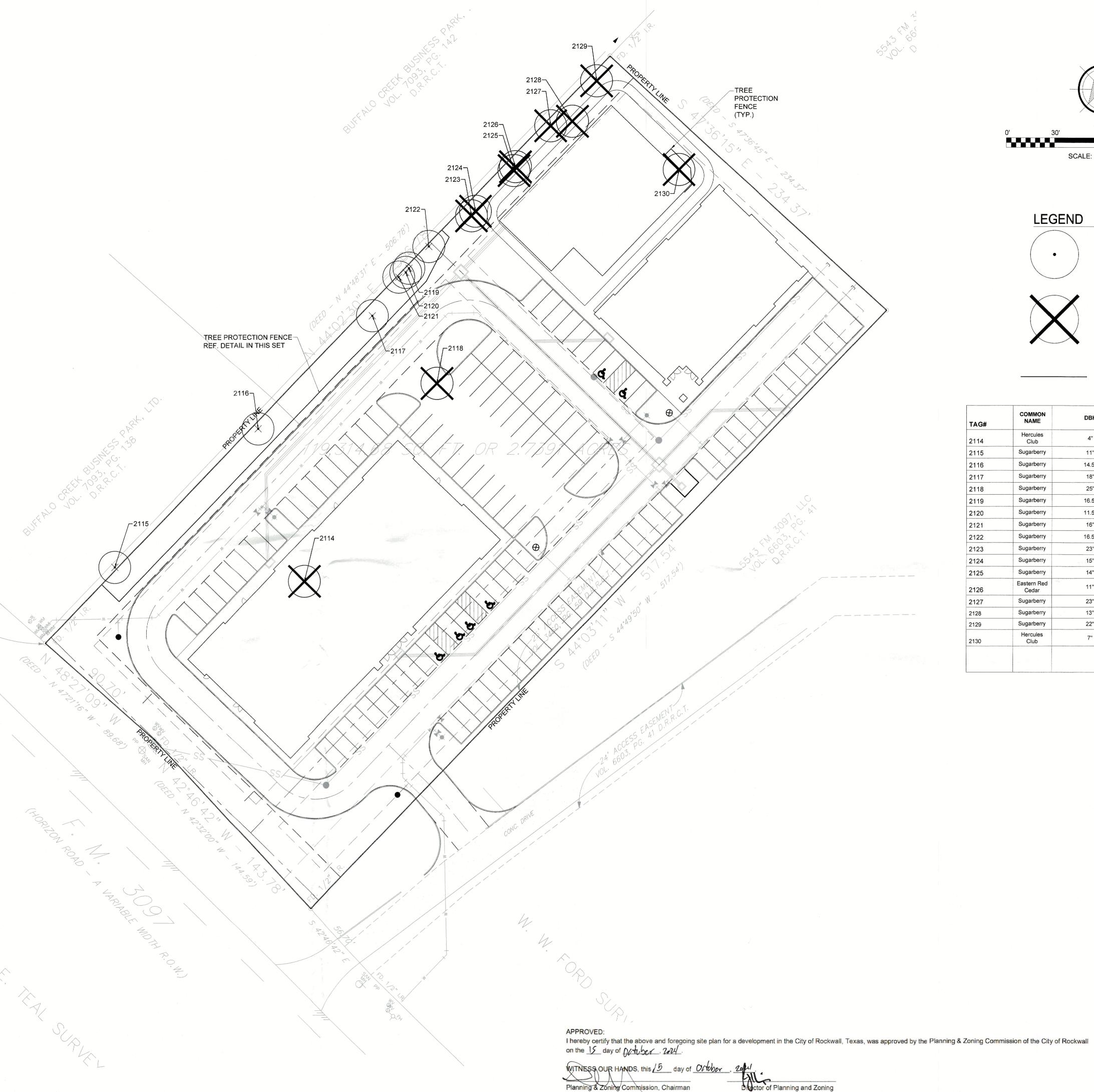
5543 HORIZON RD

5543 HORIZON RD ROCKWALL, TX DATE: 09-10-2024 (PRELIMINARY)

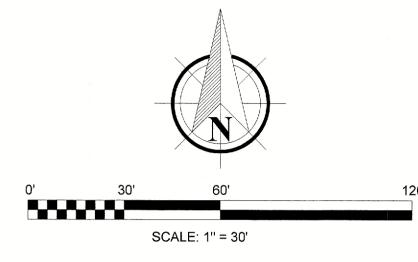
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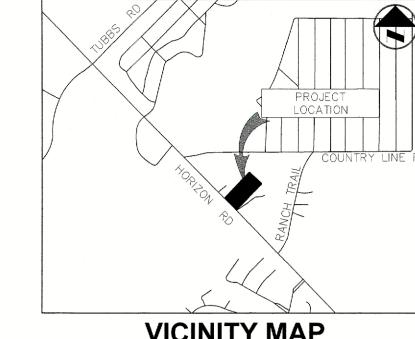
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OF THE ARCHITECT.

APPROVED:
I hereby certify that the above and foregoing site plan for development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission on the day of <u>October</u>,



Planning & Zoning Commission, Chairman





VICINITY MAP (NOT TO SCALE)

LEGEND PRESERVED TREE

TREE TO BE REMOVED

TREE PROTECTION FENCE

TAG#	COMMON NAME	DBH	STATUS	TREE HEALTH	DISEASE	INSECT	STRUCTURA L	MITIGATION INCHES
2114	Hercules Club	4"	Demo	4	N	N	N	4
2115	Sugarberry	11"	Remain	2	Y	N	N	0
2116	Sugarberry	14.5"	Remain	4	N	N	N	0
2117	Sugarberry	18"	Remain	4	N	N	N	0
2118	Sugarberry	25"	Demo	4	N	N	N	0
2119	Sugarberry	16.5"	Remain	4	N	N	N	0
2120	Sugarberry	11.5"	Remain	4	N	N	N	0
2121	Sugarberry	16"	Remain	4	N	N	N	0
2122	Sugarberry	16.5"	Remain	4	N	N	N	0
2123	Sugarberry	23"	Demo	4	N	N	N	0
2124	Sugarberry	15"	Demo	4	N	N	N	0
2125	Sugarberry	14"	Demo	4	N	N	N	0
2126	Eastern Red Cedar	11"	Demo	4	N	N	N	4
2127	Sugarberry	23"	Demo	4	N	N	N	0
2128	Sugarberry	13"	Demo	4	N	N	N	0
2129	Sugarberry	22"	Demo	4	N	N	N	0
2130	Hercules Club	7"	Demo	4	N	N	N	7
			тотл	AL MITIGATION IN	NCHES			15

TOTAL SITE AREA

119,354 SF (2.73 AC)

SITE PLAN CASE NUMBER: SP2024-040 HORIZON ROAD COMMERCIAL OFFICES 2.7391 ACRES (119316 SF.) BEING SITUATED IN THE W.W FORD SURVEY, ABSTRACT NO. 80 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS SUBMITTED: SEPTEMBER 13, 2024 RESUBMITTED: OCTOBER 1, 2024



BGE, Inc. 2595 Dallas Parkway, Suite 101 Frisco, TX 75034 Tel: 972-464-4800 • www.bgeinc.com TBPE Registration No. F-1046
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DEVELOPER PLATINUM CONSTRUCTION

1450 TL TOWNSEND DR. STE 100 ROCKWALL, TX 75032 TEL: (469) 222-1597 CONTACT: SHAWN VALK

OWNER

SARO PARTNERS LLC 1450 S. T L TOWNSEND

ROCKWALL, TX 75302 TEL: (000) 000-0000 CONTACT: JAY KANTER

OFFICI . 80, TRA

THESE PLANS ARE ISSUED FOR THE PURPOSE OF PRELIMINARY REVIEW AND ARE NOT INTENDED FOR CONSTRUCTION.

WHEN ISSUED IN FINAL FORM THEY WILL BE SEALED, SIGNED AND DATED.

RESPONSIBLE LANDSCAPE ARCHITECT:

MICHAEL STOTTLER, PLA

TEXAS REGISTRATION NO. 3743

BGE, INC.

TEXAS REGISTERED ENGINEERING

FIRM F-1046

!!CAUTION !! Contractor to Verify exact location & Depth of Exist Facilities Prior to any Construction

10/8/2024

CAUTION !!!

CONTACT: 1-800-DIG-TESS

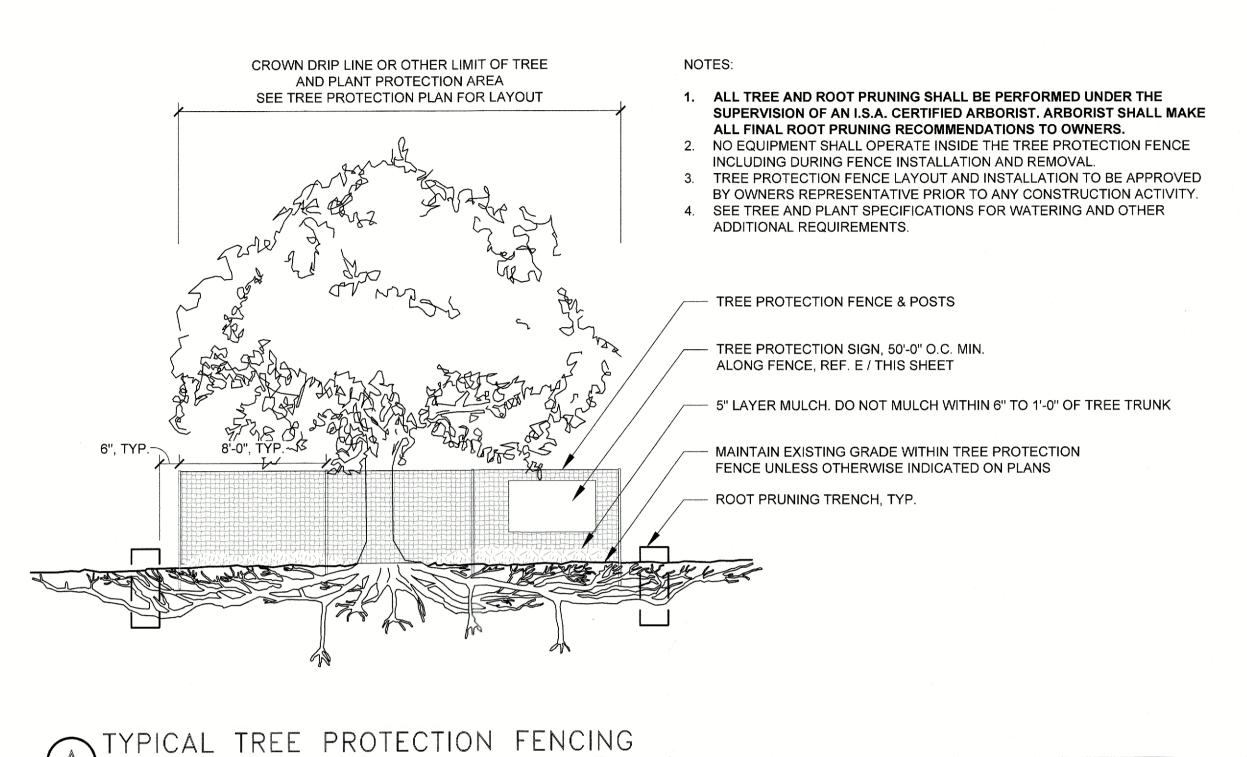
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DESIGNED BY: NPS DATE: 10/8/2024 PROJECT NUMBER: 13185-00

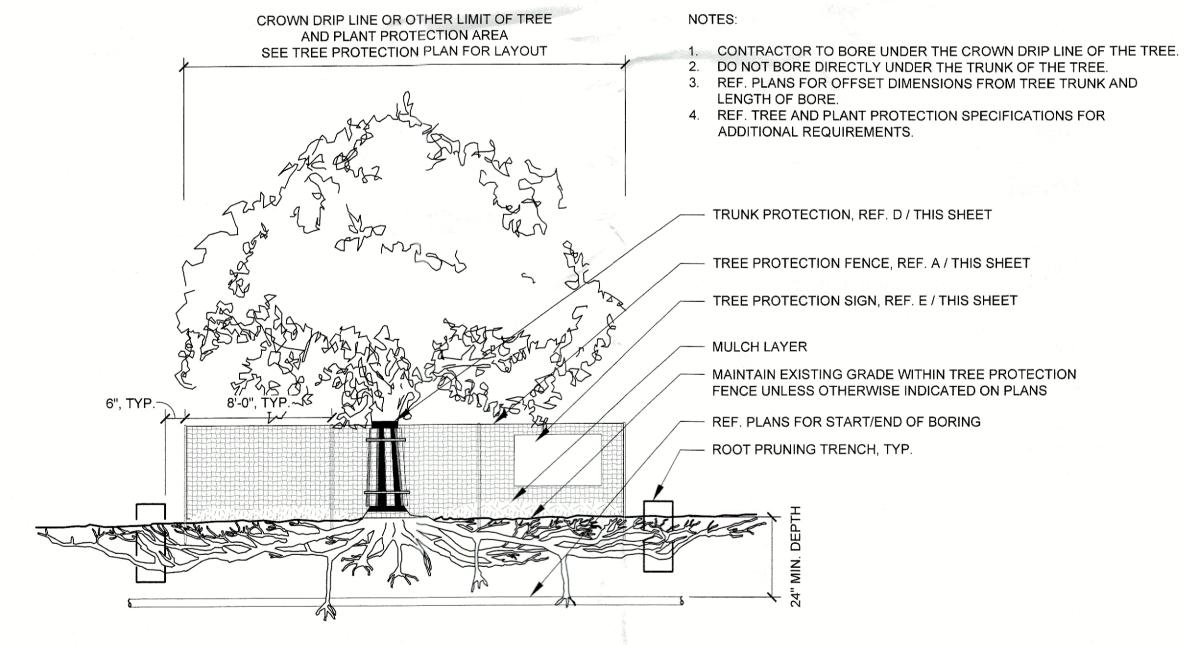
SHEET NO

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TREE PRESERVATION PLAN

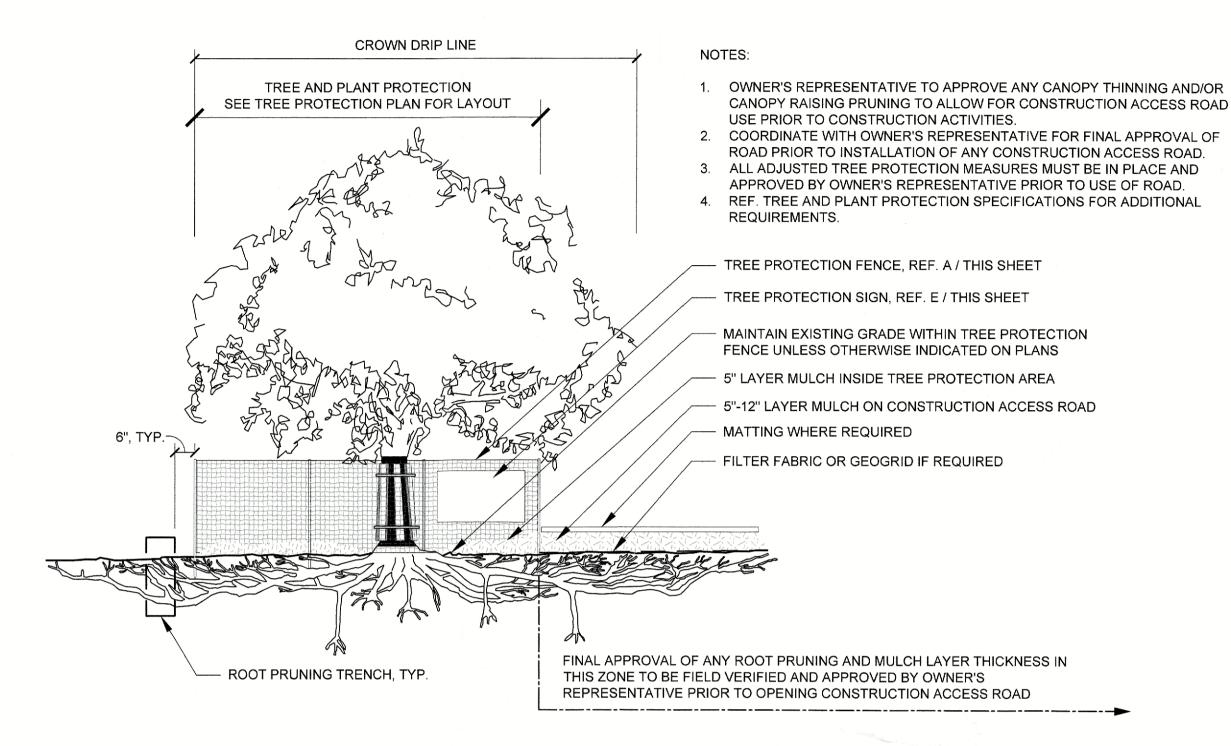


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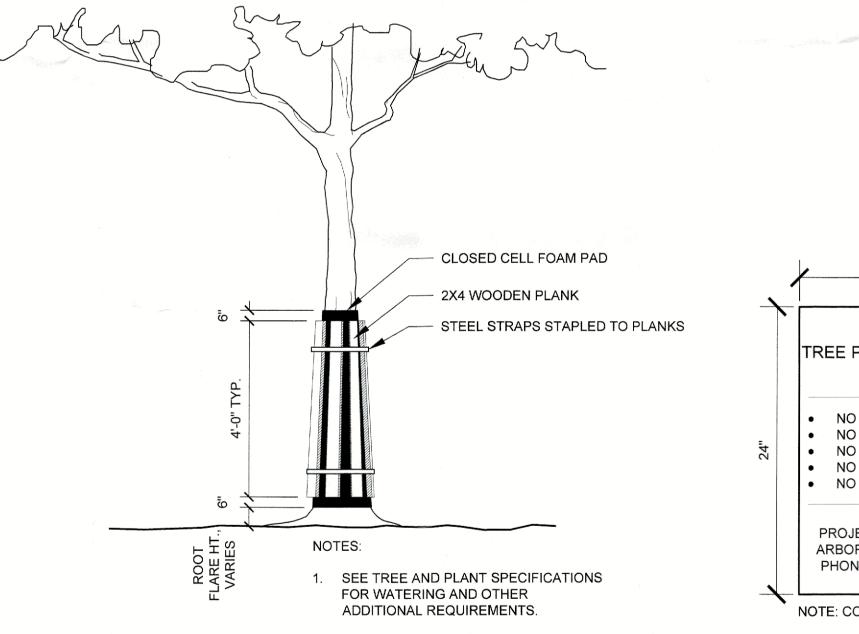
TREE PROTECTION: UTILITY BORING UNDER DROWN DRIP LINE

NOT TO SCALE



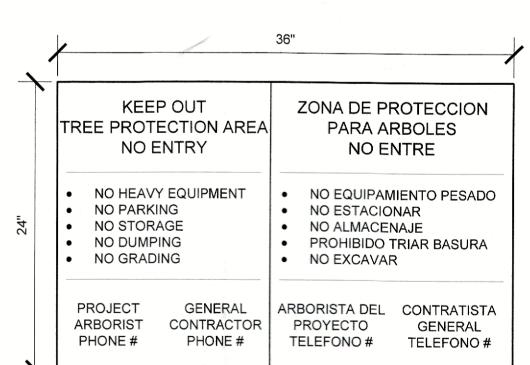
TREE PROTECTION: CONSTRUCTION ACCESS ROAD

NOT TO SCALE



TRUNK PROTECTION

NOT TO SCALE



NOTE: CONTRACTOR TO PROVIDE PHONE NUMBER INFORMATION

TRUNK PROTECTION
ENLARGEMENT

NOT TO SCALE

WITNESS OUR HANDS, this 15 day of October, 2011.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

SITE PLAN

CASE NUMBER: SP2024-040

HORIZON ROAD COMMERCIAL OFFICES
2.7391 ACRES (119316 SF.) BEING SITUATED IN
THE W.W FORD SURVEY, ABSTRACT NO. 80

CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

SUBMITTED: SEPTEMBER 13, 2024

RESUBMITTED: OCTOBER 1, 2024

BGE

BGE, Inc.
2595 Dallas Parkway, Suite 101
Frisco, TX 75034
Tel: 972-464-4800 ● www.bgeinc.com
TBPE Registration No. F-1046
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PLATINUM CONSTRUCTION

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ETAILS

ETAILS

OB00-000 (000) (000)

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80, TRACT

E PRESERVATION DETAIL
ON RD. COMMERCIAL OFFIC
RD SURVEY, ABSTRACT NO. 80, TR

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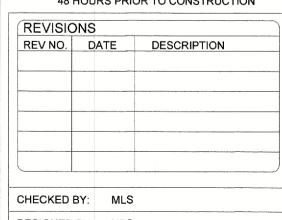
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MICHAEL STOTTLER, PLA
TEXAS REGISTRATION NO. 3743
BGE, INC.
TEXAS REGISTERED ENGINEERING
FIRM F-1046
10/8/2024

!!CAUTION !!

Contractor to Verify exact location & Depth of
Exist Facilities Prior to any Construction
Activities

CAUTION !!!

CONTACT: 1-800-DIG-TESS
48 HOURS PRIOR TO CONSTRUCTION



DESIGNED BY: NPS

DATE: 10/8/2024

PROJECT NUMBER: 13185-00

SHEET NO

L1.01

TREE PRESERVATION DETAILS

A. SCOPE OF WORK

1. THE WORK CONSISTS OF FURNISHING ALL LABOR, MATERIALS, EQUIPMENT, TOOLS, TRANSPORTATION, AND ANY OTHER APPURTENANCES NECESSARY FOR THE COMPLETION OF THIS PROJECT AS SHOWN ON THE DRAWINGS, AS INCLUDED IN THE PLANT LIST, AND AS HEREIN SPECIFIED.

2. WORK SHALL INCLUDE MAINTENANCE AND WATERING OF ALL PLANTING AREAS OF THIS CONTRACT UNTIL CERTIFICATION OF ACCEPTABILITY BY THE OWNER.

B. PROTECTION OF EXISTING STRUCTURES

ALL EXISTING BUILDINGS, WALKS, WALLS, PAVING, PIPING, AND OTHER ITEMS OF CONSTRUCTION AND PLANTING ALREADY COMPLETED OR ESTABLISHED SHALL BE PROTECTED FROM DAMAGE BY THIS CONTRACTOR UNLESS OTHERWISE SPECIFIED. ALL DAMAGE RESULTING FROM NEGLIGENCE SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE OWNER.

C. PROTECTION OF EXISTING PLANT MATERIALS OUTSIDE LIMIT OF WORK

THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL UNAUTHORIZED CUTTING OR DAMAGE OF TREES AND SHRUBS EXISTING OR OTHERWISE, CAUSED BY CARELESS OPERATION OF EQUIPMENT, STOCKPILING OF MATERIALS, ETC. THIS SHALL INCLUDE COMPACTION BY DRIVING OR PARKING INSIDE THE DRIP-LINE OR THE SPILLING OF OIL, GASOLINE, OR OTHER DELETERIOUS MATERIALS WITHIN THE DRIP-LINE. NO MATERIALS SHALL BE BURNED WHERE THE HEAT WILL DAMAGE ANY PLANT. TREES KILLED OR DAMAGED SO THAT THEY ARE MISSHAPEN AND/ OR UNSIGHTLY SHALL BE REPLACED AT THE COST TO THE CONTRACTOR OF TWO HUNDRED DOLLARS (\$200) PER CALIPER INCH ON AN ESCALATING SCALE WHICH ADDS AN ADDITIONAL TWENTY (20) PERCENT PER INCH OVER FOUR (4) INCHES CALIPER AS FIXED AND AGREED LIQUIDATED DAMAGES. CALIPER SHALL BE MEASURED AT SIX (6) INCHES ABOVE GROUND LEVEL FOR TREES UP TO AND INCLUDING FOUR (4) INCHES IN CALIPER AND AT TWELVE (12) INCHES ABOVE GROUND LEVEL FOR TREES OVER FOUR (4) INCHES IN CALIPER.

D. MATERIALS

1. GENERAL

SAMPLES OF MATERIALS AS LISTED BELOW SHALL BE SUBMITTED FOR APPROVAL, ON THE SITE OR AS OTHERWISE DETERMINED BY THE OWNER. UPON APPROVAL OF SAMPLES, DELIVERY OF MATERIALS MAY BEGIN.

MATERIALS SAMPLES MULCH ONE (1) CUBIC FOOT TOPSOIL ONE (1) CUBIC YARD PLANTS ONE (1) OF EACH VARIETY

2. PLANT MATERIALS

A. PLANT SPECIES AND SIZE SHALL CONFORM TO THOSE INDICATED ON THE DRAWINGS. NOMENCLATURE SHALL CONFORM TO "STANDARDIZED PLANT NAMES", 1942 EDITION. ALL NURSERY STOCK SHALL BE IN ACCORDANCE WITH GRADES AND STANDARDS AS STATED IN THE LATEST EDITION OF "AMERICAN STANDARD FOR NURSERY STOCK" BY THE AMERICAN ASSOCIATION OF NURSERYMEN. ALL PLANTS SHALL BE FRESHLY DUG, SOUND, HEALTHY, VIGOROUS, WELL-BRANCHED AND FREE OF DISEASE AND INSECTS, INSECT EGGS AND LARVAE AND SHALL HAVE ADEQUATE ROOT SYSTEMS. TREES FOR PLANTING IN ROWS SHALL BE UNIFORM IN SIZE AND SHAPE. ALL MATERIALS SHALL BE SUBJECT TO APPROVAL BY THE OWNER. WHERE ANY REQUIREMENTS ARE OMITTED FROM THE PLANT LIST, THE PLANTS FURNISHED SHALL BE NORMAL FOR THE VARIETY. PLANTS SHALL BE PRUNED PRIOR TO DELIVERY ONLY UPON THE APPROVAL OF THE OWNER.

B. MEASUREMENTS: THE HEIGHT AND/OR WIDTH OF TREES SHALL BE MEASURED FROM THE GROUND OR ACROSS THE NORMAL SPREAD OF BRANCHES WITH THE PLANTS IN THEIR NORMAL POSITION. THIS MEASUREMENT SHALL NOT INCLUDE THE IMMEDIATE TERMINAL GROWTH. PLANTS LARGER IN SIZE THAN THOSE SPECIFIED IN THE PLANT LIST MAY BE USED IF APPROVED BY THE OWNER. IF THE USE OF LARGER PLANTS IS APPROVED, THE BALL OF EARTH OR SPREAD OF ROOTS SHALL BE INCREASED IN PROPORTION TO THE SIZE OF THE PLANT.

C. INSPECTION: PLANTS SHALL BE SUBJECT TO INSPECTION AND APPROVAL AT THE PLACE OF GROWTH, OR UPON DELIVERY TO THE SITE, AS DETERMINED BY THE OWNER, FOR QUALITY, SIZE, AND VARIETY; SUCH APPROVAL SHALL NOT IMPAIR THE RIGHT OF INSPECTION AND REJECTION AT THE SITE DURING PROGRESS OF THE WORK OR AFTER COMPLETION FOR SIZE AND CONDITION OF BALLS OR ROOTS, LATENT DEFECTS OR INJURIES. REJECTED PLANTS SHALL BE REMOVED IMMEDIATELY FROM THE SITE. NOTICE REQUESTING INSPECTION SHALL BE SUBMITTED IN WRITING BY THE CONTRACTOR AT LEAST ONE (1) WEEK PRIOR TO ANTICIPATED DATE.

E. TOPSOIL

- 1. ASTM D5268, NATURAL, FRIABLE, FERTILE, FINE LOAMY SOIL POSSESSING CHARACTERISTICS OF REPRESENTATIVE TOPSOIL IN THE VICINITY THAT PRODUCES HEAVY GROWTH. TOPSOIL SHALL HAVE A PH RANGE OF 5.5 TO 7.4 PERCENT, FREE FROM SUBSOIL, OBJECTIONABLE WEEDS, LITTER, SODS, STIFF CLAY, STONES LARGER THAN 1-INCH IN DIAMETER, STUMPS, ROOTS, TRASH, HERBICIDES, TOXIC SUBSTANCES, OR ANY OTHER MATERIAL WHICH MAY BE HARMFUL TO PLANT GROWTH OR HINDER PLANTING OPERATIONS. TOP SOIL SHALL CONTAIN A MINIMUM OF THREE PERCENT ORGANIC MATERIAL.
- 2. SALVAGED OR EXISTING TOPSOIL: REUSE SUITABLE TOPSOIL STOCKPILED ON-SITE OR EXISTING TOPSOIL UNDISTURBED BY GRADING OR EXCAVATION OPERATIONS. CLEAN TOPSOIL OF ROOTS, PLANTS, SOD, STONES, CLAY LUMPS, AND OTHER EXTRANEOUS MATERIALS HARMFUL TO PLANT
- VERIFY AMOUNT OF SUITABLE TOPSOIL STOCKPILED IF ANY, AND SUPPLY ADDITIONAL IMPORTED TOPSOIL AS NEEDED. FOUR (4) INCHES OF TOPSOIL TO BE PROVIDED FOR ALL TURF AREAS. TWENTY FOUR (24) INCHES OF TOPSOIL TO BE PROVIDED FOR ALL PLANTING AREAS WITHIN INTERIOR LANDSCAPE ISLANDS AND FOUNDATION PLANTINGS. FOR ALL OTHER PLANTING AREAS, TWELVE (12) INCHES OF TOPSOIL MINIMUM TO BE PROVIDED.
- 4. IMPORTED TOPSOIL: SUPPLEMENT SALVAGED TOPSOIL WITH IMPORTED TOPSOIL FROM OFF-SITE SOURCES WHEN EXISTING QUANTITIES ARE INSUFFICIENT.
- 5. OBTAIN TOPSOIL DISPLACED FROM NATURALLY WELL-DRAINED SITES WHERE TOPSOIL OCCURS AT LEAST 6 INCHES DEEP; DO NOT OBTAIN FROM AGRICULTURAL LAND, BOGS, OR MARSHES.
- 6. VERIFY BORROW AND DISPOSAL SITES ARE PERMITTED AS REQUIRED BY STATE AND LOCAL

REGULATIONS. OBTAIN WRITTEN CONFIRMATION THAT PERMITS ARE CURRENT AND ACTIVE.

- 7. OBTAIN PERMITS REQUIRED BY STATE AND LOCAL REGULATIONS FOR TRANSPORTING TOPSOIL.
- PERMITS SHALL BE CURRENT AND ACTIVE. AMEND EXISTING AND IMPORTED TOPSOIL AS INDICATED BELOW.
- a. ORGANIC SOIL AMENDMENTS 1. MANURE: WELL-ROTTED, UNLEACHED, STABLE OR CATTLE MANURE CONTAINING NOT MORE THAN 25 PERCENT BY VOLUME OF STRAW, SAWDUST, OR OTHER BEDDING MATERIALS: FREE OF TOXIC SUBSTANCES, STONES, STICKS, SOIL, WEED SEED, AND
- MATERIAL HARMFUL TO PLANT GROWTH. 2. BACK TO NATURE COTTON BURR COMPOST OR APPROVED EQUIVALENT.
- 3. COMPOST: DECOMPOSED ORGANIC MATERIAL INCLUDING LEAF LITTER, MANURE, SAWDUST, PLANT TRIMMINGS AND/OR HAY, MIXED WITH SOIL.
- 4. PECAN HULLS: COMPOSTED PECAN HULLS FROM LOCAL SOURCE.
- 5. BIOSOLIDS: USE GRADE 1 CONTAINING LOWER PATHOGEN LEVELS.
- 6. WORM CASTINGS: EARTHWORMS.

b. INORGANIC SOIL AMENDMENTS

- 1. LIME: ASTM C602, CLASS O AGRICULTURAL LIMESTONE CONTAINING A MINIMUM OF 80 PERCENT CALCIUM CARBONATE EQUIVALENT WITH A MINIMUM OF 95 PERCENT PASSING NO. 8 SIEVE AND MINIMUM OF 55 PERCENT PASSING NO. 60 SIEVE.
- 2. SULFUR: GRANULAR, BIODEGRADABLE, CONTAINING A MINIMUM OF 90 PERCENT SULFUR, WITH A MINIMUM OF 99 PERCENT PASSING NO. 6 SIEVE AND A MAXIMUM OF 10 PERCENT PASSING NO. 40 SIEVE.
- 3. IRON SULFATE: GRANULATED FERROUS SULFATE CONTAINING A MINIMUM OF 20 PERCENT IRON AND 10 PERCENT SULFUR.
- 4. AGRICULTURAL GYPSUM: FINELY GROUND, CONTAINING A MINIMUM OF 90 PERCENT CALCIUM SULFATE.
- 5. SAND: CLEAN, WASHED, NATURAL OR MANUFACTURED, FREE OF TOXIC MATERIALS.

c. PLANTING SOIL MIX

- 1. PLANTING MIX MAY BE PROVIDED BY LIVING EARTH OR MINICK MATERIALS OR APPROVED EQUAL.
- 2. PLANTING MEDIUM CONTAINING 75 PERCENT SPECIFIED TOPSOIL MIXED WITH 15 PERCENT ORGANIC SOIL AMENDMENTS AND 10 PERCENT SHARP WASHED SAND, TILL TO DEPTH OF 12" OR AS OTHERWISE NOTED. FINISHED GRADES OF PLANTING BEDS TO BE 2" BELOW FINISHED GRADE OF ADJACENT PAVING OR AS SHOWN ON GRADING

2. SOD/SEED AREA TOPSOIL

ALL SOD AREAS TO RECEIVE 4" DEPTH (MIN) TOPSOIL PRIOR TO INSTALLATION. TOPSOIL SHALL BE NATURAL, FRIABLE, FERTILE, WITH 25% (MIN.) ORGANIC MATERIAL AND FREE OF TRASH, DEBRIS, STONES, WEEDS, AND TWIGS/BRANCHES. THE PARTICLE SIZES SHALL BE SUCH THAT 98.5% OF THE TOPSOIL WILL PASS THROUGH A 1/2 INCH SCREEN, AND 99% MORE SHALL PASS THROUGH A 3/4 INCH SCREEN. TOPSOIL SHALL BE REVIEWED/APPROVED BY OWNER/LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. CONTRACTOR TO SUBMIT SAMPLES IN 1 GAL (MIN.) CONTAINER.

I. WATER

WATER NECESSARY FOR PLANTING AND MAINTENANCE SHALL BE OF SATISFACTORY QUALITY TO SUSTAIN AN ADEQUATE GROWTH OF PLANTS AND SHALL NOT CONTAIN HARMFUL, NATURAL OR MAN-MADE ELEMENTS DETRIMENTAL TO PLANTS. WATER MEETING THE ABOVE STANDARD SHALL BE OBTAINED ON THE SITE FROM THE OWNER, IF AVAILABLE, AND THE CONTRACTOR SHALL BE RESPONSIBLE TO MAKE ARRANGEMENTS FOR ITS USE BY TANKS, HOSES, SPRINKLERS, ETC. IF SUCH WATER IS NOT AVAILABLE AT THE SITE. THE CONTRACTOR SHALL PROVIDE SUCH SATISFACTORY WATER FROM SOURCES OFF THE SITE AT NO ADDITIONAL COST TO THE OWNER.

J. COMMERCIAL FERTILIZER

COMMERCIAL FERTILIZER SHALL BE A COMPLETE FORMULA: IT SHALL BE UNIFORM IN COMPOSITION, DRY AND FREE FLOWING. THIS FERTILIZER SHALL BE DELIVERED TO THE SITE IN THE ORIGINAL UNOPENED CONTAINERS, EACH BEARING THE MANUFACTURER'S GUARANTEED STATEMENT OF ANALYSIS.

FIFTY PERCENT (50%) OF THE NITROGEN SHALL BE DERIVED FROM NATURAL ORGANIC SOURCES. THE FOLLOWING FERTILIZERS SHALL BE USED AND APPLIED AT RATES AS SUGGESTED BY MANUFACTURER'S SPECIFICATIONS:

1. SHRUBS AND TREES - SUSTANE BLEND 16-4-8, OR APPROVED EQUAL 2. ANNUALS AND GROUNDCOVERS - OSMOCOTE/SIERRA BLEND 14-14-14 OR APPROVED EQUAL 3. SOD - 8-8-8 FERTILIZER OR APPROVED EQUAL

K. MULCH

MULCH MATERIAL SHALL BE MOISTENED AT THE TIME OF APPLICATION TO PREVENT WIND DISPLACEMENT, AND APPLIED AT A DEPTH OF 3 INCHES. SEE PLANT LIST FOR TYPE OF MATERIAL AND GRADE.

L. DIGGING AND HANDLING

1. PROTECT ROOTS OR BALLS OF PLANTS AT ALL TIMES FROM SUN AND DRYING WINDS. WATER AND FREEZING, AS NECESSARY UNTIL PLANTING. PLANT MATERIALS SHALL BE ADEQUATELY PACKED TO PREVENT BREAKAGE AND DRYING OUT DURING TRANSIT. TREES TRANSPORTED MORE THAN TEN (10) MILES OR WHICH ARE NOT PLANTED WITHIN THREE (3) DAYS OF DELIVERY TO SITE SHALL BE SPRAYED WITH AN ANTI-TRANSPIRANT PRODUCT ("WILTPRUF" OR EQUAL) TO MINIMIZE TRANSPIRATIONAL WATER LOSS.

2. BALLED AND BURLAPPED PLANTS (B&B) SHALL BE DUG WITH FIRM, NATURAL BALLS OF SOIL OF SUFFICIENT SIZE TO ENCOMPASS THE FIBROUS AND FEEDING ROOTS OF THE PLANTS. NO PLANTS MOVED WITH A BALL SHALL BE PLANTED IF THE BALL IS CRACKED OR BROKEN. PLANTS BALLED AND BURLAPPED OR CONTAINER GROWN SHALL NOT BE

3. PLANTS MARKED "BR" IN THE PLANT LIST SHALL BE DUG WITH BARE ROOTS. THE ROOTS SHALL NOT BE CUT WITHIN THE MINIMUM SPREAD SPECIFIED IN THE PLANT LIST CARE SHALL BE EXERCISED THAT THE ROOTS DO NOT DRY OUT IN MOVING AND PRIOR TO PLANTING.

4. PROTECTION OF PALMS (IF APPLICABLE): ONLY A MINIMUM OF FRONDS SHALL BE REMOVED FROM THE CROWN OF THE PALM TREES TO FACILITATE MOVING AND HANDLING. CLEAR TRUNK (CT) SHALL BE AS SPECIFIED AFTER THE MINIMUM OF FRONDS HAVE BEEN REMOVED. ALL PALMS SHALL BE BRACED PER DETAIL.

5. EXCAVATION OF TREE PITS SHALL BE DONE USING EXTREME CARE TO AVOID DAMAGE TO SURFACE AND SUBSURFACE ELEMENTS SUCH AS UTILITIES OR HARDSCAPE ELEMENTS, FOOTERS AND PREPARED SUB- BASES.

M. CONTAINER GROWN STOCK

1. ALL CONTAINER GROWN MATERIAL SHALL BE HEALTHY, VIGOROUS, WELL-ROOTED PLANTS AND ESTABLISHED IN THE CONTAINER IN WHICH THEY ARE SOLD. THE PLANTS SHALL HAVE TOPS WHICH ARE OF GOOD QUALITY AND ARE IN A HEALTHY GROWING CONDITION.

2. AN ESTABLISHED CONTAINER GROWN PLANT SHALL BE TRANSPLANTED INTO A CONTAINER AND GROWN IN THAT CONTAINER SUFFICIENTLY LONG FOR THE NEW FIBROUS ROOTS TO HAVE DEVELOPED SO THAT THE ROOT MASS WILL RETAIN ITS SHAPE AND HOLD TOGETHER WHEN REMOVED FROM THE CONTAINER. CONTAINER GROWN STOCK SHALL NOT BE HANDLED BY THEIR STEMS.

3. PLANT ROOTS BOUND IN CONTAINERS SHALL NOT BE ACCEPTABLE.

4. SUBSTITUTION OF NON-CONTAINER GROWN MATERIAL FOR MATERIAL EXPLICITLY SPECIFIED TO BE CONTAINER GROWN WILL NOT BE PERMITTED UNLESS WRITTEN APPROVAL IS OBTAINED FROM THE OWNER AND LANDSCAPE ARCHITECT.

N. COLLECTED STOCK

WHEN THE USE OF COLLECTED STOCK IS PERMITTED AS INDICATED ON THE PLANT LIST SCHEDULE, THE MINIMUM SIZES OF ROOTBALLS SHALL BE EQUAL TO THAT SPECIFIED FOR THE NEXT LARGER SIZE OF NURSERY GROWN STOCK OF THE SAME

VARIETY. O. NATIVE STOCK

PLANTS COLLECTED FROM WILD OR NATIVE STANDS SHALL BE CONSIDERED NURSERY GROWN WHEN THEY HAVE BEEN SUCCESSFULLY REESTABLISHED IN A NURSERY ROW AND GROWN UNDER REGULAR NURSERY CULTURAL PRACTICES FOR A MINIMUM OF TWO (2) GROWING SEASONS AND HAVE ATTAINED ADEQUATE ROOT AND TOP GROWTH TO INDICATE FULL RECOVERY FROM TRANSPLANTING INTO THE NURSERY ROW.

P. MATERIALS LIST

QUANTITIES NECESSARY TO COMPLETE THE WORK ON THE DRAWINGS SHALL BE FURNISHED BY THE CONTRACTOR. QUANTITY ESTIMATES HAVE BEEN MADE CAREFULLY, BUT THE LANDSCAPE ARCHITECT OR OWNER ASSUMES NO LIABILITY FOR OMISSIONS OR ERRORS. SHOULD A DISCREPANCY OCCUR BETWEEN THE BIDDERS TAKE OFF AND THE PLANT LIST QUANTITY, THE LANDSCAPE ARCHITECT SHALL BE NOTIFIED FOR CLARIFICATION PRIOR TO THE SUBMISSIONS OF BIDS. ALL DIMENSIONS AND/OR SIZES SPECIFIED SHALL BE THE MINIMUM ACCEPTABLE SIZE

Q. FINE GRADING

1. FINE GRADING UNDER THIS CONTRACT SHALL CONSIST OF FINAL FINISHED GRADING OF LAWN AND PLANTING AREAS THAT HAVE BEEN ROUGH GRADED BY OTHERS. BERMING AS SHOWN ON THE DRAWINGS SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR, UNLESS OTHERWISE NOTED.

2. THE LANDSCAPE CONTRACTOR SHALL FINE GRADE THE LAWN AND PLANTING AREAS TO BRING THE ROUGH GRADE UP TO FINAL FINISHED GRADE ALLOWING FOR THICKNESS OF SOD AND/OR MULCH DEPTH. THIS CONTRACTOR SHALL FINE GRADE BY HAND AND/OR WITH ALL EQUIPMENT NECESSARY INCLUDING A GRADING TRACTOR WITH FRONT-END LOADER FOR TRANSPORTING SOIL WITHIN THE SITE.

3. ALL PLANTING AREAS SHALL BE GRADED AND MAINTAINED TO ALLOW FREE FLOW OF SURFACE WATER. AREAS ADJACENT TO BUILDINGS SHALL SLOPE AWAY FROM THE BUILDINGS.

R. PLANTING PROCEDURES

1. CLEANING UP BEFORE COMMENCING WORK: THE CONTRACTOR SHALL CLEAN UP JOB SITE AND SURROUNDING AREAS OF ALL RUBBISH OR OBJECTIONABLE MATTER. ALL MORTAR, CEMENT, AND TOXIC MATERIAL SHALL BE REMOVED FROM THE SURFACE OF ALL PLANT BEDS. THESE MATERIALS SHALL NOT BE MIXED WITH THE SOIL. SHOULD THE CONTRACTOR FIND SUCH CONDITIONS DURING EXCAVATION WHICH WILL IN ANY WAY ADVERSELY AFFECT THE PLANT GROWTH, HE SHALL IMMEDIATELY CALL IT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT OR OWNER. FAILURE TO DO SO BEFORE PLANTING SHALL MAKE THE CORRECTIVE MEASURES THE RESPONSIBILITY OF THE CONTRACTOR.

2. VERIFY LOCATIONS OF ALL UTILITIES, CONDUITS, SUPPLY LINES AND CABLES, INCLUDING BUT NOT LIMITED TO: ELECTRIC, GAS (LINES AND TANKS), WATER, SANITARY SEWER. STORMWATER LINES, CABLE AND 'TELEPHONE. PROPERLY MAINTAIN AND PROTECT EXISTING UTILITIES.

3. SUBGRADE EXCAVATION: SITE CONTRACTOR IS RESPONSIBLE TO REMOVE ALL EXISTING AND IMPORTED LIMEROCK AND LIMEROCK SUB-BASE FROM ALL LANDSCAPE PLANTING AREAS TO A MINIMUM DEPTH OF 36". SITE CONTRACTOR IS RESPONSIBLE TO BACKFILL THESE PLANTING AREAS TO ROUGH FINISHED GRADE WITH CLEAN TOPSOIL FROM AN ON-SITE SOURCE OR AN IMPORTED SOURCE. IF LIMEROCK OR OTHER ADVERSE CONDITIONS OCCUR IN PLANTED AREAS AFTER 36" DEEP EXCAVATION BY SITE CONTRACTOR, AND POSITIVE DRAINAGE CAN NOT BE ACHIEVED, LANDSCAPE CONTRACTOR SHALL CONTACT LANDSCAPE

4. FURNISH NURSERY'S CERTIFICATE OF COMPLIANCE WITH ALL REQUIREMENTS AS HEREIN SPECIFIED AND REQUIRED. INSPECT AND SELECT PLANT MATERIALS BEFORE PLANTS ARE DUG AT NURSERY OR GROWING SITE.

5. GENERAL: COMPLY WITH APPLICABLE FEDERAL, STATE, COUNTY, AND LOCAL REGULATIONS GOVERNING LANDSCAPE MATERIALS AND WORK. CONFORM TO ACCEPTED HORTICULTURAL PRACTICES AS USED IN THE TRADE. PLANTS SHALL BE PROTECTED UPON ARRIVAL AT THE SITE BY BEING THOROUGHLY WATERED AND PROPERLY MAINTAINED UNTIL PLANTED. PLANTS SHALL NOT REMAIN UNPROTECTED FOR A PERIOD EXCEEDING TWENTY-FOUR (24) HOURS. AT ALL TIMES WORKMANLIKE METHODS CUSTOMARY IN GOOD HORTICULTURAL PRACTICES SHALL

6. THE WORK SHALL BE COORDINATED WITH OTHER TRADES TO PREVENT CONFLICTS. COORDINATE THE PLANTING WITH THE IRRIGATION WORK TO ASSURE AVAILABILITY OF WATER AND PROPER LOCATION OF IRRIGATION ITEMS AND PLANTS.

7. ALL PLANTING PITS SHALL BE EXCAVATED TO SIZE AND DEPTH IN ACCORDANCE WITH THE USA STANDARD FOR NURSERY STOCK 260.1, UNLESS SHOWN OTHERWISE ON THE DRAWINGS. AND BACKFILLED WITH THE PREPARED PLANTING SOIL AS SPECIFIED HEREIN BEFORE (SECTION H). TEST ALL TREE PITS WITH WATER BEFORE PLANTING TO ASSURE PROPER PERCOLATION IS AVAILABLE. NO ALLOWANCE WILL BE MADE FOR LOST PLANTS DUE TO IMPROPER DRAINAGE. IF POOR DRAINAGE EXISTS, UTILIZE PLANTING DETAIL THAT ADDRESSES THIS CONDITION. TREES SHALL BE SET PLUMB AND HELD IN POSITION UNTIL THE PLANTING MIXTURE HAS BEEN FLUSHED INTO PLACE WITH A SLOW, FULL HOSE STREAM, ALL PLANTING SHALL BE PERFORMED BY PERSONNEL FAMILIAR WITH PLANTING PROCEDURE AND UNDER THE SUPERVISION OF A QUALIFIED PLANTING FOREMAN. PROPER "JETTING IN" SHALL BE ASSURED TO ELIMINATE AIR POCKETS AROUND THE ROOTS. "JET STICK" OR EQUAL IS RECOMMENDED.

8. TAKE ALL NECESSARY PRECAUTIONS TO AVOID DAMAGE TO BUILDINGS AND BUILDING STRUCTURES WHILE INSTALLING TREES.

9. SOIL MIXTURE SHALL BE AS SPECIFIED IN SECTION H OF THESE SPECIFICATIONS. IN ADDITION, EACH PLANTING PIT SHALL RECEIVE 21-GRAM "AGRIFORM" PLANTING TABLETS PER MANUFACTURER'S SPECIFICATIONS OR AS FOLLOWS:

- TWO (2) TABLETS PER 1 GAL. PLANT
- THREE (3) TABLETS PER 3 GAL. PLANT
- FOUR (4) TABLETS PER 10 GAL. PLANT - LARGER MATERIAL - TWO (2) TABLETS PER 1/2" OF TRUNK CALIPER

10. TREES AND SHRUBS SHALL BE SET STRAIGHT AND AT SUCH A LEVEL THAT AFTER SETTLEMENT, THE PLANT CROWN WILL STAND ONE (1) TO TWO (2) INCHES ABOVE GRADE. EACH PLANT SHALL BE SET IN THE CENTER OF THE PIT. PLANTING SOIL MIXTURE SHALL BE BACKFILLED AND THOROUGHLY TAMPED AROUND THE BALL AND SHALL BE SETTLED BY WATER AFTER TAMPING

11. FILL HOLE WITH SOIL MIXTURE, MAKING CERTAIN ALL SOIL IS SATURATED. TO DO THIS, FILL HOLE WITH WATER AND ALLOW TO SOAK MINIMUM TWENTY (20) MINUTES, STIRRING IF SOIL MIXTURE. DO NOT COVER TOP OF BALL WITH SOIL MIXTURE, ONLY WITH MULCH. ALL BURLAP, ROPE, WIRES, ETC., SHALL BE REMOVED FROM THE SIDES AND TOPS OF BALLS, BUT NO BURLAP SHALL BE PULLED FROM UNDERNEATH.

12. PRUNING: EACH TREE SHALL BE PRUNED TO PRESERVE THE NATURAL CHARACTER OF THE PLANT AS SHOWN ON THE DRAWINGS. ALL SOFT WOOD OR SUCKER GROWTH AND ALL BROKEN OR BADLY DAMAGED BRANCHES SHALL BE REMOVED WITH A CLEAN CUT.

13. SHRUBS AND GROUND COVER PLANTS SHALL BE EVENLY SPACED IN ACCORDANCE WITH THE DRAWINGS AND AS INDICATED ON THE PLANT LIST. CULTIVATE ALL PLANTING AREAS TO A MINIMUM DEPTH OF 6", REMOVE AND DISPOSE ALL DEBRIS. TILL INTO TOP 4" THE PLANTING SOIL MIX AS SPECIFIED IN SECTION E. THOROUGHLY WATER ALL PLANTS AFTER INSTALLATION.

14. TREE GUYING AND BRACING SHALL BE INSTALLED BY THE LANDSCAPE CONTRACTOR IN ACCORDANCE WITH THE PLANS TO INSURE STABILITY AND MAINTAIN TREES IN AN UPRIGHT POSITION. IF THE LANDSCAPE CONTRACTOR AND OWNER DECIDE TO WAIVE THE TREE GUYING AND BRACING, THE OWNER SHALL NOTIFY THE LANDSCAPE ARCHITECT IN WRITING OF THEIR INTENTIONS AND AGREE TO HOLD HARMLESS THE LANDSCAPE ARCHITECT IN THE EVENT ANY TREES FALL DOWN AND DAMAGE PERSON OR PROPERTY.

15. MULCHING: PROVIDE A THREE (3) INCH MINIMUM LAYER OF SPECIFIED MULCH OVER THE ENTIRE AREA OF EACH SHRUB BED, GROUND COVER, VINE BED, AND TREE PIT.

16. HERBICIDE WEED CONTROL: ALL PLANT BEDS SHALL BE KEPT FREE OF NOXIOUS WEEDS UNTIL FINAL ACCEPTANCE OF WORK. IF DIRECTED BY THE OWNER, AN APPROVED CHEMICAL HERBICIDE SHALL BE APPLIED FOR WEED CONTROL BY QUALIFIED PERSONNEL TO ALL PLANTING AREAS IN SPOT APPLICATIONS PER MANUFACTURER'S PRECAUTIONS AND SPECIFICATIONS. PRIOR TO FINAL INSPECTION. TREAT ALL PLANTING BEDS WITH AN APPROVED PRE-EMERGENT HERBICIDE AT AN APPLICATION RATE RECOMMENDED BY THE MANUFACTURER.

S. LAWN SODDING

1. THE WORK CONSISTS OF LAWN BED PREPARATION, SOIL PREPARATION, AND SODDING, IN STRICT ACCORDANCE WITH THE SPECIFICATIONS AND THE APPLICABLE DRAWINGS TO PRODUCE A GRASS LAWN ACCEPTABLE TO THE OWNER.

2. SOIL PREPARATION: PREPARE LOOSE BED FOUR (4) INCHES DEEP. APPLY FERTILIZER AT RATE OF TWENTY (20) POUNDS PER ONE THOUSAND (1000) SQUARE FEET. APPLICATION SHALL BE UNIFORM, UTILIZING APPROVED MECHANICAL SPREADERS. MIX FERTILIZER THOROUGHLY WITH THE SOIL TO A DEPTH OF THREE (3) INCHES. HAND RAKE UNTIL ALL BUMPS AND DEPRESSIONS ARE REMOVED. WET PREPARED AREA THOROUGHLY.

3. LAWN BED PREPARATION: ALL AREAS THAT ARE TO BE SODDED SHALL BE CLEARED OF ANY ROUGH GRASS, WEEDS, AND DEBRIS, AND THE GROUND BROUGHT TO AN EVEN GRADE. THE WHOLE SURFACE SHALL BE ROLLED WITH A ROLLER WEIGHING NOT MORE THAN ONE-HUNDRED (100) POUNDS PER SQUARE FOOT. DURING THE ROLLING, ALL DEPRESSIONS CAUSED BY SETTLEMENT OF ROLLING SHALL BE FILLED WITH ADDITIONAL SOIL, AND THE SURFACE SHALL BE REGRADED AND ROLLED UNTIL PRESENTING A SMOOTH AND EVEN FINISH THAT IS UP TO THE REQUIRED GRADE.

4. SODDING

Planning & Zoning Commission, Chairman

A. THE CONTRACTOR SHALL SOD ALL AREAS THAT ARE NOT PAVED OR PLANTED AS DESIGNATED ON THE DRAWINGS WITHIN THE CONTRACT LIMITS, UNLESS SPECIFICALLY NOTED OTHERWISE.

B. THE SOD SHALL BE CERTIFIED TO MEET THE STATE PLANT BOARD SPECIFICATIONS, ABSOLUTELY TRUE TO VARIETAL TYPE, AND FREE FROM WEEDS, FUNGUS, INSECTS AND DISEASE OF ANY KIND.

C. SOD PANELS SHALL BE LAID TIGHTLY TOGETHER SO AS TO MAKE A SOLID SODDED LAWN AREA, SOD SHALL BE LAID UNIFORMLY AGAINST THE EDGES OF ALL CURBS AND OTHER HARDSCAPE ELEMENTS, PAVED AND PLANTED AREAS. IMMEDIATELY FOLLOWING SOD LAYING, THE LAWN AREAS SHALL BE ROLLED WITH A LAWN ROLLER CUSTOMARILY USED FOR SUCH PURPOSES, AND THEN THOROUGHLY IRRIGATED. IF, IN THE OPINION OF THE OWNER, TOP-DRESSING IS NECESSARY AFTER ROLLING TO FILL THE VOIDS BETWEEN THE SOD PANELS AND TO EVEN OUT INCONSISTENCIES IN THE SOD, CLEAN SAND AS APPROVED BY THE LANDSCAPE ARCHITECT OR OWNER SHALL BE UNIFORMLY SPREAD OVER THE ENTIRE SURFACE OF THE SOD AND THOROUGHLY WATERED

D. DURING DELIVERY, PRIOR TO AND DURING THE PLANTING OF THE LAWN AREAS, THE SOD PANELS SHALL AT ALL TIMES BE PROTECTED FROM EXCESSIVE DRYING AND UNNECESSARY EXPOSURE OF THE ROOTS TO THE SUN. ALL SOD SHALL BE STACKED SO AS NOT TO BE DAMAGED BY SWEATING OR EXCESSIVE HEAT AND MOISTURE.

SEEDING

1. PROVIDE FRESH, CLEAN, NEW CROP NATIVE GRASS AND/OR WILDFLOWER SEED MIXTURE IN SEALED CONTAINERS. FURNISH TO OWNER DEALER'S GUARANTEED STATEMENT OF COMPOSITION OF MIXTURE AND PERCENTAGE OF PURITY AND GERMINATION OF EACH VARIETY.

2. DRILL SEEDING

A. DRILL SEED OR BROADCAST SEED ALL NATIVE GRASS AND WILDFLOWER MIXES, AS DESIGNATED IN PLANTING PLANS. NO HYDROMULCHING OF NATIVE SEED MIXES.

B. BEGIN SEEDING IMMEDIATELY AFTER APPROVAL OF FINISHED GRADE. DO NOT PERFORM SEEDING IN WINDY CONDITIONS OR FOLLOWING RECENT RAINFALL EVENTS.

C. PERFORM SEEDING FROM EARLY SPRING TO LATE SUMMER WHEN SOIL TEMPERATURES ARE ABOVE 65 DEGREES FAHRENHEIT. WHEN SEEDING OPERATIONS OF THE PERMANENT NATIVE SEED VARIETIES SPECIFIED IN THE PLANS DO NOT FALL WITHIN THE SPECIFIED DATES, ANNUAL RYE GRASS WILL BE SEEDED AT A RATE OF 10 POUNDS PER 1,000 SQUARE FEET USING A NO-TILL DRILL SEEDER DESIGNED SPECIFICALLY FOR GRASS SEEDING. CONVERSION TO THE PERMANENT NATIVE SEED VARIETIES IS PART OF THIS SCOPE OF WORK AND WILL TAKE PLACE AS AND

D. APPLY NATIVE SEED AT THE RATE SPECIFIED BY THE DEALER. ALL SEED, SEED MIXES, AND FERTILIZER TO BE UNIFORMLY APPLIED AT THE SPECIFIED RATE. AMOUNT WILL VARY BASED ON VARIETY AND/OR SPECIES, SEED SHALL BE DRILLED AT A DEPTH FROM ONE-QUARTER INCH (1/4") TO THREE-EIGHTHS INCHES (1/8") UTILIZING A NO-TILL DRILL SEEDER DESIGNED SPECIFICALLY FOR GRASS SEEDING, ALL DRILLING IS TO BE DONE ON CONTOUR.

E. CULTI-PACKER OR APPROVED SIMILAR EQUIPMENT MAY BE USED TO COVER SEED AND TO FORM SEEDBED IN ONE OPERATION. IN AREAS INACCESSIBLE TO CULTI-PACKER, LIGHTLY RAKE SEEDED GROUND WITH FLEXIBLE RAKES AD ROLL WITH WATER BALLAST ROLLER. AFTER ROLLING, MULCH WITH STRAW MULCH AT THE RATE OF 2 TONS PER ACRE. ALL ROLLING TO BE DONE ON CONTOUR. DO NOT SEED AREAS IN EXCESS OF WHAT CAN BE ROLLED ON THE

F. SURFACE LAYER OF SOIL FOR SEEDED AREAS SHALL BE KEPT MOIST DURING THE GERMINATION PERIOD. WATER SEEDED AREAS TWICE DURING THE FIRST WEEK TO A MINIMUM DEPTH OF 6 INCHES WITH A FINE SPRAY; AND, ONCE PER WEEK THEREAFTER AS NECESSARY TO SUPPLEMENT NATURAL RAIN TO EQUIVALENT OF 6 INCHES DEPTH.

G. AFTER APPLICATION, THE CONTRACTOR SHALL NOT OPERATE ANY EQUIPMENT OVER THE COVERED AREA.

H. PLACE EROSION BLANKET OVER AREAS SLOPED SLOPED 1:3 OR GREATER. ROLL EROSION BLANKET ON SLOPES WITHOUT STRETCHING OR PULLING. ANCHOR EROSION BLANKET WITH WIRE STAPLES AT THE EDGES AND THROUGH THE CENTER AT 36" INTERVALS. USE TRENCHED IN EDGES PER MANUFACTURER'S RECOMMENDATION.

I. CONTRACTOR TO REAPPLY SEED AS NECESSARY IN ORDER TO GET ALL SEEDED AREAS ESTABLISHED AS

6. LAWN MAINTENANCE:

A. WITHIN THE CONTRACT LIMITS, THE CONTRACTOR SHALL PRODUCE A DENSE, WELL ESTABLISHED LAWN, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR AND RE-SODDING OF ALL ERODED. SUNKEN OR BARE SPOTS UNTIL CERTIFICATION OF ACCEPTABILITY BY THE LANDSCAPE ARCHITECT OR OWNER, REPAIRED SODDING SHALL BE ACCOMPLISHED AS IN THE ORIGINAL WORK (INCLUDING REGRADING IF NECESSARY).

B. WATER EVERY DAY FOR TEN (10) SUCCESSIVE DAYS, THEN WATER THREE (3) TIMES PER WEEK (AT EVEN INTERVALS) FOR TWO (2) ADDITIONAL WEEKS. ALL WATERING SHALL BE OF SUFFICIENT QUANTITY TO WET OR RESTORE WATER TO DEPTH OF FOUR (4) INCHES. CONTRACTOR TO DETERMINE IF SITE IS IN A DROUGHT RESTRICTION AREA AND MUST FOLLOW CITY/ COUNTY PROTOCOL IF ANY ARE IN PLACE.

T. CLEAN-UP

UPON COMPLETION OF ALL PLANTING WORK AND BEFORE FINAL ACCEPTANCE, THE CONTRACTOR SHALL REMOVE ALL MATERIAL, EQUIPMENT, AND DEBRIS RESULTING FROM THEIR WORK. ALL PAVED AREAS SHALL BE BROOM CLEANED AND THE SITE LEFT IN A NEAT AND ACCEPTABLE CONDITION AS APPROVED BY THE OWNER'S AUTHORIZED REPRESENTATIVE.

U. PLANT MATERIAL MAINTENANCE

ALL PLANTS AND PLANTING INCLUDED UNDER THIS CONTRACT SHALL BE MAINTAINED BY WATERING CULTIVATING, SPRAYING, AND ALL OTHER OPERATIONS NECESSARY TO INSURE A HEALTHY CONDITION BY THE CONTRACTOR UNTIL CERTIFICATION OF ACCEPTABILITY BY THE LANDSCAPE ARCHITECT OR OWNER. MAINTENANCE AFTER THE CERTIFICATION OF ACCEPTABILITY SHALL BE IN ACCORDANCE WITH THE SPECIFICATIONS IN THIS SECTION.

V. MAINTENANCE (ALTERNATE BID ITEM)

1. CONTRACTORS ARE REQUESTED TO PROVIDE A BID ESTIMATE FOR MAINTENANCE FOLLOWING THE INITIAL NINETY (90) -DAY MAINTENANCE PERIOD ON A COST PER MONTH BASIS.

1. THE LIFE AND SATISFACTORY CONDITION OF ALL PLANT MATERIAL INSTALLED BY THE LANDSCAPE CONTRACTOR SHALL BE GUARANTEED BY THE CONTRACTOR FOR A MINIMUM OF ONE (1) CALENDAR YEAR COMMENCING AT THE TIME OF CERTIFICATION OF ACCEPTABILITY BY THE LANDSCAPE ARCHITECT OR OWNER.

2. THE LIFE AND SATISFACTORY CONDITION OF ALL OTHER PLANT MATERIAL (INCLUDING SOD) INSTALLED BY THE LANDSCAPE CONTRACTOR SHALL BE GUARANTEED BY THE CONTRACTOR FOR A MINIMUM OF NINETY (90) CALENDAR DAYS, COMMENCING AT THE TIME OF CERTIFICATION OF ACCEPTABILITY BY THE LANDSCAPE ARCHITECT OR OWNER.

3. REPLACEMENT: ANY PLANT NOT FOUND IN A HEALTHY GROWING CONDITION AT THE END OF THE GUARANTEE PERIOD SHALL BE REMOVED FROM THE SITE AND REPLACED AS SOON AS WEATHER CONDITIONS PERMIT. ALL REPLACEMENTS SHALL BE PLANTS OF THE SAME KIND AND SIZE AS SPECIFIED IN THE PLANT LIST. THEY SHALL BE FURNISHED, PLANTED, AND MULCHED AS SPECIFIED UNDER "PLANTING", AT NO ADDITIONAL COST TO THE OWNER.

4. IN THE EVENT THE OWNER DOES NOT ENGAGE THE CONTRACTOR FOR LANDSCAPE (AND IRRIGATION) MAINTENANCE, THE CONTRACTOR IS ENCOURAGED TO VISIT THE PROJECT SITE PERIODICALLY DURING THE ONE YEAR WARRANTY PERIOD TO EVALUATE MAINTENANCE PROCEDURES BEING PERFORMED BY THE OWNER. CONTRACTOR SHALL NOTIFY THE OWNER IN WRITING OF MAINTENANCE PROCEDURES OR CONDITIONS WHICH THREATEN VIGOROUS AND HEALTHY PLANT GROWTH. IT IS SUGGESTED SUCH SITE VISITS SHALL BE CONDUCTED A MINIMUM OF ONCE PER MONTH FOR A PERIOD OF TWELVE (12) MONTHS FROM THE DATE OF ACCEPTANCE.

X. FINAL INSPECTION AND ACCEPTANCE OF WORK

FINAL INSPECTION AT THE END OF THE GUARANTEE PERIOD SHALL BE ON PLANTING, CONSTRUCTION AND ALL OTHER INCIDENTAL WORK PERTAINING TO THIS CONTRACT. ANY REPLACEMENT AT THIS TIME SHALL BE SUBJECT TO THE SAME ONE (1) YEAR GUARANTEE (OR AS SPECIFIED BY THE LANDSCAPE ARCHITECT OR OWNER IN WRITING) BEGINNING WITH THE TIME OF REPLACEMENT AND ENDING WITH THE SAME INSPECTION AND ACCEPTANCE HEREIN DESCRIBED.

I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the S day of Ochbor, Leur.

WITNESS QUR HANDS, this 5 day of Other . 2011. Director Planning and Zoning

SITE PLAN CASE NUMBER: SP2024-040 HORIZON ROAD COMMERCIAL OFFICES 2.7391 ACRES (119316 SF.) BEING SITUATED IN THE W.W FORD SURVEY, ABSTRACT NO. 80 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS SUBMITTED: SEPTEMBER 13, 2024 RESUBMITTED: OCTOBER 1, 2024



BGE, Inc. 2595 Dallas Parkway, Suite 101 Frisco, TX 75034

Tel: 972-464-4800 ● www.bgeinc.com

TBPE Registration No. F-1046

DEVELOPER PLATINUM CONSTRUCTION 1450 TL TOWNSEND DR. STE 100

ROCKWALL, TX 75032 TEL: (469) 222-1597 CONTACT: SHAWN VALK

OWNER

SARO PARTNERS LLC 1450 S. T L TOWNSEND ROCKWALL, TX 75302 TEL: (000) 000-0000 CONTACT: JAY KANTER

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THE PURPOSE OF PRELIMINARY REVIEW AND ARE NOT INTENDED FOR CONSTRUCTION. WHEN ISSUED IN FINAL FORM THEY WILL BE SEALED, SIGNED AND DATED. RESPONSIBLE LANDSCAPE ARCHITECT: MICHAEL STOTTLER, PLA

THESE PLANS ARE ISSUED FOR

BGE. INC. TEXAS REGISTERED ENGINEERING FIRM F-1046 10/8/2024 !!CAUTION !!

TEXAS REGISTRATION NO. 3743

Exist Facilities Prior to any Construction Activities CAUTION !!! CONTACT: 1-800-DIG-TESS

48 HOURS PRIOR TO CONSTRUCTION

Contractor to Verify exact location & Depth of

REVISIO	INS	
REV NO.	DATE	DESCRIPTION
CHECKED	2)/- 1/1/0	
CHECKED E	BY: MLS	
DESIGNED	BY: NPS	

SHEET NO

DATE: 10/8/2024

PROJECT NUMBER: 13185-00

PLANTING SPECIFICATIONS

- 1. VERIFY SITE INFORMATION, INCLUDING PROPERTY LINES, EASEMENTS, BUILDINGS, ROADWAY CURBS AND GUTTERS, UTILITIES AND OTHER INFORMATION AFFECTING THE SCOPE OF WORK INCLUDED ON THESE DRAWINGS. MORE SPECIFIC UTILITY INFORMATION IS INDICATED ON THE OTHER CONSULTANTS DRAWINGS, THE CIVIL DRAWINGS, AND SITE RECORD DRAWINGS AVAILABLE FROM THE OWNER. THE CONTRACTOR SHALL CONTACT THE OWNER AND THE LANDSCAPE ARCHITECT FOR DIRECTION ON HOW TO PROCEED IF ACTUAL SITE CONDITIONS VARY FROM WHAT IS SHOWN ON THE CIVIL ENGINEER'S OR LANDSCAPE ARCHITECT'S PLANS.
- 2. THE CONTRACTOR SHALL NOTIFY LOCAL AUTHORITIES AND THE GENERAL CONTRACTOR FOR LOCATION OF EXISTING UNDERGROUND UTILITIES. EXCAVATE AS NECESSARY TO CONFIRM LOCATIONS PRIOR TO EXCAVATION.
- 3. EXCAVATION IN THE VICINITY OF UTILITIES SHALL BE UNDERTAKEN WITH CARE. THE CONTRACTOR BEARS FULL RESPONSIBILITY FOR THIS WORK. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL SITE UTILITIES PRIOR TO BEGINNING EXCAVATION. ANY DAMAGE TO UTILITIES THAT ARE TO REMAIN CAUSED BY ANY PERSON, VEHICLE, EQUIPMENT OR TOOL RELATED TO THE EXECUTION OF THE CONTRACT SHALL BE REPAIRED IMMEDIATELY AT NO EXPENSE TO THE OWNER.
- 4. CONTRACTOR TO VERIFY CONSTRUCTION COMPLIANCE WITH AMERICANS WITH DISABILITIES ACT (ADA) OF 1990, AS AMENDED, THE ADA ACCESSIBILITY GUIDELINES (ADAAG) OF 2004, AS AMENDED, AND THE TEXAS ACCESSIBILITY STANDARDS, AS AMENDED. NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES.
- 5. CONTRACTOR TO PROVIDE NECESSARY EROSION CONTROL MEASURES AS NEEDED.
- 6. ALL CONSTRUCTION WILL CONFORM TO THESE PLANS AND SPECIFICATIONS. ALL CONSTRUCTION WILL ALSO CONFORM TO ALL RELEVANT CITY STANDARDS AND SPECIFICATIONS.

DEMOLITION NOTES:

- CONTRACTOR TO VERIFY LOCATIONS OF EXISTING UTILITIES AND UNLESS NOTED OTHERWISE, MAINTAIN THEM IN OPERATION DURING CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO UTILITIES.
- 2. REFERENCE CIVIL DRAWINGS FOR LIMITS OF REQUIRED DEMOLITION.
- CONTRACTOR SHALL TAKE CARE TO MINIMIZE DISTURBANCE TO EXISTING TREE TRUNKS AND ROOT SYSTEMS. ALL DEMOLITION ADJACENT TO EXISTING TREES SHALL BE COMPLETED USING HAND TOOLS, NO LARGE EQUIPMENT OR ANY EQUIPMENT WITH TRACKS SHALL BE ALLOWED TO WORK UNDER THE DRIP LINE OF ANY EXISTING TREES TO REMAIN. THERE SHALL BE NO STORAGE OF MATERIAL OR PARKING WITHIN THE DRIPLINE OF EXISTING TREES TO REMAIN.
- SITE BASE INFORMATION (BOUNDARIES, UTILITIES, TOPOGRAPHY & STRUCTURES) ARE SHOWN AS PROVIDED BY SURVEYOR. CONTRACTOR SHALL VERIFY GRADES, UTILITIES AND SITE CONDITIONS PRIOR TO BEGINNING CONSTRUCTION. BGE, INC ASSUMES NO LIABILITY FOR THE ACCURACY OF THIS SURVEY INFORMATION.
- 5. DURING DEMOLITION THE CONTRACTOR SHALL EXERCISE CAUTION NOT TO DAMAGE THE EXISTING FEATURES THAT ARE TO REMAIN INSIDE AND OUTSIDE OF THE PROJECT CONSTRUCTION AREA. DAMAGE RESULTING FROM CONTRACTOR'S WORK SHALL BE REPAIRED AND RESTORED TO THE COMPLETE SATISFACTION OF THE OWNER AT THE EXPENSE OF THE CONTRACTOR. UTILITIES AND THEIR CONTINUATION THROUGH DEMOLISHED AREAS ARE TO REMAIN IN PLACE. PROTECT AS REQUIRED. DEMOLISH UTILITIES ONLY IF SHOWN ON THESE OR ARCHITECT/ENGINEERS DRAWINGS.
- CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFICATION OF ALL AREAS TO BE DEMOLISHED AS A PART OF THIS CONTRACT. CONDITIONS VARYING FROM THESE PLANS & SPECIFICATIONS MUST BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE LANDSCAPE ARCHITECT. CLEARLY MARK ALL ITEMS FOR DEMOLITION FOR LANDSCAPE ARCHITECT'S APPROVAL PRIOR TO BEGINNING DEMOLITION WORK.
- CONTRACTOR WILL BE RESPONSIBLE FOR THE REMOVAL OF ALL DESIGNATED TREES. SHRUBS & GROUNDCOVER PRIOR TO THE START OF NEW CONSTRUCTION. CONTRACTOR WILL BE RESPONSIBLE FOR CAPPING & ABANDONING ALL IRRIGATION LINES IN THE DEMOLITION AREA.

PLANTING NOTES:

- CONTRACTOR SHALL STAKE OUT ALL INFORMAL TREE LOCATIONS IN FIELD USING COLORED FLAGS FOR EACH DIFFERENT TREE SPECIES FOR REVIEW AND APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO EXCAVATION. THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO ADJUST PLANTS TO EXACT LOCATION IN FIELD.
- 2. SHRUB, GROUNDCOVER & SEASONAL COLOR BED LAYOUTS SHALL BE STAKED FOR APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO EXCAVATION.
- 3. CONTRACTOR IS RESPONSIBLE FOR VERIFYING LOCATIONS OF UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION.
- 4. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ADVISE THE LANDSCAPE ARCHITECT OF ANY CONDITION FOUND ON THE SITE WHICH PROHIBITS INSTALLATION AS SHOWN ON THESE DRAWINGS.
- 5. ALL SHRUB & GROUNDCOVER BEDS SHALL HAVE A MINIMUM THREE (3") INCH LAYER OF HARDWOOD MULCH. CONTRACTOR TO SUPPLY OWNER WITH SAMPLE FOR APPROVAL. CONTRACTOR TO SUPPLY A BID ALTERNATE FOR ROCK MULCH FOR ALL BEDS.
- ANNUAL BEDS TO RECEIVE MINIMUM 3" HARDWOOD MULCH. CONTRACTOR TO SUPPLY
- OWNER WITH SAMPLE FOR APPROVAL. 7. TREES SHALL BE PLANTED AS LEAST FOUR (4') FEET FROM ANY UTILITY LINE, CURB, SIDEWALK OR FIRE CONNECTION AND OUTSIDE ALL UTILITY EASEMENTS.
- 8. TREES OVERHANGING SIDEWALKS AND PARKING OR PEDESTRIAN AREAS SHALL HAVE A MINIMUM CLEAR TRUNK BRANCHING HEIGHT OF SEVEN (7') FEET.
- 9. TREES OVERHANGING VISIBILITY EASEMENTS OR RIGHT-OF WAYS SHALL HAVE A MINIMUM CLEAR TRUNK HEIGHT OF NINE (9') FEET.
- 10. TREES OVERHANGING PUBLIC STREET PAVEMENT WILL HAVE A MINIMUM CLEAR TRUNK OF FOURTEEN (14') FEET. 11. ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY AND GROWING CONDITION, AND
- MUST BE REPLACED WITH PLANT MATERIAL OF SIMILAR VARIETY AND SIZE IF DAMAGED, DESTROYED, OR REMOVED.
- 12. LANDSCAPED AREAS SHALL BE KEPT FREE OF TRASH, LITTER, AND WEEDS AT ALL TIMES DURING CONSTRUCTION.
- 13. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR FINE GRADING, REMOVAL OF MISCELLANEOUS DEBRIS AND ANY ADDITIONAL FILL REQUIRED TO CREATE A SMOOTH FINISHED GRADE PRIOR TO PLANTING IN ALL AREAS.
- 14. FINAL GRADING SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT IN THE FIELD PRIOR TO PLANTING.
- 15. PLANT SPACING IS AS INDICATED ON 'PLANT SCHEDULE' UNLESS OTHERWISE NOTED. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE FULL COVERAGE IN ALL PLANTING AREAS AS SPECIFIED IN THE PLANT SCHEDULE REMARKS.
- 16. CONTRACTOR SHALL PROVIDE THE PROJECT AGRONOMIST SOIL SAMPLES. A MINIMUM OF TWO SAMPLES FROM EACH DIFFERENT SOIL AREA AND FROM EACH IMPORT SOIL SOURCE IS REQUIRED. VERIFY APPROPRIATE QUANTITY OF SAMPLES WITH THE LANDSCAPE ARCHITECT AND AGRONOMIST. SAMPLES SHALL THEN BE TESTED AND ANALYZED FOR AGRICULTURAL SUITABILITY AND FERTILITY BY AN ACCREDITED SOIL TESTING LABORATORY. ANALYSIS SHALL INCLUDE REVIEW AND COORDINATION WITH SPECIFICATIONS AND RECOMMENDATIONS FOR SOIL PREPARATION AND BACK FILL MIX. SUBMIT SOILS ANALYSES TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO SOIL PREPARATION. THIS REQUIREMENT APPLIES TO ALL SOILS AND CONDITIONS WITHIN THIS PROJECT INCLUDING IMPORT SOILS, ON GRADE SOILS AND/OR ON-STRUCTURE SOILS. VERIFYING ON-STRUCTURE FILTER FABRIC/SOIL COMPATIBILITY SHALL BE PART OF THE OVERALL ANALYSIS. REFER TO SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
- 17. AN AUTOMATIC IRRIGATION SYSTEM SHALL BE PROVIDED TO IRRIGATE ALL LANDSCAPE AREAS. OVERSPRAY ON STREETS AND WALKS IS PROHIBITED.
- 18. TOPSOIL SHALL BE A MINIMUM OF 4" IN DEPTH. SOIL SHALL BE FREE OF STONES, ROOTS AND ANY OTHER FOREIGN MATERIAL THAT IS NOT BENIFICIAL FOR PLANT GROWTH.
- 19. REF. SHEET L3.12 FOR PLANTING DETAILS.
- 20. REFER TO CIVIL FOR OVERALL SITE GRADING AND SHEET L3.5 FOR POOL AREA GRADING.

SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	COND	HT	SPR	REMARKS
CANOPY 1	REES								
A	QM	6	Quercus macrocarpa	Burr Oak	4" cal	В&В	14` ht	6` spr	Full, Straight, Single Leader
	QS	11	Quercus shumardii	Shumard Red Oak	4" cal	B&B	12` ht	5` spr	Full, Straight, Single Trunk
\$ A S	QV	4	Quercus virginiana	Southern Live Oak	4" cal	B&B	12` ht	6` spr	Full, Straight, Single Trunk
3	TD .	8	Taxodium distichum	Bald Cypress	4" cal	B&B	12` ht	5` spr	Full, Straight, Single Trunk
	UC	4	Ulmus crassifolia	Cedar Elm	4" cal	B&B	14` ht	5` spr	Full, Straight, Single Trunk
ORNAMEN	ITAL TREE	S							
	СС	7	Cercis canadensis	Eastern Redbud	2" cal	CONT	8` ht	4` spr	Full, Multi-Trunk. Ornamental tree must be minimum 4' H at time of planting per city code.
∴	ID	6	llex decidua	Possumhaw Holly	2" cal	B&B	8` ht	4` spr	Full, Multi-Trunk.Ornamental tree must be minimum 4' H at time of planting per city code.
£:3	IV	2	Ilex vomitoria	Yaupon Holly	2" cal	B&B	10` ht	4` spr	Full, Multi-Trunk. Ornamental tre must be minimum 4' H at time of planting per city code.
SHRUBS									
£\$3	HES PAR	12	Hesperaloe parviflora	Red Yucca	5 gal	CONT	24" ht		
	ILE CAR	8	Ilex cornuta 'Carissa'	Carissa Holly	5 gal	CONT	18" ht		Full, Matching,
E	ILE NEL	31	Ilex x `Nellie R. Stevens`	Nellie R. Stevens Holly	5 gal	CONT	30" ht		Full, Matching,
5.5.25. 5.0.3.5.2	LEU COM	133	Leucophyllum frutescens 'Compacta'	Compact Texas Sage	5 gal	CONT	24" ht		Full, Matching,
[.·]	SAL GRE	15	Salvia greggii	Autumn Sage	5 gal	CONT	18" ht		Full, Matching,
Ř	YUC REC	20	Yucca recurvifolia	Soft Leaf Yucca	5 gal	CONT	24" ht		Full, Matching, 24" o.c. spacing
GRASSES	-				1				
+	MUH CAP	199	Muhlenbergia capillaris	Pink Muhly	3 gal	CONT	24" ht		Full, Matching, 30" o.c. spacing
+}	NAS	143	Nassella tenuissima	Mexican Feather Grass	3 gal	CONT	18" ht		Full, Matching , 24" o.c. spacing
GROUND (COVER								
	EFC	845	Euonymus fortunei `Coloratus`	Purple-leaf Winter Creeper	1 gal	CONT	6" ht	6" spr	Full, 1 gallon min., 18" o.c. spaci
SEED					T			T	Drill and Making American Cook
	DSM	2,700 sf		Dam Slope Mix					Drill seed, Native American Seed #2808, Ref. Planting Specs
+ + + + + + + + + + + + + + + + + + +	DFM	6,500 sf		Drainfield Mix					Drill seed, Native American Seed #2861, Ref. Planting Specs
SOD				<u> </u>					
	SOD	18,490 sf	Cynodon dactylon	Tif Tuf Bermuda Grass					Solid Sod, tight sand filled joints, weed, disease and pest free
MISC									2
MISC	STEEL EDGE	TBD	Steel Edging						3/16" x 6", black

IRRIGATION NOTES:

- 1. LINE LAYOUT IS DIAGRAMMATIC-ADJUST HEAD AND LINE LOCATIONS ON SITE TO ACCOMMODATE EXISTING JOB CONDITIONS AND TO ACHIEVE COMPLETE COVERAGE.
- 2. ALL MAIN LINE PIPING SHALL BE BURIED TO HAVE A MINIMUM COVER OF 18". ALL LATERAL
- PIPING DOWNSTREAM OF THE MAIN LINE SHALL BE BURIED TO HAVE A MINIMUM COVER OF 12".
- 3. ALL MAINS ARE TO DRAIN TO LOW POINTS AT A MINIMUM ONE HALF(1/2%) PERCENT SLOPE. AT LOW POINTS, INSTALL GATE VALVE TO FACILITATE DRAINAGE OF SYSTEM DURING FREEZING TEMPERATURES.
- 4. CONTRACTOR SHALL INSTALL AUTOMATIC DRAIN VALVES AT LOW POINTS IN THE IRRIGATION LINES AS REQUIRED TO PREVENT FREEZE DAMAGE.
- 5. ALL VALVE BOXES SHALL BE BLACK IN COLOR (BODY AND LID). SIZES SHALL BE TEN(10") INCHES BY FOURTEEN (14") INCHES (RECTANGULAR) FOR REMOTE CONTROL VALVES AND NINE (9") INCHES (ROUND) FOR GATE AND QUICK COUPLER VALVES.
- 6. CONTRACTOR SHALL MAKE MINOR ADJUSTMENTS TO SYSTEM LAYOUT IN FIELD TO INSURE POSITIVE DRAINAGE OF LATERAL LINES AND MAIN LINES.
- ALL WIRING FROM THE IRRIGATION CONTROLLER TO THE REMOTE CONTROL VALVES SHALL BE UF-14/1 DIRECT BURIAL CABLE. ALL WIRE SPLICES SHALL BE MADE IN VALVE BOXES ONLY USING RAINBIRD SNAP-TITE CONNECTORS AND SEALANT. PROVIDE SLEEVES FOR WIRE UNDER PAVED AREAS AS REQUIRED.
- ALL IRRIGATION INSTALLATION SHALL CONFORM TO THE LOCAL CODE REGULATIONS AND TCEQ REQUIREMENTS.
- IRRIGATION SYSTEM SHALL BE INSTALLED AND FULLY OPERATIONAL BEFORE INSTALLATION OF LANDSCAPE PLANTINGS.
- 10. IRRIGATION HEADS SHALL BE PLACED AND ADJUSTED SO AS NOT TO SPRAY ON THE BUILDING. IRRIGATION HEADS SHALL BE PLACED AND SIZED SO AS NOT TO BE SUSCEPTIBLE TO DAMAGE BY AUTOMOBILE OVERHANGS.
- 12. IRRIGATION CONTRACTOR SHALL PLACE ADJUSTABLE ARC NOZZLES IN PLACE OF FIXED ARC NOZZLE AS NEEDED TO ELIMINATE OVER SPRAY ON TO PAVEMENT.

on the 15 day of October, 2011.

Planning & Zoning Commission, Chairman

WITNESS OUR HANDS, this 15 day of Outber , 2014

13. ALL IRRIGATION HEADS SHALL HAVE FACTORY INSTALLED CHECK VALVES.

MAINTENANCE NOTES:

TAKE PRECEDENCE

1. LANDSCAPE CONTRACT SHALL INCLUDE, AS AN ALTERNATE BID, A LANDSCAPE MAINTENANCE AGREEMENT. THE LANDSCAPE MAINTENANCE PERIOD SHALL BEGIN ONCE OWNER'S ACCEPTANCE OF IMPROVEMENTS HAS BEEN GIVEN IN WRITING AND EXTEND FOR A PERIOD OF TWO YEARS.

NOTE: PLANT QUANTITIES ARE PROVIDED FOR CONVENIENCE

ONLY. IN THE CASE OF A DISCREPANCY, THE DRAWING SHALL

- 2. MAINTENANCE AGREEMENT SHALL GENERALLY CONFORM TO LANDSCAPE MAINTENANCE GUIDELINES PROVIDED BY OWNER AND MODIFIED TO MEET THE BEST MANAGEMENT PRACTICES OF THE LOCAL CLIMATE AND SITE SPECIFIC CONDITIONS.
- 3. AT A MINIMUM, THE AGREEMENT SHALL INCLUDE, ALL LABOR AND MATERIALS TO PERFORM THE PROFESSIONAL MAINTENANCE OF THE SITE'S LANDSCAPE IMPROVEMENTS. THE AGREEMENT SHALL BE WRITTEN TO INCLUDE, BUT MAY NOT BE LIMITED TO, THE FOLLOWING:
- A. LAWN CARE B. FERTILIZATION

Director of lanning and Zoning

C. INTEGRATED PEST MANAGEMENT D. IRRIGATION

I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall

- E. PLANTING BEDS
- F. TREES AND SHRUBS
- 4. THE PROGRAM FOR THE MAINTENANCE AGREEMENT SHALL BE BASED ON A COMPLETE SOILS ANALYSIS TO ADDRESS SPECIFIC SITE CONDITIONS AND TO ENSURE THE HEALTHY AND VIGOROUS GROWTH OF THE PLANT MATERIALS.

SITE PLAN CASE NUMBER: SP2024-040 HORIZON ROAD COMMERCIAL OFFICES 2.7391 ACRES (119316 SF.) BEING SITUATED IN THE W.W FORD SURVEY, ABSTRACT NO. 80 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS SUBMITTED: SEPTEMBER 13, 2024

RESUBMITTED: OCTOBER 1, 2024

TOTAL SITE AREA

REQUIRED

23,871 SF

33 TREES

REQUIRED

9 TREES

5 TREES

REQUIRED

YES

5 TREES

10 TREES

REQUIRED

11 TREES

YES

YES

YES

REQUIRED

1,073 SF

12 TREES

REQUIRED

YES

20%

PROVIDED

PROVIDED

33 TREES

PROVIDED

9 TREES

5 TREES

PROVIDED

5 TREES

10 TREES

PROVIDED

PROVIDED

PROVIDED

1,834 SF

12 TREES

PROVIDED

YES, PROVIDED BY REQUIRED TREES

YES

YES

YES

10 PROPOSED, 1 EXISTING

YES

34,243 SF

29%

119,354 SF (2.73 AC)

CITY OF ROCKWALL - CODE REQUIREMENTS

LANDSCAPE AREA

DETENTION BASIN

20% OF SITE

119,354 SF X 20% = 23,871 SF

2.74 AC X 12 = 32.88 TREES

DETENTION BASIN = 6500 SF

1 ACCENT TREE PER 1500 SF = 5

LANDSCAPE BUFFER: 20' DEPTH

 $(234.5 LF / 100) \times 2 = 5 TREES$

 $(234.5 LF / 100) \times 4 = 10 TREES$

MIN. 30" HT SHRUBS

2 TREES PER 100 LF

CANOPY TREES

ACCENT TREES

4 TREE PER 100 LF

SCREENING TREES

SCREENING SHRUBS

20' BUFFER

HEADLIGHT SCREENING

MIN. 2' HT BERM

EVERGREEN SHRUBS

PARKING REQUIREMENTS

PARKING TREES

TREE MITIGATION

TREE MITIGATION

MIN. 5 % INTERIOR LANDSCAPING

1 TREE WITHIN 80 LF OF EACH SPACE

ALL PLANT MATERIAL TO BE IRRIGATED IN COMPLIANCE TO CITY

OF ROCKWALL, UNIFIED DEVELOPMENT CODE ARTICLE 8.05.04

TOTAL PARKING= 21,529 SF

1 TREE PER 10 SPACES

116 SPACES / 10 = 12 TREES

SCREENING FROM RESIDENTIAL

1 CANOPY TREE PER 750 SF = 9 TREES

12 TREES PER ACRE

IMPERVIOUS AREA= 84,111 SF

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DEVELOPER

PLATINUM CONSTRUCTION 1450 TL TOWNSEND DR. STE 100 ROCKWALL, TX 75032 TEL: (469) 222-1597

CONTACT: SHAWN VALK

OWNER

SARO PARTNERS LLC 1450 S. T L TOWNSEND ROCKWALL, TX 75302 TEL: (000) 000-0000 CONTACT: JAY KANTER

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0 ∞ N

OH N THESE PLANS ARE ISSUED FOR THE PURPOSE OF PRELIMINARY REVIEW AND ARE NOT INTENDED FOR CONSTRUCTION. WHEN ISSUED IN FINAL FORM THEY WILL BE SEALED, SIGNED AND DATED.

RESPONSIBLE LANDSCAPE ARCHITECT: MICHAEL STOTTLER, PLA TEXAS REGISTRATION NO. 3743 BGE, INC. TEXAS REGISTERED ENGINEERING FIRM F-1046 10/8/2024

!!CAUTION !! Contractor to Verify exact location & Depth of Exist Facilities Prior to any Construction

CONTACT: 1-800-DIG-TESS 48 HOURS PRIOR TO CONSTRUCTION

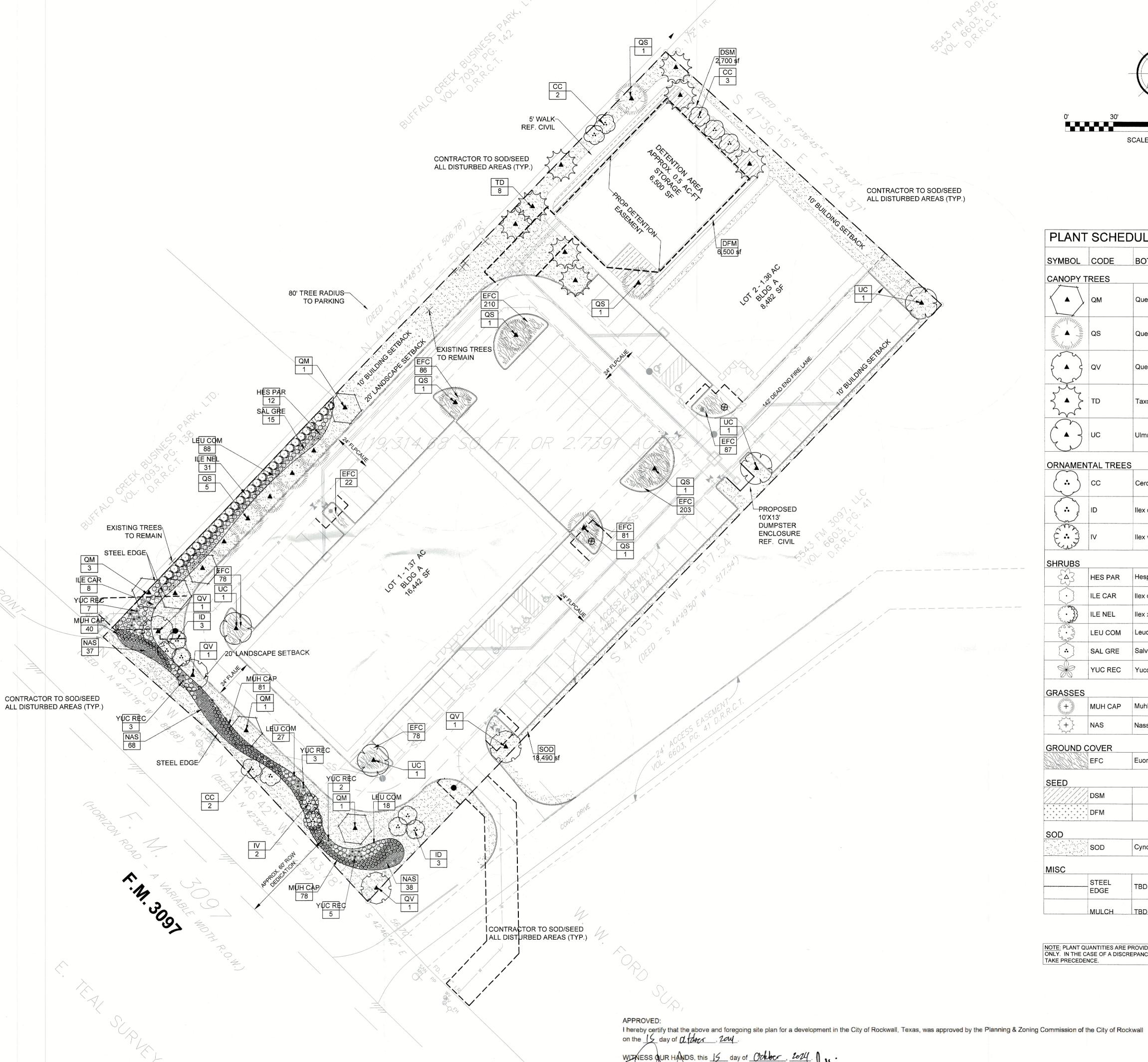
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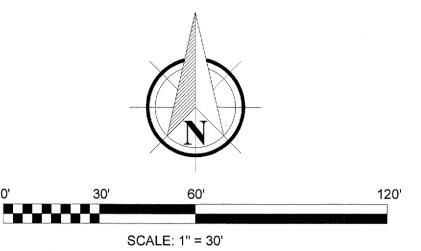
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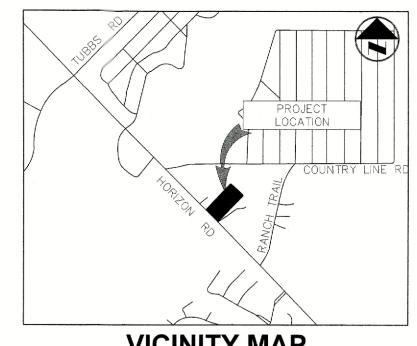
SHEET NO

L2.01

PLANTING SCHEDULE AND







VICINITY MAP

(NOT TO SCALE)

YMBOL	CODE	BOTANIC	AL NAME	COMMON NAME		
CANOPY T	REES					
(QM	Quercus ma	acrocarpa	Burr Oak		
	QS	Quercus sh	umardii	Shumard Red Oak		
	QV	Quercus vir	giniana	Southern Live Oak		
	TD	Taxodium d	istichum	Bald Cypress		
	UC	Ulmus crass	sifolia	Cedar Elm		
ORNAMEN	TAL TREES	S				
	cc	Cercis cana	densis	Eastern Redbud		
200	ID	Ilex decidua		Possumhaw Holly		
E	IV	llex vomitori	Yaupon Holly			
SHRUBS				T		
£\$3	HES PAR	Hesperaloe	parviflora	Red Yucca		
\odot	ILE CAR	llex cornuta	`Carissa`	Carissa Holly		
	ILE NEL	llex x `Nellie	R. Stevens	Nellie R. Stevens Holly		
E. 25. 5.	LEU COM	Leucophyllu	m frutescens `Compacta`	Compact Texas Sage		
•	SAL GRE	Salvia gregg	jii	Autumn Sage		
*	YUC REC	Yucca recur	vifolia	Soft Leaf Yucca		
GRASSES						
+	MUH CAP	Muhlenberg	ia capillaris	Pink Muhly		
+}	NAS	Nassella ten	uissima	Mexican Feather Grass		
GROUND C	OVER					
	EFC	Euonymus f	ortunei `Coloratus`	Purple-leaf Winter Creeper		
SEED		Ţ				
	DSM			Dam Slope Mix		
+ + + + + + + + + + + + + + + + + + + +	DFM			Drainfield Mix		
SOD	000	Comadand	otulon	T/(T, / D,)		
	SOD	Cynodon da	CLYION	Tif Tuf Bermuda Grass		
MISC						
	STEEL EDGE	TBD	Steel Edging	<u> </u>		
	MULCH	TRD	Shredded Hardwood Mule	sh		

NOTE: PLANT QUANTITIES ARE PROVIDED FOR CONVENIENCE ONLY. IN THE CASE OF A DISCREPANCY, THE DRAWING SHALL TAKE PRECEDENCE.

Director Planning and Zoning

Planning & Zoning Commission, Chairman

MULCH TBD Shredded Hardwood Mulch

SITE PLAN CASE NUMBER: SP2024-040 HORIZON ROAD COMMERCIAL OFFICES 2.7391 ACRES (119316 SF.) BEING SITUATED IN THE W.W FORD SURVEY, ABSTRACT NO. 80 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS SUBMITTED: SEPTEMBER 13, 2024 RESUBMITTED: OCTOBER 1, 2024

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DEVELOPER

PLATINUM CONSTRUCTION 1450 TL TOWNSEND DR. STE 100 ROCKWALL, TX 75032 TEL: (469) 222-1597

CONTACT: SHAWN VALK

OWNER

SARO PARTNERS LLC

1450 S. T L TOWNSEND ROCKWALL, TX 75302 TEL: (000) 000-0000 CONTACT: JAY KANTER

HORIZON W.W FORD S THESE PLANS ARE ISSUED FOR THE PURPOSE OF PRELIMINARY REVIEW AND ARE NOT INTENDED FOR CONSTRUCTION. WHEN ISSUED IN FINAL FORM THEY WILL BE SEALED, SIGNED AND DATED.

RESPONSIBLE LANDSCAPE ARCHITECT:

MICHAEL STOTTLER, PLA

TEXAS REGISTRATION NO. 3743

BGE, INC.

TEXAS REGISTERED ENGINEERING FIRM F-1046

10/8/2024 !!CAUTION !! Contractor to Verify exact location & Depth of Exist Facilities Prior to any Construction Activities

CAUTION !!! CONTACT: 1-800-DIG-TESS 48 HOURS PRIOR TO CONSTRUCTION

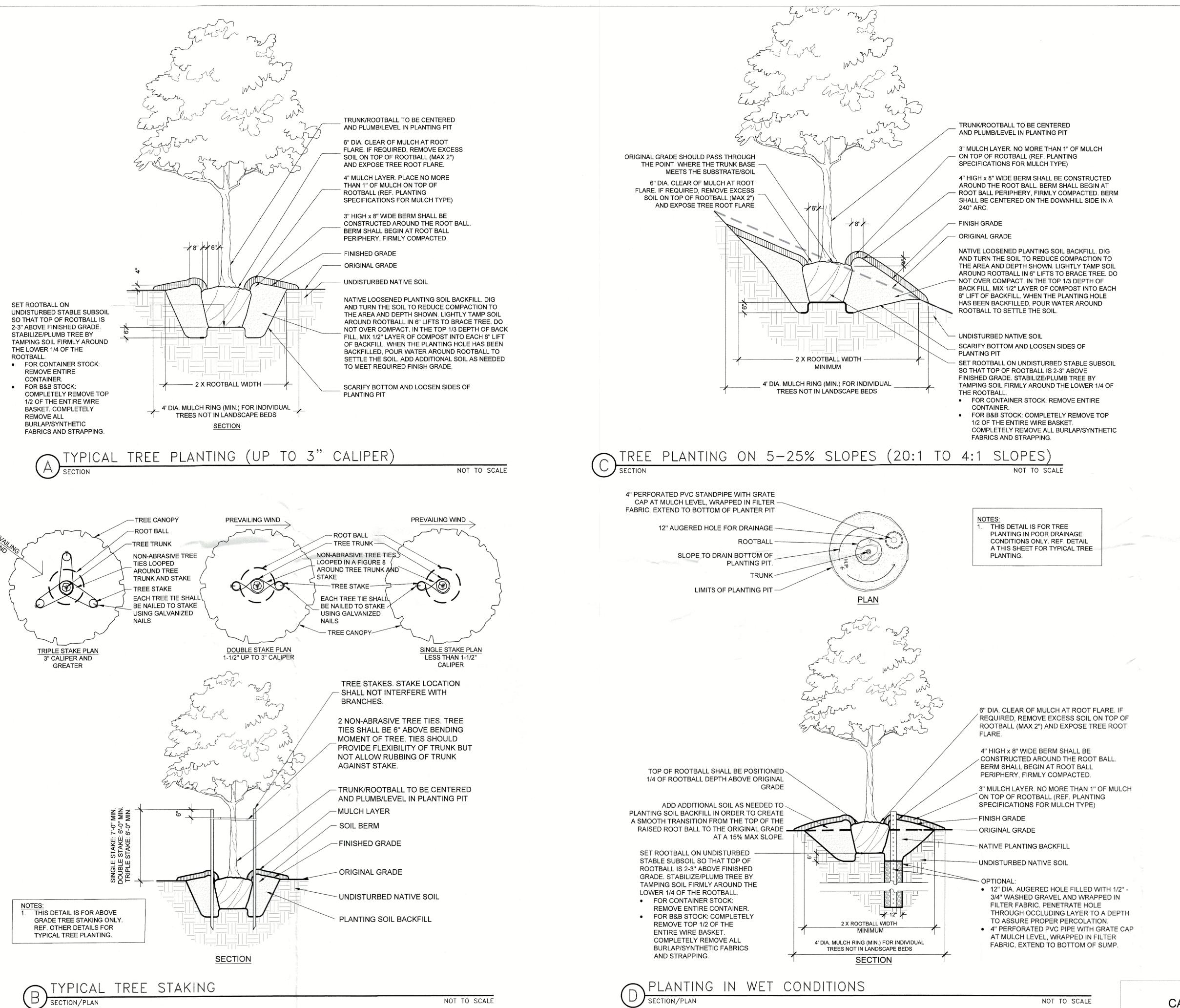
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CHECKED BY: MLS DESIGNED BY: NPS DATE: 10/8/2024 PROJECT NUMBER: 13185-00

SHEET NO

L2.02

PLANTING PLAN



Director of Planning and Zoning

NOT TO SCALE

WITNESS OUR HANDS, this 15 day of OWNER

Planning & Zoning Commission, Chairman

SITE PLAN CASE NUMBER: SP2024-040 HORIZON ROAD COMMERCIAL OFFICES 2.7391 ACRES (119316 SF.) BEING SITUATED IN THE W.W FORD SURVEY, ABSTRACT NO. 80 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS SUBMITTED: SEPTEMBER 13, 2024 RESUBMITTED: OCTOBER 1, 2024

NOT TO SCALE

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DEVELOPER PLATINUM CONSTRUCTION

1450 TL TOWNSEND DR. STE 100 ROCKWALL, TX 75032 TEL: (469) 222-1597 CONTACT: SHAWN VALK

OWNER

SARO PARTNERS LLC 1450 S. T L TOWNSEND

ROCKWALL, TX 75302 TEL: (000) 000-0000 CONTACT: JAY KANTER

OFFICI

ANT

HORIZON W.W FORD S THESE PLANS ARE ISSUED FOR THE PURPOSE OF PRELIMINARY REVIEW AND ARE NOT INTENDED FOR CONSTRUCTION. WHEN ISSUED IN FINAL FORM THEY WILL BE SEALED, SIGNED AND DATED.

RESPONSIBLE LANDSCAPE ARCHITECT: MICHAEL STOTTLER, PLA TEXAS REGISTRATION NO. 3743 BGE, INC. TEXAS REGISTERED ENGINEERING FIRM F-1046

!!CAUTION !! Contractor to Verify exact location & Depth of

Exist Facilities Prior to any Construction

10/8/2024

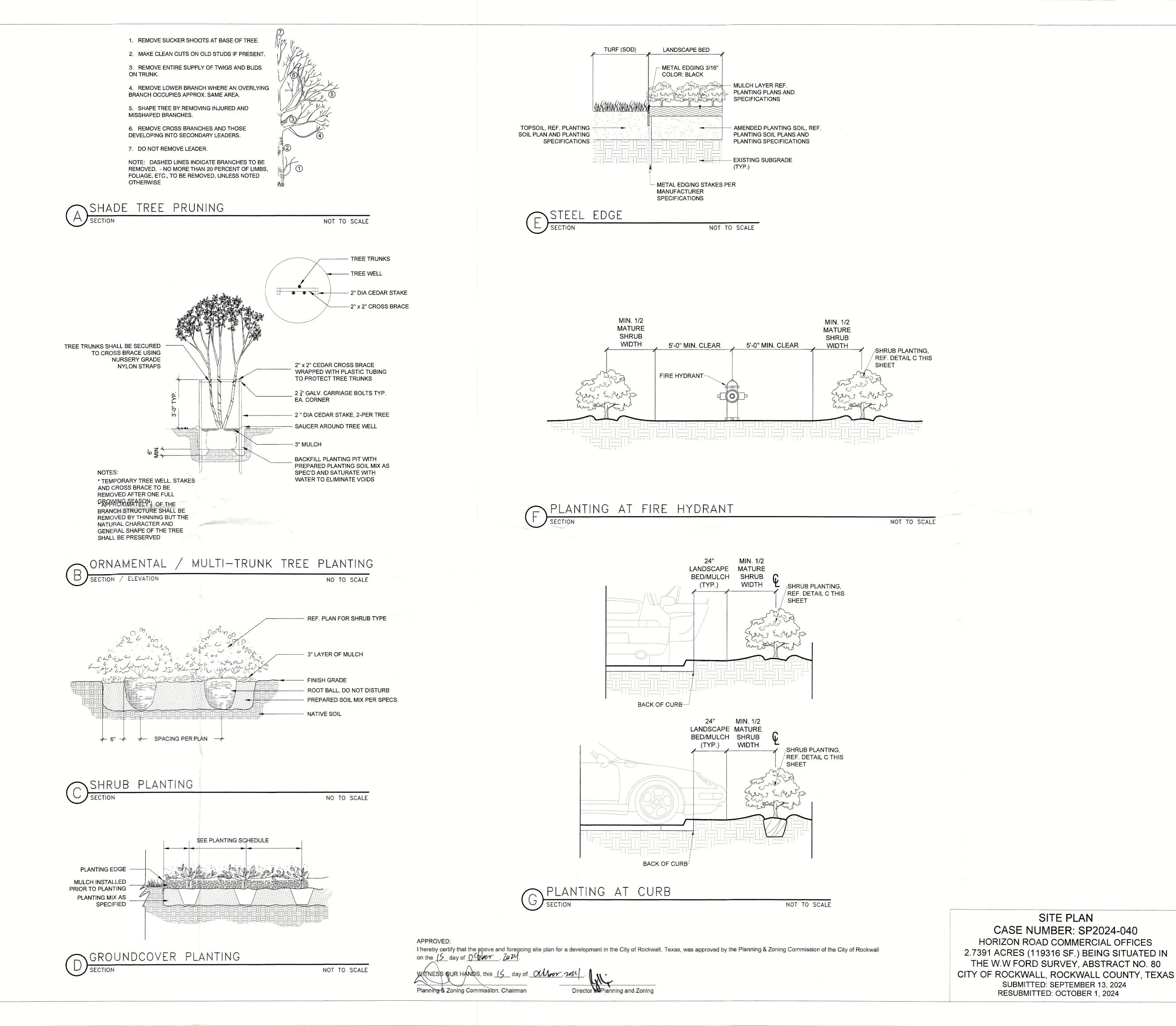
CONTACT: 1-800-DIG-TESS 48 HOURS PRIOR TO CONSTRUCTION

REVISIONS REV NO. DATE DESCRIPTION

CHECKED BY: MLS DESIGNED BY: NPS DATE: 10/8/2024 PROJECT NUMBER: 13185-00

SHEET NO L2.03

PLANTING DETAILS





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DEVELOPER

PLATINUM CONSTRUCTION 1450 TL TOWNSEND DR. STE 100 ROCKWALL, TX 75032 TEL: (469) 222-1597 CONTACT: SHAWN VALK

OWNER

SARO PARTNERS LLC 1450 S. T L TOWNSEND ROCKWALL, TX 75302 TEL: (000) 000-0000

CONTACT: JAY KANTER

OFFICE

ANT

HORIZON W.W FORD S THESE PLANS ARE ISSUED FOR THE PURPOSE OF PRELIMINARY REVIEW AND ARE NOT INTENDED FOR CONSTRUCTION. WHEN ISSUED IN FINAL FORM THEY WILL BE SEALED, SIGNED AND DATED.

RESPONSIBLE LANDSCAPE ARCHITECT: MICHAEL STOTTLER, PLA TEXAS REGISTRATION NO. 3743 BGE, INC. TEXAS REGISTERED ENGINEERING FIRM F-1046 10/8/2024

!!CAUTION !! Contractor to Verify exact location & Depth of Exist Facilities Prior to any Construction

CAUTION !!!

CONTACT: 1-800-DIG-TESS
48 HOURS PRIOR TO CONSTRUCTION **REVISIONS** REV NO. DATE DESCRIPTION

CHECKED BY: MLS DESIGNED BY: NPS DATE: 10/8/2024 PROJECT NUMBER: 13185-00

SITE PLAN

SHEET NO

L2.04

PLANTING DETAILS





APPROVED:
I hereby certify that the above and foregoing site plan for development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission on the Solday of Collection

Planning & Zoning Commission,

NOTICE OF ALTERNATE BILLING OR PAYMENT CYCLE:
THIS CONTRACTOR MAY ALLOW THE OWNER TO REQUIRE
THE SUMBISSION OF BILLING OR ESTIMATES IN
BILLING CYCLES OTHER THAN THIRTY DAYS. THIS
CONTRACT MAY ALLOW OWNER TO MAKE PAYMENT
ON SOME ALTERNATIVE SCHEDULE AFTER
CERTIFICATION AND APPROVAL OF BILLING AND
ESTIMATES. A WRITTEN DESCRIPTION OF SUCH OTHER
BILLING CYCLE APPLICABLE TO THE PROJECT IS
AVAILABLE FROM OWNER OR DESIGNATED AGENT.
NAME:
ADDRESS:
ADDRESS:
CONTACT:
PHONE:

(SCHEMATIC DESIGN)

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DESIGN BY: DRAWN BY: CHECKED BY: NF

MATERIALS & COLORS:

STONE MASON

1 - STUCCO-PAINTED: COLOR: FRENCH WHITE

DUNN-EDWARDS SPEC: DEW311

STUCCO-PAINTED:
MFG: DUNN-EDWARDS

COLOR:

SPEC:

SPEC: DUNN-EDWARDS COLOR: CAVERNOUS SPEC: DE6364

PAINTED STUCCO:
MFG: DUNN-EDWARDS COLOR: WHALE WATCHING

GLAZING: MFG: SOLARBAN SOLARBAN 90(2) SOLARGRAY + CLEAR COLOR:

DET512

STOREFRONT MULLIONS: COLOR: DARK BRONZE

COLOR: CAP COD GRAY METAL ROOF:
MFG: ATAS

STONE VENEER:

NOTE:
BACKSIDE OF PARAPET TO BE FINISHED

THE SAME AS THE FRONT FACING FACADE

COLOR: CLASSIC BRONZE(01)

SECONDARY FACADE

ENTRY ELEMENT PROJECTION HEIGHT (H) = 24-FEET (H)15% = 3.6-FEET

PROJECTIONS HEIGHT (H) = 17.8-FEET (H)15% = 2.6-FEET

MATERIALS & COLORS:

STUCCO-PAINTED:
DUNN-EDWARDS
WHITE COLOR: FRENCH WHITE SPEC:

COLOR: STONE MASON SPEC:

DUNN-EDWARDS COLOR: **CAVERNOUS** SPEC: DE6364

PAINTED STUCCO: **DUNN-EDWARDS** COLOR: WHALE WATCHING SPEC: DET512

COLOR: SOLARBAN 90(2) SOLARGRAY + CLEAR STOREFRONT MULLIONS KAWNEER

GLAZING: MFG:

COLOR: DARK BRONZE STONE VENEER: COLOR: CAP COD GRAY

METAL ROOF: MFG: COLOR: CLASSIC BRONZE(01)

NOTE:
BACKSIDE OF PARAPET TO BE FINISHED THE SAME AS THE FRONT FACING FACADE

PRIMARY FACADE

ENTRY ELEMENT PROJECTION HEIGHT (H) = 24-FEET (H)25% = 6-FEET

PROJECTIONS HEIGHT (H) = 17.8-FEET (H)25% = 4.4-FEET

I hereby certify that the above and foregoing site plan for development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission on the 15 day of







MATERIAL CALCULATIONS -

1 - FRENCH WHITE - 51.50 %

4 - WHALE WATCHING - 18.92%

2 - STONE MASON - 11.82%

7 - STONE VENEER - 17.74%

NOTICE OF ALTERNATE BILLING OR PAYMENT CYCLE:
THIS CONTRACTOR MAY ALLOW THE OWNER TO REQUIRE
THE SUMBISSION OF BILLING OR ESTIMATES IN
BILLING CYCLES OTHER THAN THIRTY DAYS. THIS CONTRACT MAY ALLOW OWNER TO MAKE PAYMEN ON SOME ALTERNATIVE SCHEDULE AFTER CERTIFICATION AND APPROVAL OF BILLING AND ESTIMATES, A WRITTEN DESCRIPTION OF SUCH OTHER BILLING CYCLE APPLICABLE TO THE PROJECT IS AVAILABLE FROM OWNER OR DESIGNATED AGENT.

NAME: ADDRESS: ADDRESS: CONTACT: PHONE:

4 - WHALE WATCHING - 37% 7 - STONE VENEER - 17.9%

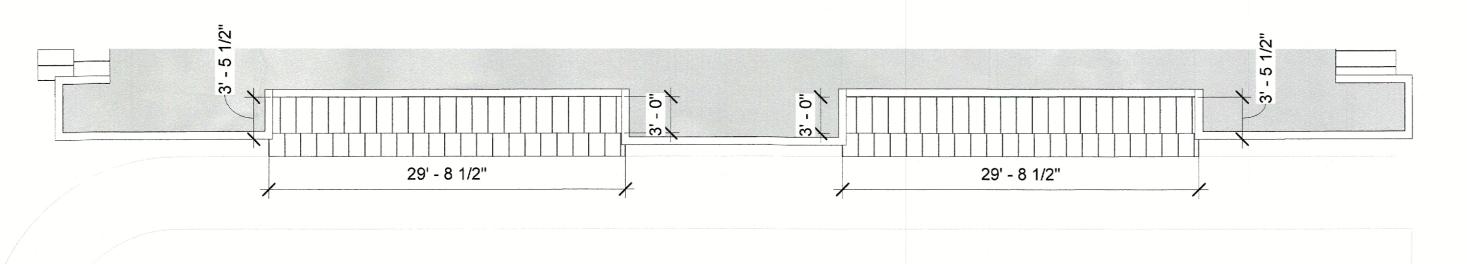
1 - FRENCH WHITE - 35.83%

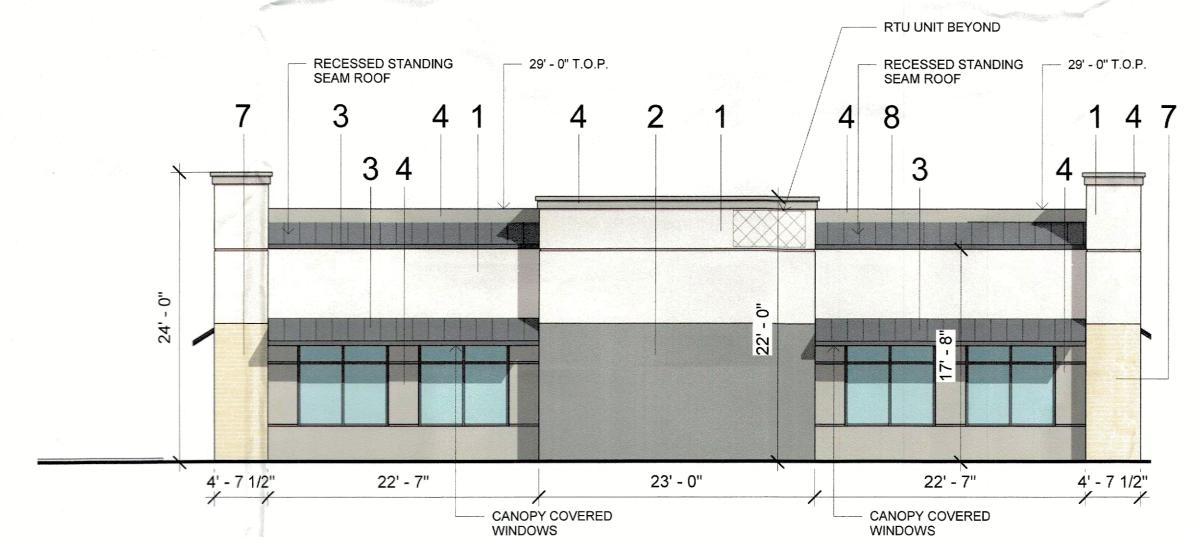
2 - STONE MASON - 9.19%

MATERIAL CALCULATIONS -

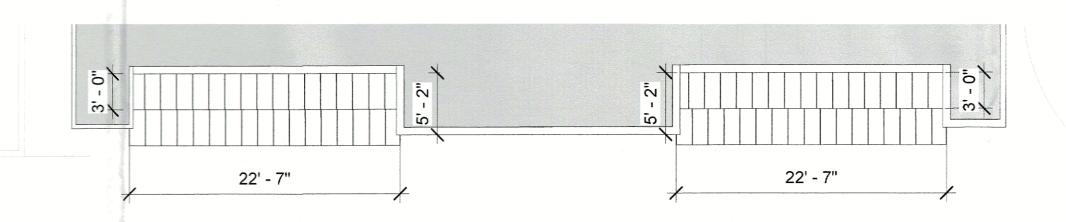
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DESIGN BY: DRAWN BY: CHECKED BY:





EAST OFFICE BUILDING ELEVATION 1/8" = 1'-0"



MATERIALS & COLORS:

1 - STUCCO-PAINTED: DUNN-EDWARDS FRENCH WHITE COLOR: SPEC: DEW311

MATERIAL CALCULATIONS -

1 - FRENCH WHITE - 40.30 % 2 - STONE MASON - 8.75%

7 - STONE VENEER - 16.90%

4 - WHALE WATCHING - 34%

MATERIAL CALCULATIONS -

1 - FRENCH WHITE - 38.23%

4 - WHALE WATCHING - 38.5%

2 - STONE MASON - 16.75%

7 - STONE VENEER - 6.75%

COLOR: STONE MASON

DUNN-EDWARDS CAVERNOUS COLOR: SPEC: DE6364

PAINTED STUCCO:
MFG: DUNN-EDWARDS COLOR: WHALE WATCHING DET512

GLAZING: MFG: SOLARBAN 90(2) SOLARGRAY + CLEAR COLOR:

STOREFRONT MULLIONS: COLOR: DARK BRONZE

7 - STONE VENEER: MFG: CO COLOR: CAP COD GRAY

COLOR: CLASSIC BRONZE(01)

NOTE:
BACKSIDE OF PARAPET TO BE FINISHED
THE SAME AS THE FRONT FACING FACADE

SECONDARY FACADE

ENTRY ELEMENT PROJECTION HEIGHT (H) = 24-FEET (H)15% = 3.6-FEET

PROJECTIONS HEIGHT (H) = 17.8-FEET (H)15% = 2.6-FEET

MATERIALS & COLORS:

STUCCO-PAINTED:
MFG: DUNN-EDWARDS COLOR: FRENCH WHITE DEW311

SPEC:

STONE MASON COLOR: SPEC: DET615

PAINTED METAL: DUNN-EDWARDS COLOR: CAVERNOUS SPEC: DE6364

GLAZING: MFG:

PAINTED STUCCO: DUNN-EDWARDS COLOR: WHALE WATCHING SPEC: DET512

SOLARBAN 90(2) SOLARGRAY + CLEAR COLOR: 6 - STOREFRONT MULLIONS: MFG: KAWNEER

SOLARBAN

DARK BRONZE COLOR: STONE VENEER: MFG: CO COLOR: CAP COD GRAY

METAL ROOF: MFG: COLOR: CLASSIC BRONZE(01)

NOTE:
BACKSIDE OF PARAPET TO BE FINISHED THE SAME AS THE FRONT FACING FACADE

SECONDARY FACADE

ENTRY ELEMENT PROJECTION HEIGHT (H) = 24-FEET (H)15% = 3.6-FEET

PROJECTIONS HEIGHT (H) = 17.8-FEET (H)15% = 2.6-FEET

APPROVED: I hereby certify that the above and foregoing site plan for development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission on the LS day of Color



NOTICE OF ALTERNATE BILLING OR PAYMENT CYCLE: THIS CONTRACTOR MAY ALLOW THE OWNER TO REQUIRE THE SUMBISSION OF BILLING OR ESTIMATES IN

BILLING CYCLES OTHER THAN THIRTY DAYS. THIS CONTRACT MAY ALLOW OWNER TO MAKE PAYMEN ON SOME ALTERNATIVE SCHEDULE AFTER CERTIFICATION AND APPROVAL OF BILLING AND ESTIMATES. A WRITTEN DESCRIPTION OF SUCH OTHER BILLING CYCLE APPLICABLE TO THE PROJECT IS AVAILABLE FROM OWNER OR DESIGNATED AGENT.

SCHI

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DESIGN BY: DRAWN BY: CHECKED BY:

NOTICE OF ALTERNATE BILLING OR PAYMENT CYCLE:
THIS CONTRACTOR MAY ALLOW THE OWNER TO REQUIRE
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BILLING CYCLES OTHER THAN THIRTY DAYS. THIS
CONTRACT MAY ALLOW OWNER TO MAKE PAYMENT
ON SOME ALTERNATIVE SCHEDULE AFTER
CERTIFICATION AND APPROVAL OF BILLING AND
ESTIMATES. A WRITTEN DESCRIPTION OF SUCH OTHER
BILLING CYCLE APPLICABLE TO THE PROJECT IS
AVAILABLE FROM OWNER OR DESIGNATED AGENT.
NAME:
ADDRESS:
ADDRESS:
CONTACT:
PHONE:

(SCHEMATIC DESIGN)

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PERMISSION OF THE CORPORATION.

DESIGN BY: DRAWN BY: CHECKED BY:

PROJECT #: 24216.50

Planning & Zoning Commission,

MATERIALS & COLORS:

1 - <u>STUCCO-PAINTED:</u> MFG: DUNN-EDWARDS

COLOR: FRENCH WHITE

COLOR: STONE MASON

DUNN-EDWARDS COLOR: CAVERNOUS

SPEC: PAINTED STUCCO:
MFG: DUNN-EDWARDS

COLOR: WHALE WATCHING

SPEC: DET512 GLAZING: MFG: COLOR:

SOLARBAN SOLARBAN 90(2) SOLARGRAY + CLEAR

COLOR: DARK BRONZE

VLT

STONE VENEER:
MFG: CORONADO COLOR: CAP COD GRAY

METAL ROOF: MFG: ATAS COLOR: CLASSIC BRONZE(01)

NOTE: BACKSIDE OF PARAPET TO BE FINISHED THE SAME AS THE FRONT FACING FACADE

SECONDARY FACADE

ENTRY ELEMENT PROJECTION HEIGHT (H) = 30-FEET (H)15% = 4.6-FEET

PROJECTIONS HEIGHT (H) = 21.6-FEET (H)15% = 3.2-FEET

MATERIALS & COLORS:

STUCCO-PAINTED: **DUNN-EDWARDS** COLOR: FRENCH WHITE

SPEC: DEW311 STUCCO-PAINTED:

DUNN-EDWARDS COLOR: STONE MASON SPEC: DET615

DUNN-EDWARDS COLOR: CAVERNOUS SPEC: DE6364

DUNN-EDWARDS COLOR: WHALE WATCHING SPEC: DET512 GLAZING: MFG:

COLOR:

COLOR: DARK BRONZE

STONE VENEER: CORONADO COLOR: CAP COD GRAY

SOLARBAN

SOLARBAN 90(2) SOLARGRAY + CLEAR

METAL ROOF: MFG: ATAS COLOR: CLASSIC BRONZE(01)

NOTE:
BACKSIDE OF PARAPET TO BE FINISHED THE SAME AS THE FRONT FACING FACADE

PRIMARY FACADE

ENTRY ELEMENT PROJECTION HEIGHT (H) = 30-FEET (H)25% = 7.6-FEET

LENGHT (L) = 42.375-FEET (L)25% = 10.6-FEET

I hereby certify that the above and foregoing site plan for development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission on the \(\subseteq \) day of \(\text{OCtober} \)



MATERIAL CALCULATIONS -

1 - FRENCH WHITE - 28.85 %

4 - WHALE WATCHING - 36.20%

2 - STONE MASON - 16.15%

7 - STONE VENEER - 18.80%

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4 - WHALE WATCHING - 32.32% 7 - STONE VENEER - 32.17%

MATERIAL CALCULATIONS -

1 - FRENCH WHITE - 35.50%

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DESIGN BY: DRAWN BY: CHECKED BY:

MATERIALS & COLORS:

STUCCO-PAINTED:
MFG: DUNN-EDWARDS COLOR: FRENCH WHITE

MATERIAL CALCULATIONS -

1 - FRENCH WHITE - 30.75 % 2 - STONE MASON - 9.80%

4 - WHALE WATCHING - 41.38%

7 - STONE VENEER - 18%

DUNN-EDWARDS

COLOR: STONE MASON

PAINTED METAL: COLOR: CAVERNOUS SPEC: DE6364

PAINTED STUCCO:
MFG: DUNN-EDWARDS COLOR: WHALE WATCHING DET512

SOLARBAN COLOR: SOLARBAN 90(2) SOLARGRAY + CLEAR

STOREFRONT MULLIONS: DARK BRONZE

STONE VENEER:

CAP COD GRAY METAL ROOF:

NOTE:
BACKSIDE OF PARAPET TO BE FINISHED THE SAME AS THE FRONT FACING FACADE

SECONDARY FACADE

ENTRY ELEMENT PROJECTION HEIGHT (H) = 30-FEET (H)15% = 4.6-FEET

PROJECTIONS HEIGHT (H) = 21.6-FEET (H)15% = 3.2-FEET

MATERIALS & COLORS:

STUCCO-PAINTED: **DUNN-EDWARDS** COLOR: FRENCH WHITE

DEW311

STUCCO-PAINTED: DUNN-EDWARDS COLOR: STONE MASON SPEC: DET615

DUNN-EDWARDS COLOR: **CAVERNOUS** SPEC: DE6364

PAINTED STUCCO:
MFG: DUNN-EDWARDS WHALE WATCHING SPEC: DET512

SOLARBAN COLOR: SOLARBAN 90(2) SOLARGRAY + CLEAR

CAP COD GRAY

DARK BRONZE COLOR: STONE VENEER: CORONADO

METAL ROOF: MFG: ATAS COLOR: CLASSIC BRONZE(01)

NOTE:
BACKSIDE OF PARAPET TO BE FINISHED THE SAME AS THE FRONT FACING FACADE

SECONDARY FACADE

ENTRY ELEMENT PROJECTION HEIGHT (H) = 30-FEET (H)15% = 4.6-FEET

PROJECTIONS HEIGHT (H) = 21. (H)15% = 3.2-FEET

I hereby certify that the above and foregoing site plan for

Planning & Zoning Commission, Diactor of Planning & Zoning

NOTICE OF ALTERNATE BILLING OR PAYMENT CYCLE: THIS CONTRACTOR MAY ALLOW THE OWNER TO REQUIRE THE SUMBISSION OF BILLING OR ESTIMATES IN BILLING CYCLES OTHER THAN THIRTY DAYS, THIS CONTRACT MAY ALLOW OWNER TO MAKE PAYMENT ON SOME ALTERNATIVE SCHEDULE AFTER CERTIFICATION AND APPROVAL OF BILLING AND ESTIMATES. A WRITTEN DESCRIPTION OF SUCH OTHER BILLING CYCLE APPLICABLE TO THE PROJECT IS AVAILABLE FROM OWNER OR DESIGNATED AGENT.

7 - STONE VENEER - 29.56%

1 - FRENCH WHITE - 32.62%

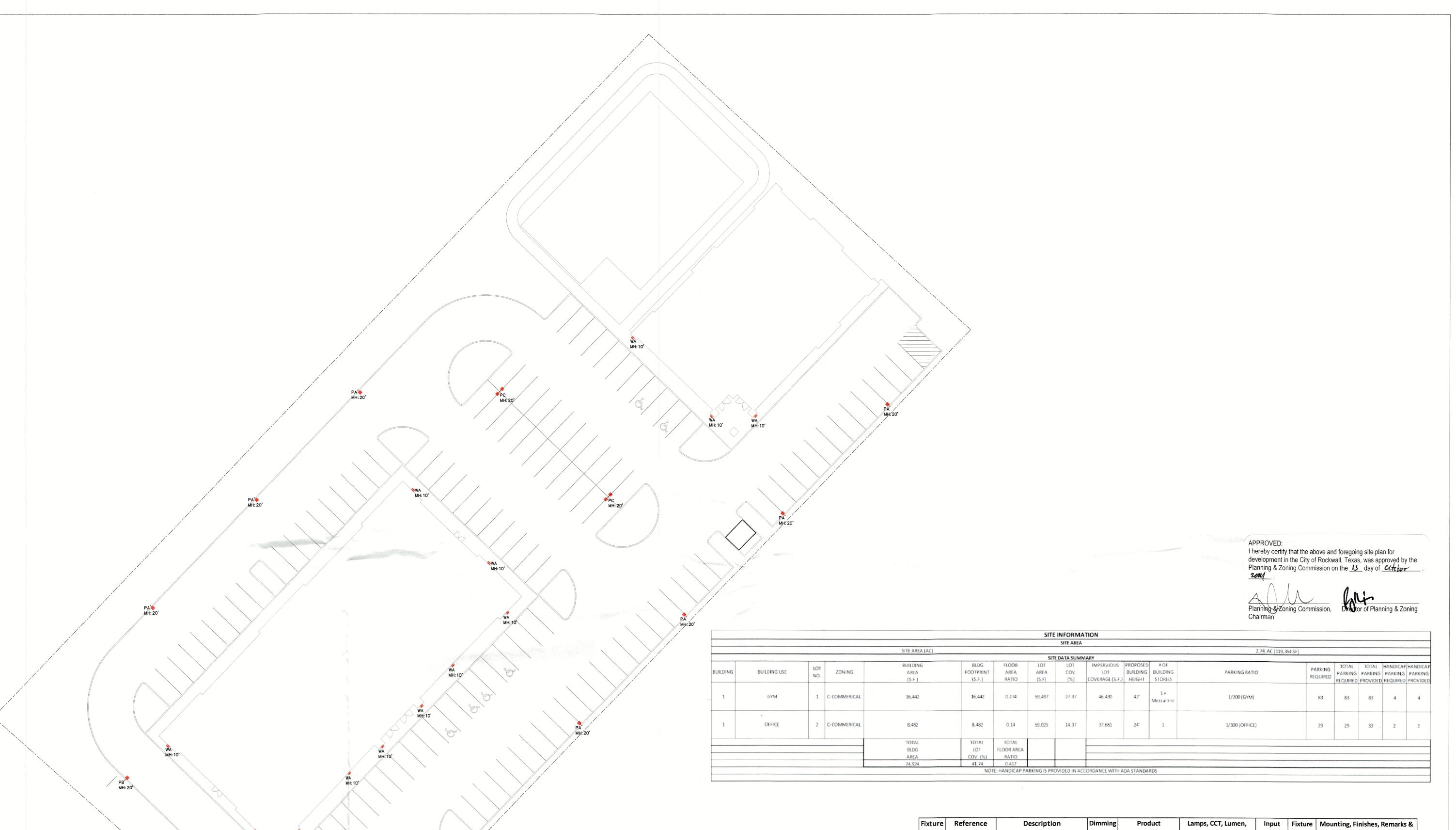
4 - WHALE WATCHING - 37.80%

MATERIAL CALCULATIONS -

DESIGN) (SCHEMATIC

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DESIGN BY: DRAWN BY: CHECKED BY:



LIGHTING PLAN - SITE

Fixture Type	Reference Image	Description	Dimming Interface		Lamps, CCT, Lumen, Optics, CRI	Input Voltage	Fixture Wattage	Mounting, Finishes, Remarks & Other Notes
				EXTERIOR FIXTU	RE TYPES			
PA	NV-1	Single-Head Area New Pole, Type IV Distribution with House Side Shield	N/A	CLI-NV-1-T4-32L-1- 40K7-UNV-XX-XX- XX-HSS	Integrated LED Module, 4000k, 12,826lm, Type IV Distribution, w/Backlite Control, 70CRI	UNI-VAC	106	Single-head Mounted to 20'-0" Exisiting pole. Engineer to determine required base/pole size/height. Finish TBD.
РВ	NV-1	Single-Head Area New Pole, Type III Distribution	N/A	CLI-NV-1-T3-32L-1- 40K7-UNV-XX-XX- XX-HSS	Integrated LED Module, 4000k, 13,038lm, Type III Distribution,w/Backlite Control, 70CRI	UNI-VAC	106	Singlel-head Mounted to 20'-0" Exisiting pole. Engineer to determine required base/pole size/height. Finish TBD.
PC	NV-1	Double-Head Area New Pole, Type V Distribution	N/A	CLI-NV-1-T3-32L-1- 40K7-UNV-XX-XX- XX	2-Integrated LED Module, 4000k, (2)13,144lm, Type V Distribution,70CRI	UNI-VAC	212	Double-heads Mounted to 20'-0' New pole. Engineer to determine required base/pole size/height. Finish TBD.
WA		Wall pack	TBD	CLI-NV-W-T4-16L-7- 40K7-UNV-WM-XX- XX-XX	Integrated LED, 4000K, 4,651Lm, Type 4 Distribution	UNI-VAC	37	Direct mounted to building at 10'0" AFG. Finish TBD.



08.16.2024 10.03.2024

HORIZON STREET NUMBER CITY, ST ZIP

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LIGHTING PLAN SITE

 Scale
 Date

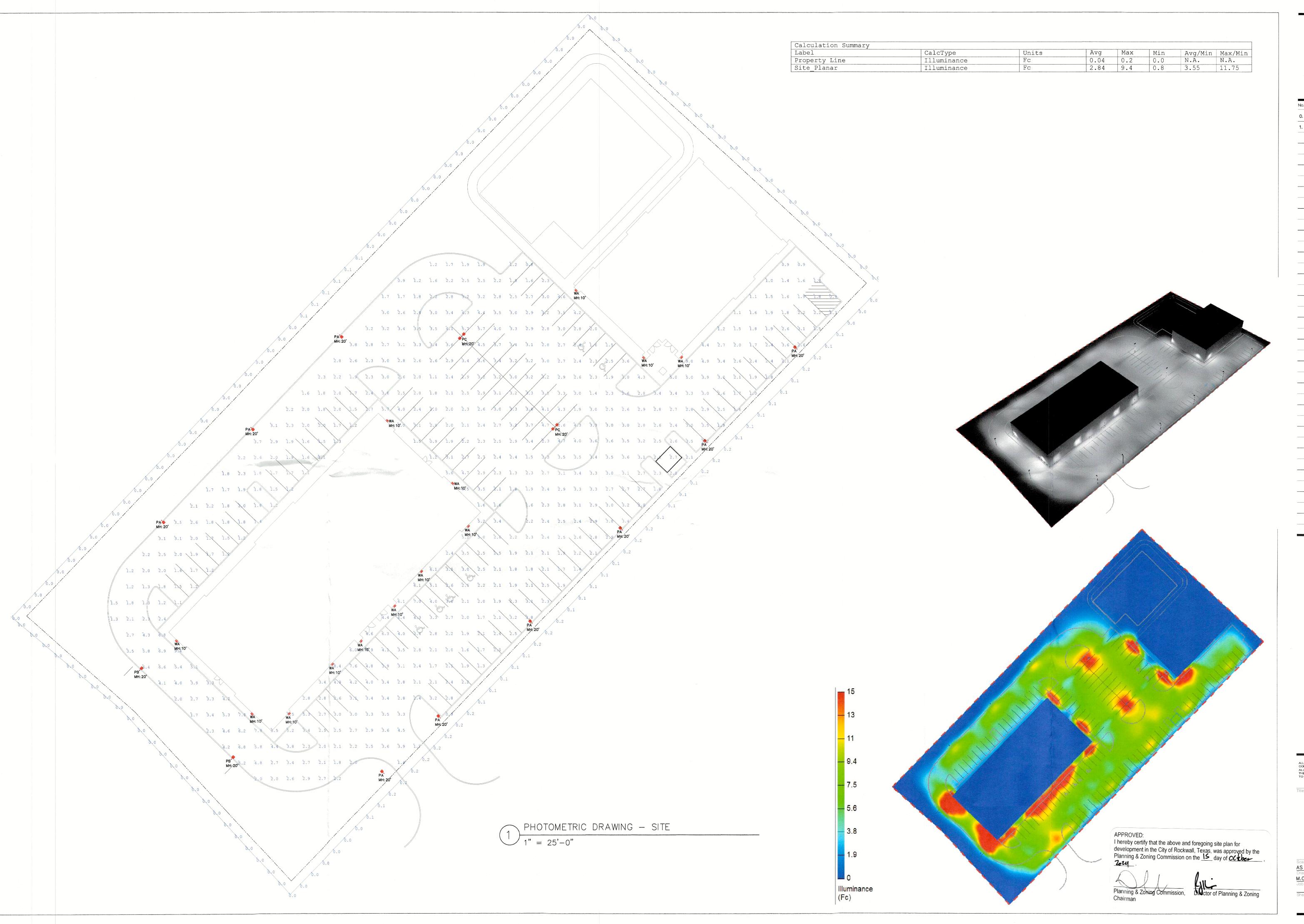
 AS SHOWN
 08.16.2024

 Drawn By
 Checked By

 M.CH
 I.D.

 Job No.
 I.D.

LDE-1.1





10.03.2024

HORIZON STRET NUMBER CITY. ST ZIP

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PHOTOMETRIC DRAWING SITE

Scale Date

AS SHOWN 08.16.2024

Drawn By Checked By

M.CH I.D.

Job No.

LDE-1.2